

CAIRNS PLAN 2016

One region, many communities



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Citation and commencement

This planning scheme may be cited as CairnsPlan 2016.

A notice was published in the Government Gazette on 26 February 2016 for the planning scheme for the Cairns Regional Council local government area.

The commencement date for the planning scheme was 1 March 2016.

Amendments to the planning scheme are included at Appendix 2.

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Part 1 About the planning scheme

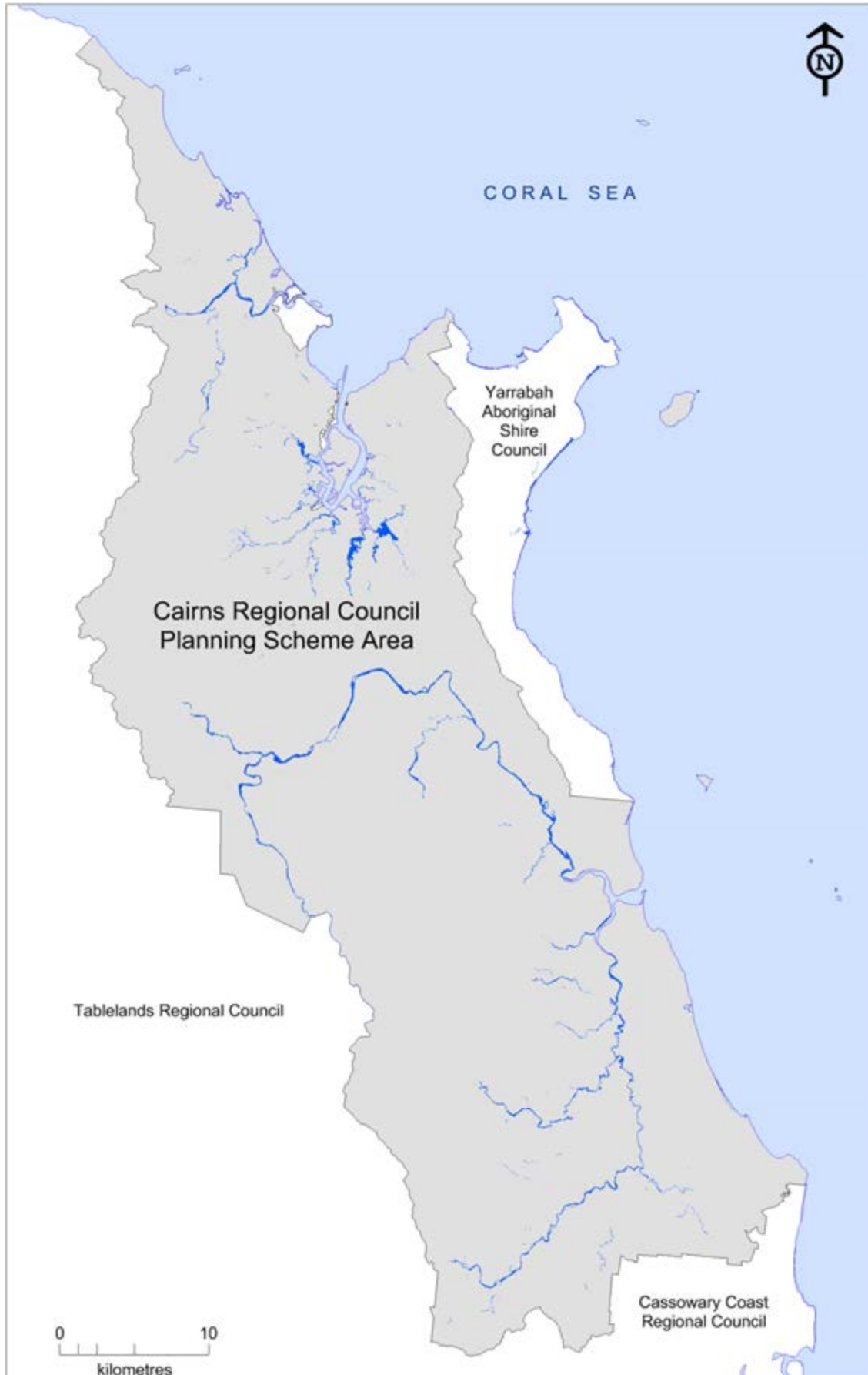
1.1 Introduction

- (1) The CairnsPlan 2016 (planning scheme) has been prepared in accordance with the *Sustainable Planning Act 2009* (the Act) as a framework for managing development in a way that advances the purpose of the Act.
- (2) In seeking to achieve this purpose, the planning scheme sets out Cairns Regional Council's intention for the future development in the planning scheme area, over the next 20 years.
- (3) The planning scheme seeks to advance state and regional policies through more detailed local responses, taking into account the local context.
- (4) While the planning scheme has been prepared with a 20 year horizon, it will be reviewed periodically in accordance with the Act to ensure that it responds appropriately to the changes of the community at a local, regional and state level.
- (5) The planning scheme applies to the planning scheme area of Cairns Regional Council including all premises, roads, internal waterways and local government tidal areas and interrelates with the surrounding local government areas illustrated in Figure 1.

Note – Commonwealth and State legislation may state that the planning scheme does not apply to certain areas, e.g. strategic port land under the *Transport Infrastructure Act 1994*, airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* or defence land under the *Commonwealth Defence Act 1903*.

Note – Development undertaken in accordance with a Community Infrastructure Designation (Schedule 5) does not fall within the regulatory jurisdiction of the CairnsPlan 2016.

Figure 1 – Local government planning scheme area and context



1.2 Planning scheme components

- (1) The planning scheme comprises the following components:
- (a) about the planning scheme
 - (b) state planning provisions
 - (c) the strategic framework
 - (d) the local government infrastructure plan
 - (e) tables of assessment
 - (f) the following zone codes:
 - (i) Community facilities zone code;
 - (ii) Conservation zone code;
 - (iii) District centre zone code;
 - (iv) Emerging community zone code;
 - (v) Environmental management zone code;
 - (A) Environmental management precinct 1 – Residential;
 - (B) Environmental management precinct 2 – Russell Heads;
 - (vi) High impact industry zone code;
 - (vii) Local centre zone code;
 - (viii) Low density residential zone code;
 - (ix) Low impact industry zone code;
 - (x) Low-medium density residential zone code;
 - (xi) Major centre zone code;
 - (xii) Medium density residential zone code;
 - (xiii) Medium impact industry zone code;
 - (xiv) Mixed use zone code;
 - (A) Mixed use precinct 1 – Commercial;
 - (B) Mixed use precinct 2 – Trades and services;
 - (C) Mixed use precinct 3 – Residential;
 - (xv) Neighbourhood centre zone code;
 - (xvi) Open space zone code;
 - (xvii) Principal centre zone code;
 - (xviii) Rural residential zone code;
 - (xix) Rural zone code;
 - (xx) Special purpose zone code;
 - (xxi) Specialised centre zone code;
 - (A) Specialised centre precinct 1 – Hospitals and allied medical;
 - (B) Specialised centre precinct 2 – Showgrounds and major sports;
 - (C) Specialised centre precinct 3 – James Cook University;
 - (xxii) Sport and recreation zone code;
 - (xxiii) Tourism zone code;
 - (xxiv) Tourist accommodation zone code;
 - (A) Tourist accommodation precinct 1 – Islands;
 - (xxv) Township zone code;
 - (xxvi) Waterfront and marine industry zone code.
 - (g) the following local plans:
 - (i) Babinda local plan code;
 - (A) Precinct 1 – Munro Street;
 - (B) Precinct 2 – Mill re-development.
 - (ii) City centre local plan code;
 - (A) Precinct 1 – City centre core;
 - (i) Sub-precinct 1a – Shields Street;
 - (B) Precinct 2 – City centre frame.
 - (iii) Earlvile local plan code;
 - (A) Precinct 1 – Earlvile core;

- (B) Precinct 2 – Earlville frame;
 - (C) Precinct 3 – Cannon Park.
- (iv) Edmonton local plan code;
 - (A) Precinct 1 – Edmonton core;
 - (B) Precinct 2 – Edmonton frame;
 - (C) Precinct 3 – Community health;
 - (D) Precinct 4 – Urban consolidation.
- (v) Edmonton industry and business local plan code;
 - (A) Precinct 1 – Mixed use employment;
 - (B) Precinct 2 – Low impact employment;
 - (C) Precinct 3 – Transport based industry;
 - (D) Precinct 4 – Mixed use centre;
 - (E) Precinct 5 – Existing employment;
 - (F) Precinct 6 – Existing community;
 - (G) Precinct 7 – High impact sports;
 - (H) Precinct 8 – Future investigation.
- (vi) Gordonvale local plan code;
 - (A) Precinct 1 – Town centre;
 - (B) Precinct 2 – Maher Road;
 - (C) Precinct 3 – Riverstone Road;
 - (D) Precinct 4 – Draper Road.
 - (E) Precinct 5 – Mill
- (vii) Mount Peter local plan code;
 - (A) Precinct 1 – Conservation;
 - (B) Precinct 2 – Cooper Road;
 - (C) Precinct 3 – Maitland Road;
 - (D) Precinct 4 – Future urban communities.
- (viii) Smithfield local plan code;
 - (A) Precinct 1 – Smithfield major activity centre;
 - (B) Precinct 2 – James Cook University;
 - (C) Precinct 3 – Employment;
 - (D) Precinct 4 – Residential communities.
- (h) the following overlay codes:
 - (i) Acid sulfate soils overlay code;
 - (ii) Airport environs overlay code;
 - (iii) Building height overlay code;
 - (iv) Bushfire hazard overlay code;
 - (v) Coastal processes overlay code;
 - (vi) Extractive resources overlay code;
 - (vii) Flood and inundation hazards overlay code;
 - (viii) Hazardous and explosive facilities overlay code;
 - (ix) Hillslopes overlay code;
 - (x) Landscape values overlay code;
 - (xi) Natural areas overlay code;
 - (xii) Neighbourhood character overlay code;
 - (xiii) Places of significance overlay code;
 - (xiv) Potential landslip hazard overlay code;
 - (xv) Transport network overlay code.
- (i) the following development codes:
 - (i) statewide codes:
 - (A) Community residence code;
 - (B) Forestry for wood production code;
 - (C) Reconfiguring a lot (subdividing one lot into two lots) and associated operational work code.

- (ii) use codes:
 - (A) Animal keeping code;
 - (B) Aquaculture and intensive animal industry code;
 - (C) Brothel code;
 - (D) Bulky goods and outdoor sales code;
 - (E) Caretaker's accommodation code;
 - (F) Child care centre code;
 - (G) Community activities code;
 - (H) Community care centre code;
 - (I) Dual occupancy code;
 - (J) Dwelling house code;
 - (K) Dwelling unit code;
 - (L) Extractive industry code;
 - (M) Home based business code;
 - (N) Market code;
 - (O) Multiple dwelling and short-term accommodation code;
 - (P) Parking station code;
 - (Q) Relocatable home park and tourist park code;
 - (R) Retirement facility and residential care facility code;
 - (S) Roadside stall code;
 - (T) Rooming accommodation code;
 - (U) Sales office code;
 - (V) Service station and car wash code;
 - (W) Sport and recreation activities code;
 - (X) Telecommunications facility code;
 - (Y) Veterinary services code.
 - (iii) Other development codes:
 - (A) Advertising devices code;
 - (B) Centre design code;
 - (C) Environmental performance code;
 - (D) Excavation and filling code;
 - (E) Industry design code;
 - (F) Infrastructure works code;
 - (G) Landscaping code;
 - (H) Parking and access code;
 - (I) Reconfiguring a lot code;
 - (J) Vegetation management code.
 - (j) schedules and appendices.
- (2) The following planning scheme policies support the planning scheme:
- (a) Planning scheme policy – Acid sulfate soils;
 - (b) Planning scheme policy – Centres and centre activities;
 - (c) Planning scheme policy – Crime prevention through environmental design (CPTED);
 - (d) Planning scheme policy – Environmental management plans;
 - (e) Planning scheme policy – FNQROC Regional Development Manual;
 - (f) Planning scheme policy – Landscape values;
 - (g) Planning scheme policy – Landscaping;
 - (h) Planning scheme policy – Natural environment;
 - (i) Planning scheme policy – Natural hazards;
 - (j) Planning scheme policy – Neighbourhood character;
 - (k) Planning scheme policy – Parking and access;
 - (l) Planning scheme policy – Places of significance;
 - (m) Planning scheme policy – Site assessments;

- (n) Planning scheme policy – Structure planning;
- (o) Planning scheme policy – Tropical urbanism.

1.3 Interpretation

1.3.1 Definitions

- (1) A term used in the planning scheme has the meaning assigned to that term by one of the following:
 - (a) the Act;
 - (b) the *Sustainable Planning Regulation 2009* (the Regulation);
 - (c) the definitions in Schedule 1 of the planning scheme;
 - (d) the *Acts Interpretation Act 1954*; or
 - (e) the ordinary meaning where that term is not defined in the Act, the Regulation, Schedule 1 of the planning scheme or the *Acts Interpretation Act 1954*.
- (2) In the event a term has been assigned a meaning in more than one of the instruments listed in sub-section 1.3.1(1), the meaning contained in the instrument highest on the list will prevail.
- (3) A reference in the planning scheme to any act includes any regulation or instrument made under it, and where amended or replaced, means the amended or replaced act.
- (4) A reference in the planning scheme to a specific resource document or standard means the latest version of the resource document or standard.
- (5) A reference to a part, section, table or schedule is a reference to a part, section, table or schedule of the planning scheme.

1.3.2 Standard drawings, maps, notes, editor’s notes and footnotes

- (1) Standard drawings contained in codes or schedules are part of the planning scheme.
- (2) Maps provide information to support the outcomes and are part of the planning scheme.
- (3) Notes are identified by the title ‘note’ and are part of the planning scheme.
- (4) Editor’s notes and footnotes are extrinsic material, as per the *Acts Interpretation Act 1954*, are identified by the title ‘editor’s note’ and ‘footnote’ and are provided to assist in the interpretation of the planning scheme; they do not have the force of law.

Note - this is an example of a note.

Editor’s note - this is an example of an editor’s note.

Footnote ¹ - see example at bottom of page.

1.3.3 Punctuation

- (1) A word followed by ‘;’ or ‘, and’ is considered to be ‘and’.
- (2) A word followed by ‘; or’ means either or both options can apply.

¹ Footnote – this is an example of a footnote.

1.3.4 Zones for roads, closed roads, waterways, foreshores and reclaimed land

- (1) The following applies to a road, closed road, waterway, foreshore or reclaimed land in the planning scheme area:
 - (a) If adjoined on both sides by land in the same zone - the road, closed road, waterway, foreshore or reclaimed land is in the same zone as the adjoining land;
 - (b) If adjoined on one side by land in a zone and adjoined on the other side by land in another zone - the road, closed road, waterway, foreshore or reclaimed land is in the same zone as the adjoining land when measured from a point equidistant from the adjoining boundaries;
 - (c) If the road, closed road, waterway, foreshore or reclaimed land is adjoined on one side only by land in a zone - the entire road, closed road, waterway, foreshore or reclaimed land is in the same zone as the adjoining land; or
 - (d) If the road, closed road, waterway, foreshore or reclaimed land is covered by a zone then that zone applies.

Editors note — the boundaries of the local government area are described by the maps referred to within the *Local Government Regulation 2012*.

1.4 Categories of development

- (1) The categories of development under the Act are:
 - (a) Exempt development
Editor's note - a development permit is not required for exempt development.
 - (b) Self-assessable development
Editor's note - a development permit is not required for self-assessable development.
 - (c) Development requiring compliance assessment
Editor's note - a compliance permit is required for development requiring compliance assessment.
 - (d) Assessable development
Editor's note - a development permit is required for assessable development.
 - (e) Prohibited development
Editor's note - a development application or a request for compliance assessment cannot be made for prohibited development.
- (2) The Act and Regulation prescribe levels of assessment for certain types of development.
- (3) The planning scheme also states the level of assessment for certain types of development in the planning scheme area in Part 5.

1.5 Hierarchy of assessment criteria

- (1) Where there is inconsistency between provisions within the planning scheme, the following rules apply:
 - (a) the strategic framework prevails over all other components to the extent of the inconsistency;
 - (b) statewide codes prevail over all other components (other than the strategic framework) to the extent of the inconsistency;
 - (c) overlay codes prevail over all other components (other than the strategic framework and statewide codes) to the extent of the inconsistency;
 - (d) local plan codes prevail over zone codes, use codes and other development codes to the extent of the inconsistency;
 - (e) zone codes prevail over use codes and other development codes to the extent of the inconsistency.

- (f) provisions of Part 10 may override any of the above.

1.6 Building work regulated under the planning scheme

- (1) Section 78A of the Act states that a local planning instrument must not include provisions about building work to the extent the building work is regulated under the building assessment provisions, unless permitted under the *Building Act 1975*.

- (2) The building assessment provisions are listed in section 30 of the *Building Act 1975*.

Editor's note - the building assessment provisions are stated in section 30 of the *Building Act 1975* and are a code for integrated development assessment system for the carrying out of building assessment work or self-assessable work (see also section 31 of the *Building Act 1975*).

- (3) This planning scheme, through Part 5, regulates building work in accordance with sections 32 and 33 of the *Building Act 1975*.

Editor's note - the *Building Act 1975* permits planning schemes to:

- regulate, for the Building Code of Australia (BCA) or the Queensland Development Code (QDC), matters prescribed under a regulation under the *Building Act 1975* (section 32). These include variations to provisions contained in parts MP1.1, MP 1.2 and MP 1.3 of the QDC such as heights of buildings related to obstruction and overshadowing, siting and design of buildings to provide visual privacy and adequate sight lines, on-site parking and outdoor living spaces. It may also regulate other matters, such as designating land liable to flooding, designating land as bushfire prone areas and transport noise corridors
- deal with an aspect of, or matter related or incidental to building work prescribed under a regulation under section 32 of the *Building Act 1975*
- specify alternative boundary clearances and site cover provisions for Class 1 and 10 structures under
- section 33 of the *Building Act 1975*.

Refer to Schedule 3 of the Regulation to determine assessable development and the type of assessment.

- (4) The building assessment provisions are contained in the following parts of this planning scheme:

Table 1.6.a – Building assessment provisions

Description	Assessment criteria	Building Act 1975 (BA) and Building Regulation 2006 (BR) reference
Bushfire hazard		
Designation of bushfire prone areas for the BCA or QDC	Bushfire hazard overlay maps	Section 32(a) BA and section 12 BR
Flood hazard		
Designation of natural hazard management area (flood)	Flood and inundation hazard overlay maps	Section 32(a) BA and section 13(1)(a) BR
Design requirements within the natural hazard management area (flood)	Flood and inundation hazard overlay code	Section 32(a) BA and section 13(1)(b) BR
Queensland Development Code (QDC) alternative provisions		
Alternatives to QDC boundary clearance provisions	Relevant zone code contained in Part 6	Section 33(2) BA
Alternative to QDC building height provisions (performance criterion 4)	Relevant zone code contained in Part 6	BA and section 10(2)(b) BR

Editor's note - a decision in relation to building work that is assessable development under the planning scheme should only be issued as a preliminary approval. See section 83(b) of the *Building Act 1975*.

Editor's note - in a development application the applicant may request preliminary approval for building work. The decision on that development application can also be taken to be a referral agency's response under section 271 of the Act, for building work assessable against the *Building Act 1975*. The decision notice must state this.

1.7 Relationship of the planning scheme to the planning scheme policies

- (1) The planning scheme should be read in conjunction with the planning scheme policies which:
 - (a) Provide information that may be required or requested for a development application;
 - (b) Contain standards;
 - (c) Include guidelines or advice about satisfying assessment criteria in the planning scheme.

- (2) When preparing an application for assessment against the planning scheme or a part of the planning scheme, reference should be made to applicable planning scheme policies.

1.8 Local government administrative matters

- (1) For the purpose of Schedule 7 Table 1 Item 17 of the *Sustainable Planning Regulation 2009* it is declared that building work for a building or structure which is a single detached class 1(a)(i) building, class 1(a)(ii) building comprising not more than 2 attached dwellings or a class 10 building or structure within the Hillslopes overlay may:
 - (a) have an extremely adverse effect on the amenity, or likely amenity, of the locality; or
 - (b) be in extreme conflict with the character of the locality.

- (2) Where building work is triggered by 1.8(1) it must be referred to the Local government as a concurrence agency and be assessed against the criteria within Table 1.8.a.

Table 1.8.a – Amenity and aesthetic impact of particular building work assessment provisions

Performance outcome (PO)	Acceptable outcomes (AO)
<p>PO1 The landscape character and scenic amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p>AO1.1 Building work:</p> <ol style="list-style-type: none"> (a) is finished predominantly in the following exterior colours or surfaces: <ol style="list-style-type: none"> (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) is not finished in the following exterior colours or surfaces: <ol style="list-style-type: none"> (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces; (c) exterior colour schemes do not result in the use of a single colour on large

Performance outcome (PO)	Acceptable outcomes (AO)
	<p>surface areas or broad expanses.</p> <p>AO1.2 Roofs on buildings or structures are: (a) non reflective and finished in a low contrast colour that blends with the surrounding vegetation and landscape; (b) not finished in terracotta colours, reds, yellows, shades of white, beige or light grey.</p>

- (3) The following Advertising devices, are to be regulated by the planning scheme and not the local laws:
 - (a) Pylon signage;
 - (b) Billboard signage;
 - (c) Projecting signage;
 - (d) Illuminated signage;
 - (e) All advertising devices relating to adult stores and brothels;

- (4) Where an advertising device does not fall within one of the advertising devices listed in section 1.8(3), it must be assessed against the local laws.

- (5) The Council has resolved that the operation of following types of activities will be regulated by the local laws and not the planning scheme:
 - (a) **Shared facility accommodation operation** means the operation of the provision of shared facility accommodation to holiday makers or travellers, but does not include accommodation in a hotel or motel;
 - (b) **Temporary entertainment event** means an event and the operation of an event that is held temporarily – not on a regular basis – to provide entertainment to the public whether or not upon payment of a fee for admission an whether or not the management reserves the right to exclude individual members of the public;
 - (c) **Temporary home** means a temporary structure that is erected for the occupation of the owner, and immediate family, of the land upon which there is a current approval to construct a dwelling house and only during the construction of the approved dwelling house.

Part 2 State planning provisions

2.1 State planning policy

The minister has identified that the state planning policy is integrated in the planning scheme in the following ways:

State interests in the state planning policy (July 2014) appropriately integrated

- (1) Liveable communities and housing
 - (a) Liveable communities
 - (b) Housing supply and diversity
- (2) Economic growth
 - (a) Agriculture
 - (b) Development and construction
 - (c) Mining and extractive resources
 - (d) Tourism
- (3) Environment and Heritage
 - (a) Biodiversity
 - (b) Coastal environment
 - (c) Cultural heritage
 - (d) Water quality
- (4) Hazards and safety
 - (a) Emissions and hazardous activities
 - (b) Natural hazards, risk and resilience (other than for coastal hazards – erosion prone areas)
- (5) Infrastructure
 - (a) Energy and water supply
 - (b) State transport infrastructure
 - (c) Strategic airports and aviation facilities
 - (d) Strategic ports

State interests in the state planning policy (July 2014) not integrated

- (1) Hazards and safety
 - (a) Natural hazards, risk and resilience (for coastal hazards – erosion prone areas)

State interests in the state planning policy (July 2014) not relevant to Cairns Regional Council

Nil

2.2 Regional plan

The minister has identified that the planning scheme, specifically the strategic framework, appropriately advances the *Far North Queensland Regional Plan 2009-2031*, as it applies in the planning scheme area.

2.3 Referral agency delegations

There are no referral agency delegations applicable to Cairns Regional Council.

2.4 Standard planning scheme provisions

The minister has identified that the Queensland Planning Provisions version 4.0 (January 2016) are appropriately reflected in the planning scheme.

Note – Section 53 of the Act states that where a planning scheme is inconsistent with the QPP, as amended from time to time, the QPP prevails to the extent of the inconsistency.

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Part 3 Strategic Framework

3.1 Preliminary

- (1) The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs within the planning scheme area for the life of the planning scheme.
- (2) Mapping for the strategic framework is contained in Schedule 2.
- (3) For the purpose of describing the policy direction for the planning scheme, the strategic framework is structured in the following way:
 - (a) the strategic intent;
 - (b) the following themes that collectively represent the policy intent of the scheme:
 - (i) settlement pattern theme;
 - (ii) natural areas and features theme;
 - (iii) economy theme;
 - (iv) infrastructure theme;
 - (c) the strategic outcome(s) proposed for development in the planning scheme area for each theme;
 - (d) the element(s) that refine and further describe the strategic outcome(s);
 - (e) the specific outcomes sought for each, or a number of, elements;
 - (f) the land use strategies for achieving these outcomes.
- (4) Although each theme has its own section, the strategic framework in its entirety represents the policy intent for the planning scheme.
- (5) The policy direction for the planning scheme, in the strategic framework, is largely reflected in the purpose and overall outcomes of the:
 - (a) overlay codes;
 - (b) local plan codes;
 - (c) zone codes;
 - (d) development codes.

3.2 Strategic intent

The strategic intent represents the vision for the Cairns region in 2031.

In 2031, the Cairns region is internationally renowned for its natural beauty, outstanding biodiversity values and unique tropical lifestyle attracting both international and domestic visitors and new residents creating, a gateway to Far North Queensland and Northern Australia.

The region's settlement on the coast and community awareness of natural hazards and climate change has influenced land use planning and decision making. Growth has occurred in an efficient manner and urban development is consolidated within the identified urban area. The expected population growth for the region is accommodated through the redevelopment of existing urban areas and the expansion into the future urban area of the Southern Growth Corridor. Rural land has been protected and is used for rural purposes.

The region has a diverse and thriving economy that complements the region's environmental values. Tourism and primary production remain substantial economic drivers and employers in the region, however other industries have emerged that contribute to the diversity of the economy.

The built environment is characterised by its tropical design and its natural surrounds. Urban communities have high quality buildings, landscaped areas and open spaces reflecting the tropical character and identity of the region. Places of significance and neighbourhood character areas have been retained and integrated into new development.

The hillslopes, waterways, natural areas and rural surrounds sit alongside the urban environment. They are protected and enjoyed by the community for their character and identity, landscape value and contribution to the local economy. Natural resources are managed in an ecologically sustainable manner.

The Cairns City Centre is the capital of commerce and services for Far North Queensland, Cape York, the Gulf Country, Papua New Guinea and the wider South Pacific region. It supports significant regional infrastructure and offers the widest range, highest order and most diverse mix of retail, commercial, employment, residential, administrative, community, cultural, recreation and entertainment activities.

The region offers a range of housing styles and living options that provide for the varying needs and life stages of the community. Vibrant and well-connected centres provide higher density living opportunities around employment, entertainment, transport and community services.

The public transport network allows for ease of movement throughout the region and provides connections between centres. Transit oriented communities contribute to the success of the region's transport network.

Residents and visitors enjoy a range of quality services, facilities and community events and have a strong sense of positive identity. Communities are diverse, active, safe, healthy, engaged and resilient. Social, cultural, sport and recreational and community services and infrastructure are highly accessible. Infrastructure has been provided in a timely, cost effective and efficient manner to meet community needs.

3.3 Settlement pattern theme

Note – The settlement pattern for the region is shown on the Strategic framework maps contained in Schedule 2.

3.3.1 Strategic outcomes

- (1) The region grows and evolves in a way that:
 - (a) promotes a diverse and thriving economy;
 - (b) creates comfortable, safe, connected, diverse and healthy living environments;
 - (c) provides a range of housing choices;
 - (d) maintains the hierarchy of centres;
 - (e) consolidates existing urban areas;
 - (f) avoids putting people and property at risk from natural hazards;
 - (g) provides a range of community services and sport and recreational opportunities;
 - (h) conserves the natural environment, ecological processes and biodiversity values;
 - (i) retains rural land for agricultural uses;
 - (j) supports the timely, cost effective and efficient provision of infrastructure;
 - (k) co-locates compatible land uses;
 - (l) achieves a high standard of amenity;
 - (m) maintains and enhances the scenic amenity, tropical character and identity of the region.

- (2) Urban development in the region occurs within the urban area. Expansion beyond this boundary is not facilitated as it does not support the efficient and orderly delivery of urban infrastructure and a compact urban form.

- (3) Future growth within the Southern growth corridor occurs sequentially and, where relevant, in accordance with the Edmonton local plan, Edmonton industry and business local plan, Gordonvale local plan, Mount Peter local plan and any relevant structure plans.

- (4) Development does not prevent the planned development of adjacent land that is subject to a:
 - (a) local plan; or
 - (b) master plan; or
 - (c) structure plan; or
 - (d) development permit; or
 - (e) preliminary approval; or
 - (f) any other land use plan.

- (5) Infrastructure and services are located and designed to be provided to communities in a timely and efficient manner in order to support sequenced and compact urban form and community needs.

- (6) Natural hazards and the impacts of climate change influence the location, scale and intensity of development.

- (7) Development is located, designed and operated to ensure that any potential adverse or detrimental impacts are, in order of priority, avoided, mitigated or managed.

- (8) Development contributes to a compact urban form through:
 - (a) infill development in existing urban areas;
 - (b) integrating pedestrian, cycle and public transport networks;

- (c) locating higher residential densities within walking distance of a higher order centre;
 - (d) incorporating a mix of land uses, where consistent with the zone.
- (9) Artificial lakeside and coastal canal developments are not established.
- (10) Transit oriented developments are established within higher order centres along and adjacent to the public transport network.
- (11) Urban development and emerging communities are designed to incorporate pedestrian, cycle and road connections that offer a high degree of permeability and legibility.
- (12) Residential and other sensitive and vulnerable land uses are separated from areas and activities that are hazardous, explosive or may cause environmental harm or nuisance.
- (13) Local plans provide localised planning responses and development outcomes for discrete areas.

Note – The region’s urban area is shown on the Strategic framework maps contained in Schedule 2.

Note – The Southern growth corridor is shown on the Strategic framework maps contained in Schedule 2.

3.3.1.1 Land use strategies

- (1) Local area plans are continuously developed throughout the planning scheme area to provide local context and planning outcomes for individual communities.

3.3.2 Element – centres and centre activities

Note – Centres are the Principal centre zone, Major centre zone, District centre zone, Local centre zone and Neighbourhood centre zone as shown on the Zone maps contained in Schedule 2.

3.3.2.1 Specific outcomes

- (1) Centres are concentrations of activity that may comprise of retail, business and employment, administration, research, residential, education, and health and community services consistent with the identified role and function of the centre.
- (2) A hierarchy of centres is established and maintained, where each centre is characterised by its scale and function, and performs a defined role within the hierarchy. The identified hierarchy of centres and role and function of centres within the region is as follows:
- (a) **Principal centre: Cairns city centre**
 - (i) The Cairns city centre is the Principal centre within the region and provides for the highest intensity of development. It provides the highest order and most diverse mix of uses that consist of retail, commercial, administrative, community, cultural, tourism, recreation and entertainment. The centre forms the core of the region’s urban settlement, the centre of the public transport network and is the primary focal point for employment and business opportunities within the region.
 - (ii) The centre is supported by key regional infrastructure including the Cairns Airport, Port of Cairns, Cairns Base Hospital and Cairns Private Hospital.
 - (iii) Residential buildings within the core provide for higher density living opportunities above ground level to facilitate active frontages to the street.
 - (iv) Residential development within the centre is capable of supporting both tourist accommodation and permanent residents.

- (v) Buildings within the centre are the tallest in the region and provide active frontages to the street that contribute to the vibrancy of the centre and reinforce the Cairns city centre's primacy within the hierarchy of centres.
 - (vi) Streets and open spaces are green and tropical and provide comfortable pedestrian environments with shelter from the elements and distinct points of interest.
 - (vii) Development which contributes to a 24 hour economy and adds to the activity and vitality of the centre, while maintaining a desired standard of amenity, is encouraged.
 - (viii) Development within the centre occurs in accordance with the Cairns city centre local plan which promotes the long term prosperity, primacy and quality of the centre.
 - (ix) The Principal centre is the highest order centre in the region, supported by all other centres within the hierarchy of centres.
- (b) **Major centres: Earlville, Edmonton and Smithfield**
- (i) The major centres are concentrations of a mix of activities that consist of higher order retail, employment, commercial, administrative, community, cultural, education, higher density housing and entertainment.
 - (ii) These centres are focal points within the public transport network and development occurs in a manner that facilitates public transport accessibility and use.
 - (iii) Higher density residential development is encouraged to establish in and immediately around the major centres to provide easy access to the employment and public transport opportunities these centres offer.
 - (iv) Local plans have been developed for each major centre to ensure the orderly and strategic development of these centres.
 - (v) Development within these centres occurs in accordance with the Earlville local plan, Edmonton Local plan and Smithfield local plan.
 - (vi) Major centres do not compromise the role and successful function of the Principal centre and other Major centres within the hierarchy of centres.
- (c) **District centres: Babinda, Gordonvale, Manoora, Manunda, Mount Sheridan, Redlynch and Westcourt**
- (i) The district centres are concentrations of predominantly retail, business and community activities focussed on the weekly and fortnightly shopping and service needs of the surrounding communities.
 - (ii) Higher density housing is integrated through mixed use development that is appropriate to the scale of the District centre and supports the public transport network.
 - (iii) Retail, business, entertainment and community activities occur on the first two storeys of development to ensure these uses are highly accessible and contribute to a vibrant mixed use space at ground level;
 - (iv) Future growth of each centre will reflect each centre's distinctive character and functions.
 - (v) Development within the Babinda and Gordonvale District centres occurs in accordance with the Babinda local plan and Gordonvale local plan respectively.
 - (vi) District centres do not compromise the role and successful function of the Principal centre, Major centres and other District centres within the hierarchy of centres.

- (d) **Local centres**
 - (i) Local centres provide a small cluster of uses including retail, employment nodes, cafes and dining, and community services that are focussed on the daily and weekly shopping and service needs of their surrounding local community.
 - (ii) Showrooms, department stores and other large floor space land uses are not located in Local centres.
 - (iii) Development within Local centres provides a high level of amenity and minimise the impacts on the surrounding residential areas.
 - (iv) Local centres do not exceed the needs of their surrounding local community.
 - (v) Local centres do not compromise the role and successful function of the Principal centre, Major centres, District centres and other Local centres within the hierarchy of centres.

- (e) **Neighbourhood centres**
 - (i) Neighbourhood centres contain a limited range of small scale convenience or retail facilities that meet the basic, daily convenience needs of a surrounding neighbourhood community and encourage walkable neighbourhoods.
 - (ii) Neighbourhood centres do not exceed the needs of their immediate neighbourhood catchment.
 - (iii) Showrooms, department stores, full-line supermarkets and other large floor space land uses are not located in Neighbourhood centres.
 - (iv) Neighbourhood centres do not exceed the needs of their surrounding neighbourhood community.
 - (v) Neighbourhood centres do not compromise the role and successful function of the Principal centre, Major centres, District centres, Local centres and other Neighbourhood centres within the hierarchy of centres.

- (3) Centres within the region are consolidated within existing identified areas. The expansion of centres only occurs where a community need can be demonstrated and the expansion does not compromise the amenity of surrounding areas or the role and successful function of other centres within the hierarchy of centres identified in section 3.3.2.1(2).

- (4) Higher order centres provide for higher density residential living to take advantage of the range of activities, services and public transport facilities located within close proximity.

- (5) Centres are connected by the public transport network and provide public transport nodes and destinations.

- (6) Development within centres is designed to enable the flexible reuse of buildings that are able to respond to changing community, retail and business needs.

- (7) Development of centre activities is of a design, scale and intensity that does not compromise the existing and ongoing hierarchy of centres by:
 - (a) competing with and compromising the economic viability of centres;
 - (b) adversely affecting the achievement of consolidated centres.

- (8) Development in centres considers the needs of pedestrian, cycle and public transport users by incorporating:
 - (a) mixed use and transit-oriented development;
 - (b) high quality footpaths and streetscapes suitable for walking and cycling;
 - (c) awnings and shade trees along pathways;
 - (d) active frontages;

- (e) crime prevention through environmental design principles;
 - (f) open spaces and meeting places.
- (9) Development in existing and new centres establish high quality environments and is designed to draw on the positive characteristics of the surrounding area with a focus on creating or reinforcing security, vitality and a sense of place.
- (10) New centres are only established where it is demonstrated that:
- (a) there is a need for the development;
 - (b) the development is of a scale that is required to service the surrounding catchment;
 - (c) the development is highly accessible within the catchment it serves and not located on the periphery;
 - (d) the development does not compromise the character and amenity of adjoining premises and surrounding areas.

Note – Refer to the definition of Higher order centre contained in Schedule 1.2.

Note – Refer to the defined activity group for Centre activities contained in Schedule 1.1.1.

3.3.3 Element – mixed use areas and specialised centres

3.3.3.1 Specific outcomes

- (1) Mixed use areas located along Mulgrave Road, Sheridan Street and Anderson Street provide mixed use development integrating opportunities for business, employment, residential, and retail and office space.
- (2) Where mixed use development in mixed use areas involves residential uses, the residential uses are located above lower and ground floor commercial uses.
- (3) Development within mixed use areas is of a scale and intensity that does not compromise the role and successful function of centres within the hierarchy of centres.
- (4) Specialised centres co-locate similar land uses, and contribute to the diversity of employment areas within the region without compromising the hierarchy of centres.
- (5) Commercial and business activities are supported in appropriate settings, particularly within the region's centres, mixed use areas and where they cater for the needs of residential communities.

3.3.4 Element – industry areas and activities

3.3.4.1 Specific outcomes

- (1) Low impact industry areas in the region contain some land in transition from residential land uses to industrial land uses. Development in low impact industry areas is sensitive to the range of existing uses located within these areas and provides a high standard of amenity and design.
- (2) Medium and high impact industry areas are key employment areas for the region. Development does not compromise the ongoing use of these areas for medium and high impact industry uses.
- (3) Uses that are sensitive to the impacts of industry activities do not establish within industry areas.

- (4) Due to the region's unique biodiversity and sensitive receiving environments, special industries are only established in appropriate areas where it is demonstrated that all adverse impacts are mitigated.
- (5) Waterfront and marine industry areas are predominantly used for waterfront and marine industry and associated uses for which a location adjoining or near the waterfront is essential.

3.3.4.2 Land use strategies

- (1) Land supply for industry uses is provided within the Southern growth corridor. Development within these areas occurs in accordance with the Edmonton industry and business local plan and the Gordonvale local plan.

3.3.5 Element – residential areas and activities

3.3.5.1 Specific outcomes

- (1) The region's urban residential growth is accommodated through in-fill and redevelopment of existing urban areas, development of emerging community areas and the development of the future urban area within the Southern growth corridor.
- (2) Residential development is located and designed to provide a wide range of living options that maintains and enhances the character and identity of individual communities.
- (3) Residential areas are used for residential purposes. Non-residential uses are provided where they are appropriate, support the local community, do not detract from the residential amenity of the area or compromise the role and successful function of centres within the hierarchy of centres.
- (4) Higher density housing occurs within areas identified for higher density residential development, mixed use areas, higher order centres and close to public transport, higher education and employment.
- (5) Residential development is designed and constructed to provide safe living environments and promote community health and wellbeing.
- (6) Areas identified for lower density residential development provide predominantly low rise detached dwelling houses to maintain the low density character of the area.
- (7) Emerging community areas and new residential areas are designed to incorporate:
 - (a) a mix of lot sizes;
 - (b) a range of housing types and densities;
 - (c) community services and facilities that meet the needs of the new community;
 - (d) high levels of pedestrian, cycle and road permeability and connectivity;
 - (e) the efficient and timely provision of infrastructure and services;
 - (f) open space and opportunities for sport and recreation activities.
- (8) Residential development incorporates tropical design principles that respond to the natural environment and climate.
- (9) New rural residential areas are not established. Existing rural residential areas are protected from further incremental subdivision where it results in lot sizes less than the minimum to ensure the character and amenity of these areas is retained.

- (10) Home based businesses are established where they are low impact in nature, subordinate to the residential use and do not detract from the residential amenity of the area.
- (11) Open spaces and sport and recreation areas are provided in residential areas to meet the health and environmental needs of the community.

Note – The Southern growth corridor is shown on the Strategic framework maps contained in Schedule 2.

Note – Minimum lot sizes are contained within the Reconfiguring a lot code contained in Part 9.

3.3.6 Element – rural areas

3.3.6.1 Specific outcomes

- (1) Rural areas are used for agricultural purposes.
- (2) Land uses that have the potential to conflict with agricultural uses are not established.
- (3) Rural areas contain a range of rural activities of varying scale depending on land suitability and access to infrastructure.
- (4) Rural areas that provide an inter-urban break or have scenic landscape value are retained in their form for that purpose.
- (5) Residential uses within rural areas are of a scale and density that is consistent with the level of infrastructure provided and the rural character of the area.
- (6) Subdivision does not result in further fragmentation of rural land.
- (7) Boundary realignments occur only in rural areas where improved agricultural production or environmental protection outcomes are demonstrated or to resolve building encroachment issues.

3.3.7 Element – townships and small communities

3.3.7.1 Specific outcomes

- (1) The townships and small communities within the region provide unique rural living opportunities and are supported by small scale community services.
- (2) The townships of Mirriwinni, Deeral and Fishery Falls provide a range of land uses which directly support and service the residents and visitors of the township and surrounding rural areas.
- (3) The growth of townships is promoted within their identified urban areas.
- (4) Development within townships and small communities enhances and complements the scale and local character of the community.

3.3.8 Element – islands

3.3.8.1 Specific outcomes

- (1) Development on Green Island, Fitzroy Island and Double Island is limited to the continuation of the existing level of tourist development without significant expansion or

intensification. Development respects and reflects the landscape values of the islands and their sensitive ecological setting with the Great Barrier Reef World Heritage Area.

- (2) Smaller islands within the region; the Frankland Islands and Haycock Island, are not developed.

3.3.9 Element – built form, design and city image

3.3.9.1 Specific outcomes

- (1) Urban design and built form in the region creates an attractive, tropical, cohesive, positive and memorable identity and reflects the qualities of good urban places and tropical urbanism.
- (2) Development ensures that there is an appropriate interface and downward transition in height, built form and intensity of development moving outward from the Cairns city centre outwards to the surrounding suburbs. The Cairns city centre provides the highest and most dense form of development in the region.
- (3) Development within the Cairns city centre addresses and activates the street frontages with a street canopy providing shade and weather protection for pedestrians and a place for social interaction.
- (4) Buildings within the Cairns city centre and Building height overlay areas are separate and distinctive, promoting variety in the skyline and retaining views to the surrounding mountain ranges and the ocean.
- (5) Development respects and complements the character and history of the region's many communities and promotes community pride and sense of place.
- (6) Development does not rely on complex engineering solutions to overcome site constraints.
- (7) The design of streets, lots, buildings and landscaping achieves:
 - (a) attractive, shaded, tropical and safe streets;
 - (b) a legible urban environment where the intended function of buildings and spaces is easily understood;
 - (c) high quality built form that contributes to a positive image for the region;
 - (d) pedestrian comfort by incorporating awnings and shade producing trees;
 - (e) the real and perceived impression that open space, streets and thoroughfares are safe public spaces;
 - (f) opportunities for social interaction through the use of shared and multiple use areas;
 - (g) integration with the region's network of open space, parkland and green corridors;
 - (h) an enhanced local identity and sense of place;
 - (i) a high level of permeability for pedestrians and all forms of transport.
- (8) Streetscapes, housing and building design are responsive to the environment, climate, site constraints and local character.
- (9) Public open space is the centre piece of urban communities.

- (10) Infrastructure integrates into the surrounding environment and minimises visual impacts on the streetscape through location and the use of design elements, complementary materials, landscaping and screening.
- (11) Vehicle parking, loading, unloading and servicing areas are contained wholly within the site and are located where they do not dominate the streetscape.
- (12) Gateway sites are established in key entry locations to and within higher order centres. Gateway sites contribute to the character of a place through the use of height, unique architectural design elements, mixed use activity and connections to public transport, pedestrian activity and public spaces.
- (13) Development provides landscaping that contributes to attractive streetscapes.
- (14) Buildings incorporate tropical and passive design measures to maximise the use of natural ventilation, cooling and lighting and achieve energy efficiency.
- (15) Through site specific tropical design, corporate designs are adapted to integrate with the established urban qualities that make the region's local communities unique and distinct from other places.
- (16) Appropriately scaled art and cultural infrastructure is provided with development in the higher order centres and emerging communities.
- (17) The design of open spaces and parks provides opportunities for social interaction and sport and recreation activities.
- (18) Advertising devices are appropriate to the scale of development and complement the character of the locality.
- (19) The location, size and scale of advertising devices located along major road and railway corridors are restricted and over time the overall number reduced. The removal or replacement of older or dilapidated advertising devices located along major road and railway corridors is encouraged.
- (20) Development in emerging urban areas incorporates infrastructure that supports information technology advancements.

Note – The Building height overlay area is shown on the maps contained in Schedule 2.

3.3.10 Element – places of significance and neighbourhood character

3.3.10.1 Specific outcomes

- (1) Development avoids or mitigates adverse impacts on the cultural significance of a State heritage place or area.
- (2) Development on premises adjoining a State heritage place is sympathetic to the cultural significance and setting of the place.
- (3) Places of local significance are conserved for their cultural significance, tourism value and importance to the history and identity of the region. The adaptive re-use of places of local significance is facilitated where the use is compatible with the significance of the site.

- (4) Neighbourhood character places and existing character elements which contribute to the streetscape and neighbourhood character are retained.
- (5) Indigenous cultural heritage is protected, managed and conserved.

Note – Places of local significance and State heritage places are shown on the Places of significance overlay maps contained in Schedule 2.

Note – Neighbourhood character places are shown on the Neighbourhood character overlay maps contained in Schedule 2.

Note – All proposed development on sites of indigenous cultural heritage significance is required to be carried out in accordance with the most current version of the Aboriginal Cultural Heritage Act 2003 - Duty of Care Provisions.

Note – Development on a state heritage place is to be carried out in accordance with the most current version of the Queensland Heritage Act 1992. Development on premises adjoining a state heritage place is regulated by the places of significance overlay code.

3.3.11 Element – community health and wellbeing

3.3.11.1 Specific outcomes

- (1) Public spaces are accessible, safe and designed to provide opportunities for social interaction and active and passive recreation.
- (2) The public realm is promoted as a place for art, cultural activities, events, markets and festivals.
- (3) The layout and design of development provides clear access to active and public transport facilities.
- (4) Existing public open spaces used for entertainment and event purposes are not compromised by development that is sensitive to the use of the space.
- (5) Land identified for sport and recreation purposes is protected from incompatible uses that would compromise the use of this land.
- (6) Community and educational facilities are provided close to the communities they serve.
- (7) Development that involves hazardous chemicals and materials or generates emissions, light, odours, dust or noise is adequately separated, designed and managed to avoid environmental harm or nuisance to sensitive land uses.
- (8) Development for sensitive land uses adjacent to development that generates noise, light, dust, odour or other like nuisances are located, designed and operated to minimise those impacts.
- (9) Future planning of the region takes into account social planning considerations including changing community characteristics, trends, issues and needs.
- (10) Development is located, designed and operated to ensure the impacts of traffic and transport noise do not cause nuisance to sensitive land uses.
- (11) Development for recreational activities that generate noise, light, dust, odour or other like nuisances are located, designed and operated to avoid impacts on sensitive land uses.
- (12) The redevelopment of major sporting facilities ensures their continued use.

- (13) Development recognises, respects and considers the unique characteristics of individual communities.
- (14) Sites that are contaminated or pose a health risk due to impacts from previous hazardous uses are remediated prior to being developed for sensitive land uses.
- (15) Sensitive and vulnerable land uses are not established in limited development areas.
- (16) Development within areas affected by Hazardous and explosive facilities is compatible with the risk associated with the facilities and do not compromise the ongoing operation of the facilities.

Note – Areas affected by Hazardous and explosive facilities are shown on the Hazardous and explosive facilities overlay maps contained in Schedule 2.

3.4 Natural areas and features theme

3.4.1 Strategic outcomes

- (1) The region's natural environment, resources, ecological processes and biodiversity values are protected, enhanced and rehabilitated in a manner that ensures their continuation as ecological, social, tourism and economic assets for present and future generations.
- (2) The region's internationally renowned tropical landscapes incorporating the hillslopes and foothills, marine and freshwater wetlands, beaches, headlands, streams and rivers, rural lands and open spaces are valued economically, aesthetically, culturally and socially and are protected from development that diminishes their ecological, social and economic value.
- (3) Development avoids areas of environmental significance. Where avoidance is not possible, development is designed, sited, operated and managed to mitigate adverse impacts on areas of environmental significance.
- (4) Natural resources are managed appropriately through federal, state, local government, regional resource management bodies, traditional owners, land owners and the community.
- (5) Development within the region's World Heritage Areas is sustainable and planned to conserve the ecological and scenic values of the area.
- (6) Development considers the impacts of natural hazards and is located and designed to avoid putting people, property and the environment at risk.
- (7) Public access to foreshore areas, coastal waters, waterways and wetlands is maintained and where appropriate, increased.

Note – Refer to the definition of areas of environmental significance contained in Schedule 1.2.

Note – Areas of environmental significance are shown on the Natural areas overlay maps contained in Schedule 2.

3.4.2 Element – biodiversity

3.4.2.1 Specific outcomes

- (1) The region's biodiversity values and associated habitats and ecosystems are maintained and protected from development, managed and where appropriate, ecological integrity and habitat connectivity is enhanced.
- (2) Endangered, vulnerable, and threatened flora and fauna species and their habitats are protected.
- (3) Marine, freshwater, and estuarine environments and their associated declared fish habitat areas are protected from adverse impacts generated by new or intensified development.
- (4) The integrity of the region's areas of environmental significance and their contribution to biodiversity is maintained for their intrinsic value and for present and future generations.

- (5) Strategic rehabilitation occurs where it is possible to achieve expanded habitats and increased connectivity between areas of environmental significance. This may also include strategic rehabilitation generated from development activities outside the region's local government boundary.
- (6) Weeds, pests and invasive species are a significant threat to the region's biodiversity conservation values. Development avoids exacerbating this threat and eradicates invasive species.
- (7) Development is designed, sited, operated and managed to avoid or mitigate potential adverse impacts on natural corridors and habitat links.

3.4.3 Element – waterways, wetlands and water catchments

3.4.3.1 Specific outcomes

- (1) The environmental values of waterways, wetlands and water catchments are protected.
- (2) Water quality of waterways, wetlands and water catchments is maintained and, where possible, enhanced.
- (3) Waterway and wetland health and aquatic biodiversity is conserved and downstream adverse impacts on the Great Barrier Reef do not occur.
- (4) The quality of riparian areas around waterways and wetlands are maintained or rehabilitated to a high standard for their ecology.
- (5) The region's water is sustainably managed in accordance with total water cycle management principles to ensure the ecological health of the region's ecosystems is maintained.
- (6) Water catchments and supplies are protected from inappropriate development that may compromise the quality and characteristics of the water resource.
- (7) Development is planned, designed, constructed and operated to conserve water quality, in-stream and riparian waterway values, and recreational use of natural and modified waterways and wetlands and their catchments across the region.
- (8) The quality and the physical and chemical properties of water resources are maintained and managed to avoid the movement of sediment and nutrients into receiving waters.

Note – The Great Barrier Reef Marine Park is shown on the Natural areas overlay maps contained in Schedule 2.

3.4.4 Element – landscapes

3.4.4.1 Specific outcomes

- (1) Development protects, maintains and enhances the region's landscape values.
- (2) Rural and inter-urban breaks are protected from visual intrusion.
- (3) Major scenic routes and scenic outlooks are protected from both the detrimental visual impacts of development and inappropriate vegetation clearing that may detract from the scenic qualities of the scenic route or outlook.

- (4) The hillslopes are retained as the scenic backdrop to the region and the ecological values and landscape character of the hillslopes are protected from inappropriate development.
- (5) Development on hillslopes and potential landslip hazard areas responds to the constraints of the land including vegetation, gradient and slope stability.

Note – Landscape values, Major scenic routes and scenic outlooks are shown on the Landscape values overlay maps contained in Schedule 2.

Note – Hillslopes are shown on the Hillslopes overlay maps contained in Schedule 2.

Note – Potential landslip hazard areas are shown on the Potential landslip hazard overlay maps contained in Schedule 2.

3.4.5 Element – coastal areas

3.4.5.1 Specific outcomes

- (1) Coastal resources, processes and areas, including foreshores, coastal wetlands, marine ecosystems, fish habitat areas and sand dunes are protected, managed and where appropriate rehabilitated.
- (2) The scenic amenity of the coastal areas is protected from inappropriate development that is visually dominant or visually intrusive.
- (3) Opportunities for public access to foreshore areas are maintained or enhanced and the use of foreshore areas occurs in a way that protects public safety and coastal resources.

3.4.6 Element – natural hazards

3.4.6.1 Specific outcomes

- (1) Development, other than coastal-dependent development, avoids areas that are vulnerable to natural hazards and avoids putting people and property at risk from natural hazards.
- (2) Development in areas susceptible to impacts of natural hazards provides for effective disaster response and recovery through evacuation routes, access for emergency services and the supply of essential goods and services.
- (3) Development does not directly or cumulatively cause or increase adverse impacts of natural hazards on other properties.
- (4) Infrastructure, including community and other critical infrastructure, is located and designed to be resilient and function effectively during and immediately after a hazard event.
- (5) In addition to the avoidance of areas that are vulnerable to natural hazards, development takes into account the impacts of climate change.
- (6) Development in the coastal communities of Yorkeys Knob, Holloways Beach and Machans Beach is contained within the existing identified urban area to prevent expansion into areas that are vulnerable to natural hazards.
- (7) Development, other than agricultural activities, does not occur within the Barron River Delta flood plain.

- (8) Coastal processes, such as erosion and accretion, are allowed to occur without intervention or the use of complex engineering solutions. Development in tidal and coastal areas is only established where it is for maintaining and enhancing safe access to the foreshore and coastal waters. Coastal protection works are only undertaken as a last resort where erosion poses an imminent threat to public safety and property.
- (9) Development on land that is vulnerable to the generation and release of leachate from acid sulfate soils is managed to avoid the disturbance of these soils.

Note – Land containing or potentially containing actual acid sulfate soils is shown on the Acid sulfate soils overlay maps contained in Schedule 2.

Note – Land which may be subject to flood or inundation is shown on the Flood and inundation hazard overlay maps contained in Schedule 2.

Note – Land which may be subject to bushfire is shown on the Bushfire hazard overlay maps contained in Schedule 2.

Note – Land which may be subject to coastal processes is shown on the Coastal processes overlay maps contained in Schedule 2.

3.4.6.2 Land use strategies

- (1) Catchment management plans, storm tide and flood plain modelling, and hazard management plans are continually improved and undertaken to provide more detailed understanding of the impacts and risk from natural hazards and climate change in the region.

3.4.7 Element – resource extraction

3.4.7.1 Specific outcomes

- (1) Extractive industries do not detrimentally impact on community wellbeing or the region's ecological, landscape and rural values.
- (2) Extractive industries only occur where potential adverse impacts on people, property, and ecological, natural resource and landscape values are avoided, and if not able to be avoided, are minimised and mitigated.
- (3) Development within resource separation areas is compatible with the nature of the resource extraction.
- (4) Development, in and adjacent to extractive resource areas that could detrimentally affect the continued or future operation of the identified extractive resource areas is not supported.
- (5) Upon cessation of extractive industries, buildings, machinery and other associated infrastructure are removed and the land is rehabilitated to either a natural state or a state that is suitable for alternative uses.

Note – Extractive resource areas and separation areas are shown on the Extractive resource overlay maps contained in Schedule 2.

3.5 Economy theme

3.5.1 Strategic outcomes

- (1) The region is recognised as Far North Queensland's key economic centre providing major industrial, agricultural, maritime, aviation, defence, health, education, commercial, retail, recreational and entertainment facilities and opportunities.
- (2) Due to the quality of the natural environment and extent and availability of productive agricultural land, tourism and primary production remain the key economic drivers for the region. However, the region's economy will become more diversified, improving business and employment opportunities and providing resilience against future adverse economic, social and environmental conditions which may impact the region.
- (3) Economic benefits and opportunities are maximised through the promotion of appropriate land uses, minimisation of land use conflicts and the protection of significant infrastructure.

3.5.2 Element – strong and diverse economy

3.5.2.1 Specific outcomes

- (1) Existing economic activities continue to be facilitated in and around existing allocated areas and where possible are consolidated or co-located with similar or complementary activities.
- (2) Development of buildings and spaces within the higher order centres incorporates adaptable and multi-use design principles to respond to changing market needs.
- (3) Higher order centres provide employment opportunities, with the widest range of employment options located in the Principal centre.
- (4) Specialised centres and industry areas offer opportunities for specialised employment and development in these areas provides high quality design and amenity to promote investment.
- (5) Development that contributes to diversifying the economy is facilitated in locations where it is:
 - (a) compatible with the scale and character of the surrounds and does not adversely impact on the natural environment or supply of agricultural land;
 - (b) highly accessible;
 - (c) designed to avoid areas that are vulnerable to natural hazards;
 - (d) supported by infrastructure necessary to meet the demand of the activity.
- (6) Development is located, designed and operated to be functional as soon as possible after a natural hazard event to contribute to a resilient economy.

3.5.2.2 Land use strategies

- (1) Strategic investigations for securing and supplying future employment land are undertaken in advance of urban land being designated or supplied beyond the urban footprint.

3.5.3 Element – tourism

3.5.3.1 Specific outcomes

- (1) The Cairns region is a national and international tourist destination that provides a diverse range of tourist accommodation, attractions and experiences that respond to the changing needs and expectations of the tourism industry.
- (2) Tourist accommodation is provided in highly accessible locations and meets the varying needs of visitors to the region.
- (3) The region's areas of environmental significance are recognised and protected for their contribution to tourism in the region.
- (4) Tourism development and associated infrastructure is established where it:
 - (a) responds to a new, emerging or innovative tourism trend that will enhance visitor experiences;
 - (b) conserves the region's areas of environmental significance;
 - (c) is complementary to and compatible with other land uses;
 - (d) maintains or enhances the economic vitality of the region and the region's centres, provides local employment opportunities and contributes to local economic diversification;
 - (e) does not diminish the quality or extent rural land and extractive resource areas;
 - (f) does not compromise the operation of agricultural activities on rural land;
 - (g) complements and enhances the scenic amenity and character of the local setting;
 - (h) maintains a high level of amenity for nearby residents;
 - (i) promotes a positive image for the region.
- (5) The region's major tourist attractions are protected from the encroachment of incompatible development.
- (6) Fitzroy Island, Green Island and Double Island continue to provide unique tourist experiences based on the appreciation of their natural setting within the Great Barrier Reef World Heritage Area.
- (7) Rural and rural residential areas support compatible tourism activities where they do not have adverse impacts on the natural environment, supply of agricultural land, landscape character and amenity for surrounding residents.
- (8) New tourist accommodation and entertainment areas are planned and developed in appropriate parts of the region.

3.5.4 Element – agriculture

3.5.4.1 Specific outcomes

- (1) Agricultural industries are enhanced through the use of new technologies and practices and the expansion and protection of existing activities and infrastructure.
- (2) The availability and viability of rural land for ongoing agricultural use is not compromised by inappropriate or incompatible development.
- (3) Cane rails and associated infrastructure are retained to support the agricultural industry.

3.5.5 Element – ports, aviation and defence

3.5.5.1 Specific outcomes

- (1) Development does not compromise the ongoing operations of the Cairns Airport, Port of Cairns and Australian Defence Force bases within the region.

- (2) Development that is directly associated with or supports the operations of the Cairns Airport, Port of Cairns and Australian Defence Force bases is facilitated.

Note – Operational areas of the Cairns Airport are shown on the Airport environs overlay maps contained in Schedule 2.

Note – Development within Strategic Port Land is subject to the provisions of Part 10.

3.6 Infrastructure theme

3.6.1 Strategic outcomes

- (1) Infrastructure, including priority infrastructure, is provided to accommodate the growth of the region.
- (2) Development occurs in a way that supports the efficient, orderly and timely provision of infrastructure.
- (3) The region is connected through an integrated transport system that promotes increased walking, cycling and use of public transport.
- (4) Land use planning for emerging communities integrates infrastructure provision.
- (5) Existing and planned infrastructure is identified and protected from incompatible development.
- (6) Sustainable on-site waste water disposal, water supply and electricity supply occurs in parts of the region that cannot be connected to reticulated networks.
- (7) New technologies are utilised to achieve sustainable infrastructure outcomes.
- (8) Suitable land, facilities and improvements are provided to meet the sport and recreation needs of the community.

3.6.2 Element – energy

3.6.2.1 Specific outcomes

- (1) The energy needs of the region are met in a manner that minimises impacts on the health of surrounding communities, natural environments and scenic amenity and wherever possible supports low emission and/or renewable energy sources.
- (2) Renewable energy facilities, including wind, solar and combined heat and energy from waste and recyclable materials, plants or biomass are established in locations where they can be readily connected to a high-voltage electricity network (with adequate capacity) and adverse impacts on surrounding land uses, the extent of rural land and areas of environmental significance are minimised.
- (3) Development incorporating best practice energy efficiency design principles and maximising the use of renewable and sustainable energy supplies and sources.

3.6.3 Element – transport

3.6.3.1 Specific outcomes

- (1) The current and future function and improvement of higher order roads and transport and freight networks is considered in land use planning and protected from incompatible development.
- (2) Existing and planned transport corridors and buffer areas are protected from development that would compromise the current and future function of the corridor.
- (3) Local, State and Federal road networks integrate within existing communities and planned growth areas.

- (4) Designated transport, freight and haulage routes are appropriately managed and maintained to ensure the efficient supply of goods and services.
- (5) Development is designed and located to ensure the road reserve's pedestrian, cycle and transport function is maintained or improved.
- (6) Development provides sufficient vehicle and bicycle parking and end of trip facilities to accommodate the generated demand.

Note –The road hierarchy is shown on the transport network overlay maps contained in Schedule 2.

3.6.3.2 Land use strategies

- (1) Detailed planning and design for the arterial connection between Smithfield and Yorkeys Knob Road (and its connection to the Captain Cook Highway) is undertaken to inform future land use and growth scenarios for inclusion in future planning scheme amendments.
- (2) Detailed planning for the transport investigation corridor between White Rock and Edmonton is undertaken to confirm location, transport objectives and feasibility. Subsequent amendments to the planning scheme are undertaken to reflect the investigation and feasibility findings.

3.6.4 Element – water and waste

3.6.4.1 Specific outcomes

- (1) Water supply catchments and resources are protected and used efficiently and sustainably.
- (2) Water and sewerage infrastructure is provided in locations that maintain the health and well-being of the community and the environment.
- (3) Development in urban areas connects to the reticulated water supply and sewerage infrastructure in line with demand and standards of infrastructure provision.
- (4) Development in areas that are not serviced is required to provide reliable and potable water supply and on-site effluent treatment and disposal that does not have detrimental impacts on amenity or health and wellbeing of communities or the natural environment.
- (5) Waste management and recycling infrastructure minimises impacts on the environment and scenic amenity. Waste management and recycling facilities are spatially separated from existing sensitive land uses and receiving waters and are equally protected from the intrusion of new sensitive land uses.

3.6.5 Element – open space and recreation

3.6.5.1 Specific outcomes

- (1) Development incorporates publicly accessible and functional open space to contribute to the region's network of parkland, sport and recreation facilities and green corridors.
- (2) Sufficient land is distributed across the region's communities to cater for the development of parks and sport and recreation facilities. Facilities are provided to:

- (a) ensure a diverse range of sport and recreation opportunities;
- (b) encourage multi-purpose spaces and hubs for recreation;
- (c) facilitate a recreational trail network;
- (d) form networks of interconnected open space and green corridors;
- (e) promote and contribute to the green space character of the region;
- (f) promote a degree of flexibility in the use of open space for other community purposes.

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Part 4 Local government infrastructure plan

Part 4 (Local government infrastructure plan) is not fully reflected in the planning scheme at this point in time.

Amendments made to the *Sustainable Planning Act 2009* in June 2014 required Local Governments to prepare a Local Government Infrastructure Plan. A grace period extending to 30 June 2016 was included in the amended legislation, during which time a local government planning scheme is not required to include a Local Government Infrastructure Plan.

Further amendments were introduced through the Local Government and Other Legislation Amendment Bill (No. 2) 2015 which allow the Planning Minister to approve local government applications for an extension of the deadline to adopt an LGIP from before 1 July 2016 up to before 1 July 2018. These amendments commenced in *Sustainable Planning Act 2009* on 20 November 2015.

Council has commenced the preparation of a Local Government Infrastructure Plan.

Until a Local Government Infrastructure Plan is endorsed by Council, Council's Adopted Charges Resolution contains the following:

- the infrastructure charge rates to be levied upon development in locations across the Region;
- the Desired Standards of Service for trunk infrastructure networks;
- the Infrastructure Works Schedules, including the establishment cost of trunk infrastructure items; and
- the existing and future Plans for Trunk Infrastructure for the local government area.

The resolution can be found at: <http://www.cairns.qld.gov.au/building-planning-business/-planning/infrastructure-contributions>

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Part 5 Tables of assessment

5.1 Preliminary

The tables in this part identify the level of assessment and assessment criteria for development within the planning scheme area.

5.2 Reading the tables

- (1) The tables identify the following:
 - (a) development that is prohibited, exempt or requires self, compliance, code or impact assessment.
 - (b) the level of assessment for development in:
 - (i) a zone and, where used, a precinct of a zone;
 - (ii) a local plan and, where used, a precinct of a local plan
 - (iii) an overlay where used.
 - (c) the assessment criteria for development, including:
 - (i) Whether a zone code or specific provisions in the zone code apply (shown in the 'assessment criteria' column);
 - (ii) If there is a local plan, whether a local plan code or specific provisions of the local plan code apply (shown in the 'assessment criteria' column);
 - (iii) If there is an overlay:
 - (A) whether an overlay code applies (shown in the 'assessment criteria' column); or
 - (B) whether the assessment criteria as shown on the overlay map (noted in the 'assessment criteria' column) applies;
 - (iv) any other applicable code(s) (shown in the 'assessment criteria' column);
 - (d) any variation to the level of assessment (shown as an 'if' in the 'development' column) that applies to the development.

- (2) For all development, identify the following:
 - (a) the applicable zone, (or where there are multiple zones that apply to a premises, each applicable zone) or zone precinct that applies to the area of the premises subject to the development footprint, by reference to the zone maps contained in Schedule 2;
 - (b) if a local plan or local plan precinct applies to the premises, by reference to the local plan maps contained in Schedule 2;
 - (c) if an overlay applies to the premises, by reference to the overlay maps contained in Schedule 2 and the Overlay codes contained in Part 8.

- (3) There is a table for each zone, in alphabetical order based on the name of the zone, which is identified at the head of the table. Development within that zone is subject to the levels of assessment and assessment criteria identified in that table, subject to subsection (3).

- (4) Where a zone has been divided into precincts there will be a table for each precinct as a subset of the zone and development within that precinct is assessed under that precinct table, rather than the zone table.

Editor's note – record the applicable zone (or zones where more than one applies), zone precincts, overlays and local plans that apply to the site.

Editor's note – identify the relevant zone or zone precinct table. This is the table that is applicable to determine the level of assessment and assessment criteria for the development.

- (5) For a Material change of use or uses, the applicable use or uses are identified by reference to the Use definitions in Schedule 1.1.

Editor’s note – record the applicable use or uses to cross reference in the relevant table.

- (6) Column 1 of each table:
 - (a) has subheadings for Material change of use, Reconfiguring a lot, Operational work and Building work and identifies specific types of development;
 - (b) identifies overlays that may vary the level of assessment for the development;
 - (c) identifies local plans that may vary the level of assessment for the development;
 - (d) other circumstances that may vary the level of assessment for the development.

Editor’s note – The level of assessment may vary where there is an applicable overlay or local plan or where there is another circumstance (for example the size, type or nature of the development). In column 1 of the table, identify the type of development proposed and whether any applicable overlays, local plans or other circumstances vary the level of assessment for the development.

- (7) Column 2 of each table identifies, by category, the level of assessment for development as exempt, self, compliance, code or impact assessable and varied levels of assessment for development as identified in subsection (5)(b), (c) and (d).
- (8) Where there are no applicable overlays, local plans or other circumstances identified in Column 1 then the relevant row for determining the level of assessment is the first row relating to that development.
- (9) Where applicable overlays, local plans or other circumstances are identified in a row, then the relevant rows for determining the level of assessment will be each of those applicable overlay, local plan or other circumstance rows.
- (10) Where the level of assessment is varied by overlays, local plans or other circumstances then the highest level of assessment applies to the development as follows:
 - (a) self-assessable prevails over exempt;
 - (b) compliance assessment prevails over self-assessable and exempt;
 - (c) code assessable prevails over compliance assessment, self-assessable and exempt;
 - (d) impact assessable prevails over code, compliance assessment, self-assessable and exempt.
- (11) Column 3 of each table identifies the assessment criteria against which the development will be assessed.
- (12) Column 3 is divided into subheadings which identify individual codes, or in the first cell the whole of the CairnsPlan 2016, against which the development will be assessed.
- (13) Codes identified in subheadings in Column 3 are contained within parts 6, 7, 8 and 9 of the planning scheme.
- (14) The symbol "a" in a green cell shown in Figure 5.2.a, identifies applicable assessment criteria for the development by reference to the subheadings in Column 3.

Figure 5.2.a – Symbol for applicable assessment criteria

a Applicable assessment criteria

- (15) The assessment criteria that are applicable are those identified by the symbol in Figure 5.2.a reading across in a row from rows in Column 1 and Column 2.

- (16) Where there are no applicable overlays, local plans or other circumstances identified in Column 1 then the relevant row for determining the assessment criteria is the first row relating to that development.
- (17) Where overlays, local plans or other circumstances are applicable to the development and identified in a row or where more than one row applies, then the relevant rows for determining the assessment criteria will be all of those applicable overlay, local plan or other circumstance rows.
- (18) Impact assessable development is required to be assessed against the whole of the planning scheme and the presence of the symbol in Figure 5.2.a in the first subheading of Column 3 identifies that requirement.

5.3 Additional matters about levels of assessment

- (1) A Material change of use is impact assessable:
 - (a) unless the tables of assessment states otherwise; or
 - (b) if a use is not listed in the tables of assessment; or
 - (c) if a use is not defined in the Use definitions contained in Schedule 1.1; or
 - (d) unless otherwise prescribed within the Act or the Regulation.
- (2) Reconfiguring a lot is code assessable, unless:
 - (a) the tables of assessment state otherwise; or
 - (b) otherwise prescribed within the Act or the Regulation.
- (3) Building work and Operational work is exempt development, unless:
 - (a) the tables of assessment state otherwise; or
 - (b) otherwise prescribed within the Act or the Regulation.
- (4) Development undertaken by or on behalf of the local government is:
 - (a) as per the level of assessment as identified in Part 5; or
 - (b) Code assessable where identified as Impact assessable in Part 5 and is to be assessed against the whole planning scheme, to the extent relevant.
- (5) Where development is proposed on premises included in more than one zone, local plan, overlay or other circumstance, the level of assessment is the highest level for each aspect of the development under each of the applicable zones, local plans, or overlays or other circumstances.
- (6) Where development is proposed on premises partly affected by an overlay, the level of assessment for the overlay only relates to the part of the premises affected by the overlay.
- (7) Where a development is comprised of a number of defined uses (not in an activity group), the highest level of assessment applies.
- (8) For the purposes of Schedule 4, Table 2, item 2 of the Regulation, an overlay does not apply to the premises if the development meets the self-assessable acceptable outcomes of the relevant overlay code.
- (9) Despite sub-subsections 5.3 (4), a level of assessment in a local plan overrides a level of assessment in a zone and a level of assessment in an overlay overrides a level of assessment in a zone or local plan.

- (10) Provisions of Part 10 may override any of the above.
- (11) State prescribed levels of assessment identified in Part 5, section 5.5, override all other levels of assessment for that development, with the exception of the levels of assessment prescribed in the Act or the Regulation.
- (12) Despite all of the above, if development is listed as prohibited development under Schedule 1 of the Act, a development application cannot be made.

Note – Development is to be only taken to be prohibited development under the planning scheme if it is identified in Schedule 1 of the Act, a state planning regulatory or in section 5.4 of the standard planning scheme provisions.

5.4 Additional matters about determining the assessment criteria

- (1) In addition to the above, the following rules apply in determining assessment criteria for each level of assessment:
 - (a) Self-assessable development:
 - (i) is to be assessed against all the identified self-assessable acceptable outcomes of the applicable code(s) identified in Column 3;
 - (ii) that complies with the self-assessable acceptable outcomes of the applicable code(s) complies with the code(s);
 - (iii) that does not comply with one or more identified self-assessable acceptable outcomes of the applicable code(s) becomes code assessable development unless otherwise specified.
 - (b) Development requiring compliance assessment:
 - (i) is to be assessed against all the identified compliance outcomes of the applicable code(s) identified in Column 3;
 - (ii) that complies with, or is conditioned to comply with, the compliance outcome(s) complies with the code(s).
 - (c) Code assessable development:
 - (i) is to be assessed against all the applicable codes identified in Column 3;
 - (ii) that occurs as a result of development becoming code assessable pursuant to sub-section 5.4(1)(a)(iii), should:
 - (A) be assessed against the assessment criteria for the development application, limited to the subject matter of the self-assessable acceptable outcomes that were not complied with or were not capable of being complied with under sub-section 5.4(1)(a);
 - (B) comply with all self-assessable acceptable outcomes identified in subsection 5.4(1)(a)(i) and 5.4(1)(a)(ii), other than those mentioned in sub-section 5.4(1)(a)(iii);
 - (iii) that complies with:
 - (A) the purpose and overall outcomes of the code;
 - (B) the performance or acceptable outcomes - complies with the code;
 - (iv) is to have regard to the purposes of any instrument containing an applicable code.

Note - In relation to section 5.3.3(4)(d) above, and in regard to section 313(3)(d) of the Act, the strategic framework (where relevant) is considered to be the purpose of the instrument containing an applicable code.

- (d) Impact assessable development must be assessed against the whole planning scheme, to the extent relevant.

5.5 Prescribed levels of assessment

- (1) Prescribed levels of assessment exist for the following types of development:
 - (a) Material change of use:
 - (i) for Community residence in a residential zone or residential zone category or a rural residential zone;
 - (ii) for Cropping where involving forestry for wood production within a rural zone;
 - (b) Reconfiguring a lot:
 - (i) for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation;
 - (c) Operational work:
 - (i) associated with reconfiguring a lot for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation.

- (2) Prescribed levels of assessment for the above are contained within the tables in section 5.6 Levels of assessment.

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Column 1	Column 2	Column 3																																																		
Development	Level of assessment	Assessment criteria																																																		
		CairnsPlan 2016	Community facilities zone code	Applicable local plan codes ^a	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Market code	Multiple dwelling and short-term accommodation code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code													
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a		a		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a										a						
Function facility	Code		a	a	a	a	a	a	a		a	a	a	a	a	a	a	a	a											a	a	a	a		a	a	a									a						
IF within the Extractive resources overlay	Impact	a																																																		
Funeral parlour	Code		a	a	a	a	a	a	a		a	a	a	a	a	a	a	a	a											a	a	a		a	a	a											a					
IF within the Extractive resources overlay	Impact	a																																																		
Health care services	Code		a	a	a	a	a	a	a		a	a	a	a	a	a	a	a	a											a	a	a	a		a	a	a											a				
IF contained within an existing building	Self		a		a		a	a		a		a		a			a												a	a		a		a		a		a		a		a		a		a						
IF within the Extractive resources overlay	Impact	a																																																		
IF within the Hazardous and explosive facilities overlay	Impact	a																																																		
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a	a	a	a		a	a	a												a			
Hospital	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a		a	a		a	a	a												a			
IF within the Extractive resources overlay	Impact	a																																																		
IF within the Hazardous and explosive facilities overlay	Impact	a																																																		
Market	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a					a						a		a	a		a	a	a													a		
IF within the Extractive resources overlay	Impact	a																																																		
Outdoor sport and recreation	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a	a		a	a		a	a	a													a	
IF within the Extractive resources overlay	Impact	a																																																		
Park	Exempt																																																			
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																																		
IF within a Resource separation area or Haulage route separation area within the Extractive resources	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
Place of worship	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a				a							a		a	a		a	a	a														a	
Residential care facility	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a			a	a		a	a	a													a	
IF within the Extractive resources overlay	Impact	a																																																		
Sales office	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a			a	a		a	a	a														a
IF within the Extractive resources overlay	Impact	a																																																		
Theatre	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
IF within the Extractive resources overlay	Impact	a																																																		
All other uses not otherwise identified	Impact	a																																																		
Undefined uses	Impact	a																																																		
Reconfiguring a lot	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
Operational work	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
IF for advertising devices	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a											a																						
IF for advertising devices for illuminated signage	Impact	a																																																		
IF for advertising devices for a billboard	Impact	a																																																		
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
IF for excavation or filling of 50m ³ or less	Self		a		a		a	a		a		a		a			a																																			
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a		a	a	a	a	a	a	a	a	a	a																																	
IF for vegetation damage	Self		a		a		a	a		a		a		a			a																																			
IF for vegetation damage within the Places of significance overlay	Code		a		a		a	a		a		a		a			a																																			
IF for works on a local government road	Self		a		a		a	a		a		a		a			a																																			

Column 1	Column 2	Column 3																																						
Development	Level of assessment	Assessment criteria																																						
		CairnsPlan 2016	Community facilities zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Market code	Multiple dwelling and short-term accommodation code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Building work																																								
Minor building work	Self	a			a		a	a		a		a		a	a		a		a															a	a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code	a			a		a	a		a		a		a	a		a		a														a	a						
Building work	Self	a			a		a	a		a		a		a	a		a		a														a	a						
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code	a			a		a	a		a		a		a	a		a		a													a	a							
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																						
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code	a			a		a	a		a		a		a	a		a		a														a	a						
IF for removal or demolition within the Neighbourhood character overlay	Code	a			a		a	a		a		a		a			a		a													a	a							
IF for removal or demolition within the Places of significance overlay	Impact	a																																						

* Applicable overlays are identified by reference to the overlay maps contained in Schedule 2
 ^ Applicable local plans are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.b - Conservation zone

Column 1	Column 2	Column 3																											
Development	Level of assessment	Assessment criteria																											
		CairnsPlan 2016	Conservation zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay*	Neighbourhood character overlay*	Places of significance overlay*	Potential landslip hazard overlay code*	Transport network overlay*	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																													
Environment facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a		a	a				a
IF within the Extractive resources overlay	Impact	a																											
All other uses not otherwise identified	Impact	a																											
Undefined uses	Impact	a																											
Reconfiguring a lot																													
Reconfiguring a lot	Impact	a																											
IF for a lease exceeding 10 years and associated an existing or approved Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a			a				a	
IF for a boundary realignment	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a			a				a	
Operational work																													
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a		a	a				
IF for advertising devices	Impact	a																											
IF for excavation or filling of greater than 25m ³	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a							
IF for excavation or filling of 25m ³ or less	Self		a			a	a	a		a		a		a	a		a					a							
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a							
IF for vegetation damage	Self		a			a	a	a		a		a		a	a		a												a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a		a		a		a		a	a												a
IF for works on a local government road	Self		a			a	a	a		a		a		a	a		a							a					
Building work																													
Minor building work	Self		a			a		a		a		a		a	a		a				a			a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a		a		a		a	a		a				a			a					
Building work	Code		a	a	a	a		a	a	a	a	a	a	a	a	a	a	a			a			a					
IF for removal or demolition	Self		a			a		a		a		a		a	a		a				a			a					
IF for removal or demolition within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Impact	a																											
IF within the Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a		a	a	a		a		a	a		a				a			a					
IF within the Resource processing area within the Extractive resources overlay	Impact	a																											
IF within the Places of significance overlay	Code		a			a		a		a		a		a	a		a				a			a					

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.c - District centre zone

Column 1	Column 2	Column 3																																								
Development	Level of assessment	Assessment criteria																																								
		CairnsPlan 2016	District centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code					
Material change of use																																										
Adult store	Code		a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a						
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a		a															a	a	a	a	a	a	a	a	a	a			
IF contained within an existing building and within the Babinda or Gordonvale Local Plan area	Self		a			a	a	a			a	a			a															a	a	a	a	a	a	a	a	a	a			
IF within the places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a		a															a	a	a	a	a	a	a	a	a	a			
Child care centre	Code		a	a	a	a	a	a	a	a	a	a	a			a														a	a	a		a	a	a	a	a	a			
IF contained within an existing building	Self		a			a	a	a			a	a				a															a		a	a	a	a	a	a	a	a		
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a				a	a																	a		a	a	a	a	a	a	a	a	a		
Club (other than small scale)	Code		a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a		
Community care centre	Code		a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a	a	
IF contained within an existing building	Self		a			a	a	a			a	a				a															a		a	a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a				a	a																	a		a	a	a	a	a	a	a	a	a	a	
Community use	Code		a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a	a	
IF contained within an existing building	Self		a			a	a	a			a	a				a															a		a	a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a				a	a																	a		a	a	a	a	a	a	a	a	a	a	
Educational establishment	Code		a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a	a	a
IF involving accommodation	Code		a	a	a	a	a	a	a	a	a	a	a									a			a						a	a	a	a	a	a	a	a	a	a	a	
Emergency services	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
Environment facility	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a			a	a																			a		a	a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a				a	a																		a	a	a	a	a	a	a	a	a	a	a	
Function facility	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
Funeral parlour	Impact			a	a	a	a	a			a	a	a																		a	a	a	a	a	a	a	a	a	a	a	
Garden centre	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
Hardware and trade supplies	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
Health care services	Code		a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a			a	a																			a		a	a	a	a	a	a	a	a	a	
IF within the Places of significance and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a				a	a																		a	a	a	a	a	a	a	a	a	a	a	

Column 1	Column 2	Column 3																																					
Development	Level of assessment	Assessment criteria																																					
		CairnsPlan 2016	District centre zone code	Applicable local plan codes\	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Home based business	Self		a			a	a	a		a	a								a									a		a		a	a	a		a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a	a								a									a		a		a	a	a		a		a	
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a	a	a	a													a		a	a	a		a	a	a		a	a	a	
IF contained within an existing building	Self		a			a	a	a		a	a															a		a		a		a	a	a		a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a												a		a		a		a	a	a		a	a	a		
Market	Self		a			a	a	a		a	a									a									a		a		a	a	a		a		a
IF within the Places of significance overlay	Code		a			a	a	a		a	a																		a		a		a	a	a		a		a
Multiple dwelling	Code		a	a	a	a	a	a	a	a	a	a	a								a								a	a	a		a	a	a		a	a	a
Office	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a		a	a																		a		a		a	a	a		a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a																a		a		a	a	a		a	a	a
Park	Exempt																																						
Parking station	Code		a	a	a	a	a	a	a	a	a	a	a									a							a	a	a		a	a	a		a	a	a
Place of worship	Code		a	a	a	a	a	a	a	a	a	a	a			a													a	a	a		a	a	a		a	a	a
Residential care facility	Code		a	a	a	a	a	a	a	a	a	a	a										a						a	a	a		a	a	a		a	a	a
Rooming accommodation	Code		a	a	a	a	a	a	a	a	a	a	a											a					a	a	a		a	a	a		a	a	a
Sales office	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
Service industry	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
IF contained within an existing building used for a lawfully established Centre activity and not for a laundromat or dry cleaners with a GFA greater than 150m ²	Self		a			a	a	a		a	a																		a		a		a	a	a		a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a																a		a		a	a	a		a	a	a
Shop	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a		a	a																		a		a		a	a	a		a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a																a		a		a	a	a		a	a	a
Shopping centre	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
Showroom	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a
Theatre	Code		a	a	a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	a	a

Column 1	Column 2	Column 3																																					
Development	Level of assessment	Assessment criteria																																					
		CairnsPlan 2016	District centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Veterinary services	Code		a	a	a	a	a	a	a	a	a	a	a														a	a	a	a	a	a	a	a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a		a	a																a	a		a		a	a						
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a														a	a	a	a		a	a	a	a	a	a		
All other uses not otherwise identified	Impact	a																																					
Undefined uses	Impact	a																																					
Reconfiguring a lot																																							
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a															a	a		a	a							
Operational work																																							
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a															a	a		a	a							
IF for advertising devices	Code		a	a	a	a	a	a	a	a	a	a	a														a												
IF for advertising devices for projecting signage	Self		a			a	a	a		a	a																a												
IF for advertising devices for projecting signage within the Places of significance	Code		a	a	a	a	a	a	a	a		a	a														a												
IF for advertising devices for a billboard	Impact	a																																					
IF for excavation or filling of greater than 50m³	Code		a	a	a	a	a	a	a	a	a	a	a																a	a									
IF for excavation or filling of 50m³ or less	Self		a			a	a	a		a	a																			a									
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a															a	a										
IF for vegetation damage	Self		a			a	a	a		a	a																											a	
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a		a		a																										a	
IF for works on a local government road	Self		a			a	a	a		a	a																											a	
Building work																																							
Minor building work	Self		a			a	a	a		a	a																			a	a								
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a	a																			a	a								
Building work	Self		a			a	a	a		a	a																												
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a	a																												
IF for removal or demolition within the Places of significance overlay	Impact	a																																					

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

^ Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.d - Emerging community zone

Column 1	Column 2	Column 3																																	
Development	Level of assessment	Assessment criteria																																	
		CairnsPlan 2016	Emerging community zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Dual occupancy code	Dwelling house code	Extractive industry code	Home based business code	Roadside stall code	Sport and recreation activities code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																																			
Animal husbandry	Self		a			a	a		a		a		a	a														a		a	a	a		a	
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																	
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a	a	a	a		a		a	a													a	a		a	a	a		a	
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a		a		a		a	
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																	
Community use	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a		a	a	a		a	
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																	
Cropping	Self		a			a	a		a		a		a	a														a		a				a	
Dwelling house	Self		a			a	a		a				a	a						a								a		a		a		a	
IF within the Extractive resources overlay	Impact	a																																	
Emergency services	Code		a	a	a	a	a		a	a	a	a	a	a	a												a	a		a	a	a		a	
IF within the Extractive resources overlay	Impact	a																																	
Environment facility	Self		a			a	a		a		a		a	a														a		a	a	a		a	
IF within the Extractive resources overlay	Impact	a																																	
IF within the Hazardous and explosive facilities overlay	Code		a			a	a		a	a	a		a	a														a		a	a	a		a	
Home based business	Self		a			a	a		a		a		a	a							a							a		a	a	a		a	
IF within the Extractive resources overlay	Impact	a																																	
Outdoor sport and recreation	Code		a	a	a	a	a		a	a	a	a	a	a	a													a		a	a	a	a		a
IF within the Extractive resources overlay	Impact	a																																	
Park	Exempt																																		
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																	
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a	a	a	a	a	a	a		a	a	a	a	a																				
Place of worship	Code		a	a	a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a
IF within the Extractive resources overlay	Impact	a																																	
Roadside stall	Code		a	a	a	a	a		a	a	a	a	a	a	a													a		a		a		a	
IF within the Extractive resources overlay	Impact	a																																	
Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a													a		a	a	a	a		a
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																	
IF within Hazardous and explosive facilities overlay	Impact	a																																	
Utility installation	Code		a	a	a	a	a	a	a	a	a	a	a	a	a														a	a		a	a	a	
IF within a Resource processing area within the Extractive resource overlay	Impact	a																																	
IF within the Hazardous and explosive facilities overlay	Impact	a																																	
All other uses not otherwise identified	Impact	a																																	
Undefined uses	Impact	a																																	

Column 1	Column 2	Column 3																																	
Development	Level of assessment	Assessment criteria																																	
		CairnsPlan 2016	Emerging community zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Dual occupancy code	Dwelling house code	Extractive industry code	Home based business code	Roadside stall code	Sport and recreation activities code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Reconfiguring a lot																																			
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a		a	a				
Operational work																																			
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a		a	a				
IF for advertising devices	Impact		a																																
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a	a		a		a		a	a														a							
IF for vegetation damage	Self		a			a	a		a		a		a	a																					a
IF for works on a local government road	Self		a			a	a		a		a		a	a																					
Building work																																			
Minor Building work	Self		a			a			a		a		a	a														a		a					
Building work	Self		a			a			a		a		a	a														a		a					
IF within a Resource processing area within the Extractive resources overlay	Impact		a																																
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a			a		a		a	a														a		a					

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

^ Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.e.1 - Environmental management zone

Column 1	Column 2	Column 3																											
Development	Level of assessment	Assessment criteria																											
		CairnsPlan 2016	Environmental management zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Dwelling house code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																													
Dwelling house	Code		a	a	a	a	a	a		a	a		a	a	a	a	a	a						a	a		a	a	
IF within the Extractive resources overlay	Impact	a																											
Environment facility	Self		a			a	a	a		a	a		a	a		a							a	a	a	a	a		a
IF within the Extractive resources overlay	Impact	a																											
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a	a		a		a	a							a	a	a	a	a		a
Home based business	Code		a	a	a	a	a	a	a	a	a		a	a	a	a	a		a			a	a	a	a	a	a		a
IF within a Resource processing area within the Extractive resources overlay	Impact	a																											
Park	Self		a			a	a	a		a	a		a	a		a							a	a					
IF within a Resource processing area within the Extractive resources overlay	Impact	a																											
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a	a	a	a	a	a		a	a		a							a	a					
All other uses not otherwise identified	Impact	a																											
Undefined uses	Impact	a																											
Reconfiguring a lot																													
Reconfiguring a lot	Impact	a																											
IF for a lease exceeding 10 years and associated an existing or approved Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a						a	a				a	
IF for boundary realignment	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a						a	a				a	
Operational work																													
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a	a	a				
IF for advertising devices	Impact	a																											
IF for excavation or filling of greater than 25m³	Code		a	a	a	a	a	a	a	a	a	a	a	a		a	a					a	a						
IF for excavation or filling of 25m³ or less	Self		a			a	a	a		a	a		a	a		a							a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a						
IF for vegetation damage	Self		a			a	a	a		a	a		a	a		a													a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a		a	a		a		a	a													a
IF for works on a local government road	Self		a			a	a	a		a	a		a	a		a								a					

Column 1	Column 2	Column 3																											
Development	Level of assessment	Assessment criteria																											
		CairnsPlan 2016	Environmental management zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Dwelling house code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Building work																													
Minor building work	Self		a		a		a		a		a		a		a		a							a		a			
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a						a		a				
Building work	Self		a		a		a		a		a		a		a		a						a		a				
IF within a Resource processing area within the Extractive resources overlay	Impact	a																											
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a		a		a		a		a		a		a		a						a		a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a						a		a				
IF for removal or demolition within the Places of significance overlay	Impact	a																											

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.e.2 - Environmental management precinct 1 - Residential

Column 1	Column 2	Column 3																											
Development	Level of assessment	Assessment criteria																											
		CairnsPlan 2016	Environmental management zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Dwelling house code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																													
Dwelling house	Code		a	a	a	a	a	a		a	a		a	a	a	a	a	a					a		a		a		a
IF within the Extractive resources overlay	Impact	a																											
Environment facility	Self		a			a	a	a		a	a		a	a		a						a		a		a		a	
IF within the Extractive resources overlay	Impact	a																											
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a	a		a		a							a		a		a		a	
Home based business	Code		a	a	a	a	a	a	a	a	a		a	a	a	a	a		a			a	a		a		a		a
IF within a Resource processing area within the Extractive resources overlay	Impact	a																											
Park	Self		a			a	a	a		a	a		a	a		a						a		a					
IF within a Resource processing area within the Extractive resources overlay	Impact	a																											
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a	a	a	a	a	a		a	a		a						a		a					
All other uses not otherwise identified	Impact	a																											
Undefined uses	Impact	a																											
Reconfiguring a lot																													
Reconfiguring a lot	Impact	a																											
IF for a lease exceeding 10 years and associated an existing or approved Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a		a				a	
IF for boundary realignment	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a		a				a	
Operational work																													
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a		a				
IF for advertising devices	Impact	a																											
IF for excavation or filling of greater than 25m³	Code		a	a	a	a	a	a	a	a	a	a	a	a		a	a					a	a						
IF for excavation or filling of 25m³ or less	Self		a			a	a	a		a	a		a	a		a							a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a						
IF for vegetation damage	Self		a			a	a	a		a	a		a	a		a													a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a		a	a		a		a	a													a
IF for works on a local government road	Self		a			a	a	a		a	a		a	a		a									a				

Column 1	Column 2	Column 3																												
Development	Level of assessment	Assessment criteria																												
		CairnsPlan 2016	Environmental management zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Dwelling house code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Building work																														
Minor building work	Self		a		a		a		a		a		a		a		a							a		a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a						a		a					
Building work	Self		a		a		a		a		a		a		a		a						a		a					
IF within a Resource processing area within the Extractive resources overlay	Impact	a																												
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a		a		a		a		a		a		a		a						a		a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a						a		a					
IF for removal or demolition within the Places of significance overlay	Impact	a																												

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.e.3 - Environmental management zone precinct 2 - Russell Heads

Column 1	Column 2	Column 3																					
Development	Level of assessment	Assessment criteria																					
		CairnsPlan 2016	Environmental management zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Dwelling house code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																							
Dwelling house	Code		a	a	a	a	a	a	a	a	a					a							a
Environment facility	Self		a			a	a	a		a					a					a			a
Home based business	Code		a	a	a	a	a	a		a		a		a	a				a				a
Park	Self		a			a	a	a		a					a								
All other uses not otherwise identified	Impact	a																					
Undefined uses	Impact	a																					
Reconfiguring a lot																							
Reconfiguring a lot	Impact	a																					
IF for a lease exceeding 10 years and associated an existing or approved Telecommunications facility	Code		a	a	a	a	a	a	a	a					a								a
IF for boundary realignment	Code		a	a	a	a	a	a	a	a					a								a
Operational work																							
Operational work	Code		a	a	a	a	a	a	a	a					a	a				a			
IF for advertising devices	Impact	a																					
IF for excavation or filling of greater than 25m ³	Code		a	a	a	a	a	a	a	a					a	a							
IF for excavation or filling of 25m ³ or less	Self		a			a	a	a		a					a								
IF for vegetation damage	Self		a			a	a	a		a													a
IF for works on a local government road	Self		a			a	a	a		a													
Building work																							
Minor building work	Self		a					a	a		a					a							
Building work	Self		a					a	a		a					a							

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.f - High impact industry zone

Column 1	Column 2	Column 3																												
Development	Level of assessment	Assessment criteria																												
		CairnsPlan 2016	High impact industry zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Caretaker's accommodation code	Sales office code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																														
Aquaculture	Code		a	a	a	a	a	a	a	a	a	a	a	a		a							a	a	a	a	a	a	a	a
Brothel	Code		a	a	a	a	a	a	a	a	a	a	a	a			a						a	a	a	a	a	a	a	a
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a				a					a	a	a	a		a		a
High impact industry	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a
Major electrical infrastructure	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a
Marine industry	Self		a			a	a	a	a				a											a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a				a	a									a	a	a	a	a	a	a	a
Medium impact industry	Code		a	a	a	a	a	a	a	a	a	a	a	a										a	a	a	a	a	a	a
Research and technology industry	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a
Sales office	Self		a			a	a	a	a				a					a						a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a				a	a									a	a	a	a	a	a	a	a
Special industry	Impact	a																												
IF for a Sugar Mill and within Gordonvale local plan Precinct 5 - Mill	Code		a	a	a	a	a	a	a				a	a	a	a							a	a	a	a	a	a	a	a
Substation	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a
Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a						a				a	a	a	a	a	a	a
Transport depot	Self		a			a	a	a	a				a											a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a				a	a									a	a	a	a	a	a	a	a
Utility installation	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a
Warehouse	Self		a			a	a	a	a				a											a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a				a	a									a	a	a	a	a	a	a	a
Winery	Self		a			a	a	a	a				a											a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a				a	a									a	a	a	a	a	a	a	a
All other uses not otherwise identified	Impact	a																												
Undefined uses	Impact	a																												

Column 1	Column 2	Column 3																												
Development	Level of assessment	Assessment criteria																												
		CairnsPlan 2016	High impact industry zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Caretaker's accommodation code	Sales office code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Reconfiguring a lot																														
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a										a	a		a	a		
IF for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance														a															
Operational work																														
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a									a	a		a	a			
IF associated with Reconfiguring a lot for 1 into 2 lots in accordance with Schedule 18 of the Regulation	Compliance														a															
IF for advertising devices	Impact	a																												
IF for advertising devices for projecting or pylon signage	Self		a			a	a	a	a		a	a									a									
IF for advertising devices for projecting or pylon signage within the Places of significance overlay	Code		a			a	a	a	a			a	a								a									
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a		a										a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a	a			a												a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a										a	a						
IF for vegetation damage	Self		a			a	a	a	a			a																		a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a			a	a																	a
IF for works on a local government road	Self		a			a	a	a	a			a														a				
Building work																														
Minor building work	Self		a			a		a	a			a												a		a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a	a			a	a										a		a					
Building work	Self		a			a		a	a			a												a		a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a	a			a	a										a		a					
IF for removal or demolition within the Places of significance overlay	Impact	a																												

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.g - Local centre zone

Column 1 Development	Column 2 Level of assessment	Column 3 Assessment criteria																															
		CairnsPlan 2016 Local centre zone code	Applicable local plan codes ^a	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Hillislopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslide hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code
Material change of use																																	
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a	a
Child care centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a									a	a	a	a	a	a	a	a	a
Club (small scale)	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a
Community care centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a
Community use	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a
IF contained within an existing building	Self	a			a	a	a	a		a	a		a												a		a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a		a	a	a											a	a	a	a	a	a	a	a	
Dwelling unit	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
Environment facility	Self	a			a	a	a	a		a	a		a													a		a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a		a	a		a	a												a	a	a	a	a	a	a	
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a	a	a		a	a		a													a		a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a		a	a		a	a												a	a	a	a	a	a	a	
Health care services	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a	a	a		a	a		a													a		a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a		a	a		a	a												a	a	a	a	a	a	a	
Home based business	Self	a			a	a	a	a		a	a		a													a		a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a		a	a		a	a												a	a	a	a	a	a	a	
Indoor sport and recreation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
Market	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
Multiple dwelling	Code	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a
Office	Code	a	a	a	a	a	a	a	a	a	a	a	a	a														a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a	a	a		a	a		a														a		a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a		a	a		a	a													a	a	a	a	a	a	
Park	Exempt																																
Place of worship	Code	a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a	a	a	a	a	a

Column 1	Column 2	Column 3																																	
Development	Level of assessment	Assessment criteria																																	
		CairnsPlan 2016	Local centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Service industry	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity and not for a laundromat or dry cleaners with a GFA greater than 150m ²	Self		a			a	a	a	a		a	a		a												a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a		a	a	a											a	a	a		a	a	a		a	
Shop	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a	a	a		a	a		a												a		a		a	a	a		a	
IF for a Department store	Impact	a																																	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a		a	a	a											a	a	a		a	a	a		a	
Shopping centre	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a	
IF involving a Department store	Impact	a																																	
Veterinary services	Code		a	a	a	a	a	a	a	a	a	a	a	a	a									a		a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established centre activity	Self		a			a	a	a	a		a	a		a												a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a		a	a	a								a		a	a	a		a	a	a		a		
All other uses not otherwise identified	Impact	a																																	
Undefined uses	Impact	a																																	
Reconfiguring a lot																																			
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a		a	a		a		
Operational work																																			
Operational work	Code																										a	a		a	a				
IF for advertising devices	Impact	a																																	
IF for advertising devices for projecting signage	Self		a			a	a	a	a	a				a												a									
IF for advertising devices for projecting signage within the Neighbourhood character overlay	Code		a	a	a	a	a	a	a				a	a												a									
IF for advertising devices for projecting signage within the Places of significance overlay	Code		a	a	a	a	a	a	a				a	a												a									
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a									
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a		a	a													a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a	a				a	a															a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a		a	a													a	a							
IF for vegetation damage	Self		a			a	a	a	a				a	a																					a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a				a	a																					a
IF for works on a local government road	Self		a			a	a	a	a				a	a																					

Column 1	Column 2	Column 3																																			
Development	Level of assessment	Assessment criteria																																			
		CairnsPlan 2016	Local centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Building work																																					
Minor building work	Self	a			a		a	a			a	a		a																						a	a
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code	a			a		a	a			a	a		a																					a	a	
Building work	Self	a			a		a	a			a	a		a																						a	a
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code	a			a		a	a			a	a		a																					a	a	
IF for removal or demolition within the Neighbourhood character overlay	Code	a			a		a	a			a	a		a																					a	a	
IF for removal or demolition within the Places of significance overlay	Impact	a																																			

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.h - Low density residential zone

Column 1	Column 2	Column 3																																				
Development	Level of assessment	Assessment criteria																																				
		CairnsPlan 2016	Low density residential zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Community residence code	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Dual occupancy code	Dwelling house code	Home based business code	Sales office code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code				
Material change of use																																						
Community residence	Self		a			a	a	a		a		a		a	a		a		a																			
Dual occupancy	Self		a			a	a	a		a		a		a			a				a																	
IF on a lot less than 800m ²	Code		a			a	a	a		a		a		a			a				a																	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a		a		a	a		a				a																	
IF within the Neighbourhood character overlay	Code		a			a	a	a		a		a		a	a		a																					
IF within the Extractive resources overlay	Impact		a																																			
Dwelling house	Self		a			a	a	a		a		a		a	a		a					a																
IF within the Extractive resources overlay	Impact		a																																			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a		a		a	a		a					a																
Home based business	Self		a			a	a	a		a		a		a			a					a																
IF within a Resource processing area within the Extractive resources overlay	Impact		a																																			
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a			a	a	a	a	a		a		a	a		a					a																
IF within the Neighbourhood character overlay	Code		a			a	a	a		a		a		a	a		a					a																
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a		a		a	a		a					a																
Park	Exempt																																					
IF within a Resource processing area within the Extractive resources overlay	Impact		a																																			
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a	a	a	a	a	a	a	a		a		a	a		a																					
Sales office	Self		a			a	a	a		a		a		a	a		a						a															
IF within the Extractive resources overlay	Impact		a																																			
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a		a		a		a	a		a					a																
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a		a		a		a	a		a					a																
All other uses not otherwise identified	Impact		a																																			
Undefined uses	Impact		a																																			
Reconfiguring a lot																																						
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a																		
IF for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																				a																	

Table 5.6.i - Low impact industry zone

Column 1 Development	Column 2 Level of assessment	Column 3 Assessment criteria																																			
		CairnsPlan 2016	Low impact industry zone code	Applicable local plan codes ^a	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Animal keeping code	Aquaculture and intensive animal industry code	Brothel code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Home based business code	Sales office code	Service station and car wash code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																																					
Agricultural supplies store	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a									a	a	a	a	a	a	a	a	
Animal keeping	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a		a													a	a	a	a	a	a	a	
Aquaculture	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a												a	a	a	a	a	a	a	
Brothel	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a			a												a	a	a	a	a	a	a	
Bulk landscape supplies	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a											a	a	a	a	a	a	a	
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a										a	a	a	a	a	a	a	
Car wash	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a										a						a	a	a	a	a	a	a
Crematorium	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	
Educational establishment	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Impact	a																																			
IF involving accommodation	Impact	a																																			
Emergency services	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a														a	a	a	a	a	a	a	a	
Garden centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a											a	a	a	a	a	a	a	
Hardware and trade supplies	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a											a	a	a	a	a	a	a	
Home based business	Self	a			a	a	a	a	a	a	a	a	a	a									a								a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Code	a			a	a	a	a	a	a	a	a	a	a									a								a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a	a	a	a	a	a	a									a								a	a	a	a	a	a	
Indoor sport and recreation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a				a	a	a	a	a	a	a	
Low impact industry	Self	a			a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Code	a			a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	
Outdoor sales	Self	a			a	a	a	a	a	a	a	a	a	a					a												a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Code	a			a	a	a	a	a	a	a	a	a	a					a												a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a	a	a	a	a	a	a					a												a	a	a	a	a	a	
Park	Exempt																																				
Research and technology industry	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	
Sales office	Self	a			a	a	a	a	a	a	a	a	a	a										a								a	a	a	a	a	a
IF within the Hazardous and explosive facilities overlay	Code	a			a	a	a	a	a	a	a	a	a	a										a								a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a	a	a	a	a	a	a										a								a	a	a	a	a	a
Service industry	Self	a			a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a
IF within the Hazardous and explosive facilities overlay	Code	a			a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a
Showroom	Code	a	a	a	a	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a
Veterinary services	Code	a	a	a	a	a	a	a	a	a	a	a	a	a												a					a	a	a	a	a	a	a
Warehouse	Code	a	a	a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a
Wholesale nursery	Code	a	a	a	a	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a

Column 1	Column 2	Column 3																																							
Development	Level of assessment	Assessment criteria																																							
		CairnsPlan 2016	Low impact industry zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Animal keeping code	Aquaculture and intensive animal industry code	Brothel code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Home based business code	Sales office code	Service station and car wash code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code				
Winery	Self		a		a	a	a	a	a	a	a	a	a	a	a																										
IF within the Hazardous and explosive facilities overlay	Code		a		a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a						
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a		a	a	a	a	a		a	a	a	a															a	a	a	a	a	a	a						
All other uses not otherwise identified	Impact	a																																							
Undefined uses	Impact	a																																							
Reconfiguring a lot																																									
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a														a	a		a	a							
IF for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																a																								
Operational work																																									
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a														a	a		a	a							
IF associated with Reconfiguring a lot for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																a																								
IF for advertising devices	Impact	a																																							
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a												a													
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a												a													
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a		a	a													a	a											
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a	a		a	a		a																											
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a														a	a										
IF for vegetation damage	Self		a			a	a	a	a		a	a		a																											a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a		a	a		a																											a
IF for works on a local government road	Self		a			a	a	a	a		a	a		a																											
Building work																																									
Minor building work	Self		a			a	a	a	a		a	a		a																											
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a	a		a																											
Building work	Self		a			a	a	a	a		a	a		a																											
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a	a		a																											
IF for removal or demolition within the Places of significance overlay	Impact	a																																							

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
 ^ Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.k - Major centre zone

Column 1	Column 2	Column 3																																		
Development	Level of assessment	Assessment criteria																																		
		CairnsPlan 2016	Major centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																																				
Adult store	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Bar	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a															a	a	a		a	a	a			
Child care centre	Code		a	a	a	a	a	a	a	a	a		a														a	a	a		a	a	a			
Club (small scale)	Code		a	a	a	a	a	a	a	a	a			a													a		a		a	a	a			
IF contained within an existing building	Self		a			a	a		a	a				a													a		a		a	a	a			
Club (other than small scale)	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Community care centre	Code		a	a	a	a	a	a	a	a	a				a												a	a	a		a	a	a			
IF contained within an existing building	Self		a			a	a		a	a				a													a		a		a	a	a			
Community use	Code		a	a	a	a	a	a	a	a	a				a												a	a	a		a	a	a			
IF contained within an existing building	Self		a			a	a		a	a				a													a		a		a	a	a			
Dwelling unit	Code		a	a	a	a	a	a	a	a	a					a											a		a		a	a	a			
Educational establishment	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF involving accommodation	Code		a	a	a	a	a	a	a	a	a								a			a					a	a	a		a	a	a			
Emergency services	Self		a			a	a		a	a																	a		a		a	a	a			
Environment facility	Self		a			a	a		a	a																	a		a		a	a	a			
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a	a																	a		a		a	a	a			
Function facility	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Health care services	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a	a																	a		a		a	a	a			
Home based business	Self		a			a	a		a	a						a											a		a		a	a	a			
Hospital	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Hotel	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a	a																a		a		a	a	a			
IF contained within an existing building	Self		a			a	a		a	a																	a		a		a	a	a			
Market	Self		a			a	a		a	a						a											a		a		a	a	a			
Multiple dwelling	Code		a	a	a	a	a	a	a	a	a								a								a	a	a		a	a	a			
Nightclub entertainment facility	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
Office	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a	a																	a		a		a	a	a			
Park	Exempt																																			
Parking station	Code		a	a	a	a	a	a	a	a	a										a						a	a	a		a	a	a			
Place of worship	Code		a	a	a	a	a	a	a	a	a				a													a	a	a		a	a	a		
IF contained within an existing building	Self		a			a	a		a	a				a													a		a		a	a	a			
Residential care facility	Code		a	a	a	a	a	a	a	a	a											a					a	a	a		a	a	a			
Rooming accommodation	Code		a	a	a	a	a		a	a	a												a				a	a	a		a	a	a			
Sales office	Self		a			a	a		a	a																	a		a		a	a	a			
Service industry	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity and not for a laundromat or dry cleaners with a GFA greater than 150m²	Self		a			a	a		a	a																	a		a		a	a	a			
Shop	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a	a																	a		a		a	a	a			
Shopping centre	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a			
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a	a																	a		a		a	a	a			
Short-term accommodation	Code		a	a	a	a	a	a	a	a	a								a								a	a	a		a	a	a			

Column 1	Column 2	Column 3																																				
Development	Level of assessment	Assessment criteria																																				
		CairnsPlan 2016	Major centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Showroom	Code		a	a	a	a	a	a	a	a	a															a	a	a										
Theatre	Code		a	a	a	a	a	a	a	a	a															a	a	a										
Tourist attraction	Code		a	a	a	a	a	a	a	a	a															a	a	a										
Veterinary services	Code		a	a	a	a	a	a	a	a	a														a	a	a											
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a			a	a															a		a										
All other uses not otherwise identified	Impact		a																																			
Undefined uses	Impact		a																																			
Reconfiguring a lot																																						
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a																a	a										
Operational work																																						
Operational work	Code		a	a	a	a	a	a	a	a	a																a	a										
IF for advertising devices	Code		a	a	a	a	a	a	a	a	a															a												
IF for advertising devices for projecting signage	Self		a			a	a			a	a															a												
IF for advertising devices for a billboard	Impact		a																																			
IF for excavation or filling of greater than 50m³	Code		a	a	a	a	a	a	a	a	a																a	a										
IF for excavation or filling of 50m³ or less	Self		a			a	a			a	a																	a										
IF for vegetation damage	Self		a			a	a			a	a																											
IF for works on a local government road	Self		a			a	a			a	a																											
Building work																																						
Minor building work	Self		a			a	a			a	a																	a										
Building work	Self		a			a	a			a	a																	a										

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

^ Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Column 1 Development	Column 2 Level of assessment	Column 3 Assessment criteria																																				
		CairnsPlan 2016	Medium density residential zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Community residence code	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Child care centre code	Dual occupancy code	Dwelling house code	Home based business code	Multiple dwelling and short-term accommodation code	Relocatable home park and tourist park code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Building work IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place IF for removal or demolition within the Neighbourhood character IF for removal or demolition within the Places of significance overlay	Self Code Code Impact	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a				

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.m - Medium impact industry zone

Column 1	Column 2	Column 3																																
Development	Level of assessment	Assessment criteria																																
		CairnsPlan 2016	Medium impact industry zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Sales office code	Service station and car wash code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Material change of use																																		
Agricultural supplies store	Code		a	a	a	a	a	a	a	a	a	a	a	a			a								a	a	a	a	a	a	a	a		
Aquaculture	Code		a	a	a	a	a	a	a	a	a	a	a	a		a									a	a	a	a	a	a	a	a		
Brothel	Code		a	a	a	a	a	a	a	a	a	a	a	a			a								a	a	a	a	a	a	a	a		
Bulk landscape supplies	Code		a	a	a	a	a	a	a	a	a	a	a	a			a								a	a	a	a	a	a	a	a		
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a				a							a	a	a	a	a	a	a	a		
Car wash	Code		a	a	a	a	a	a	a	a	a	a	a	a							a					a	a	a	a	a	a	a	a	
Crematorium	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
Educational establishment	Impact	a																																
IF within the Hazardous and explosive facilities overlay	Impact	a																																
IF for a technical institute that does not involve accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
Emergency services	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a	a	a	a										a	a	a	a	a	a	a	a	a		
Low impact industry	Self		a			a	a	a	a			a														a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a	a	a		a													a	a	a	a	a	a	a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a			
Major electrical infrastructure	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Impact	a																																
Medium impact industry	Self		a			a	a	a	a			a														a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a	a	a		a													a	a	a	a	a	a	a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a			
Outdoor sales	Code		a	a	a	a	a	a	a	a	a	a	a	a			a									a	a	a	a	a	a	a		
Park	Exempt																																	
Research and technology industry	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
Sales office	Self		a			a	a	a	a			a									a					a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a	a	a		a									a				a	a	a	a	a	a	a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a								a				a	a	a	a	a	a	a			
Service industry	Self		a			a	a	a	a			a														a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a	a	a		a													a	a	a	a	a	a	a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a			
Substation	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Impact	a																																

Column 1	Column 2	Column 3																																
Development	Level of assessment	Assessment criteria																																
		CairnsPlan 2016	Medium impact industry zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Sales office code	Service station and car wash code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a								a			a	a	a	a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Impact	a																																
Transport depot	Self		a			a	a	a	a				a													a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a	a	a	
Utility installation	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Impact	a																																
Warehouse	Self		a			a	a	a	a			a														a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a	a	a	
Wholesale nursery	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a	a	
Winery	Self		a			a	a	a	a			a														a	a	a	a	a	a	a	a	
IF within the Hazardous and explosive facilities overlay	Code		a			a	a	a	a	a		a													a	a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a			a	a												a	a	a	a	a	a	a	a	a	
All other uses not otherwise identified	Impact	a																																
Undefined uses	Impact	a																																
Reconfiguring a lot																																		
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a		a	a		a			
IF for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance													a																				
Operational work																																		
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a		a	a					
IF associated with Reconfiguring a lot for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance													a																				
IF for advertising devices	Impact	a																																
IF for advertising devices for projecting signage	Self		a			a	a	a	a			a												a										
IF for advertising devices for projecting signage within the Places of significance overlay	Code		a			a	a	a	a			a	a											a										
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a	a										a										
IF for excavation or filling of greater than 50m³	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a								
IF for excavation or filling of 50m³ or less	Self		a			a	a	a	a			a														a								
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a											a	a								
IF for vegetation damage	Self		a			a	a	a	a			a																						a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a			a	a																					a
IF for works on a local government road	Self		a			a	a	a	a			a																a						

Column 1	Column 2	Column 3																																	
Development	Level of assessment	Assessment criteria																																	
		CairnsPlan 2016	Medium impact industry zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Sales office code	Service station and car wash code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Building work																																			
Minor building work	Self		a		a		a	a				a																							
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a	a				a	a													a									
Building work	Self		a		a		a	a				a																							
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a	a				a	a																						
IF for removal or demolition within the Places of significance overlay	Impact	a																																	

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Column 1	Column 2	Column 3																																						
Development	Level of assessment	Assessment criteria																																						
		CairnsPlan 2016	Mixed use zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
IF for vegetation damage	Self		a		a	a	a	a	a	a	a	a																											a	
IF for vegetation damage within the Places of significance overlay	Code		a		a	a	a	a	a	a	a	a																												a
IF for works on a local government road	Self		a		a	a	a	a	a	a	a	a																											a	
Building work																																								
Minor building work	Self		a		a		a		a		a	a																												a
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a	a																												a
Building work	Self		a		a		a		a		a	a																												a
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a	a																												a
IF for removal or demolition within the Neighbourhood character	Code		a		a		a		a		a	a																												a
IF for removal or demolition within the Places of significance overlay	Impact	a																																						

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.n.2 - Mixed use zone precinct 2 - Trades and services

Column 1	Column 2	Column 3																																	
Development	Level of assessment	Assessment criteria																																	
		CairnsPlan 2016	Mixed use zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Material change of use																																			
Adult store	Code		a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a			
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a		a										a	a		a	a	a		a			
Club (small scale)	Code		a	a	a	a	a	a	a	a	a	a	a		a																	a			
Club (other than small scale)	Code		a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a			
Community care centre	Code		a	a	a	a	a	a	a	a	a	a	a				a								a	a		a	a	a		a			
IF contained within an existing building	Self		a			a		a	a		a						a									a		a	a	a		a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a				a									a	a		a	a	a		a		
Community use	Code		a	a	a	a	a	a	a	a	a	a	a			a									a	a		a	a	a		a			
IF contained within an existing building	Self		a			a		a	a		a					a										a		a	a	a		a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a			a										a	a		a	a	a		a		
Dwelling unit	Code		a	a	a	a	a	a	a	a	a	a	a					a								a		a		a		a			
Educational establishment	Code		a	a	a	a	a	a	a	a	a	a	a												a	a		a	a	a		a			
IF involving accommodation	Impact	a																																	
Emergency services	Code		a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a		
Environment facility	Self		a			a		a	a		a																a		a	a	a		a		
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a		
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a		a	a		a														a		a		a	a	a		a		
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a		
Function facility	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a		
Funeral parlour	Code		a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a		
Garden centre	Code		a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a		
Hardware and trade supplies	Code		a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a		
Health care services	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a		
Home based business	Self		a			a		a	a		a								a								a		a	a	a		a		
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a		a	a		a								a								a	a		a	a	a		a	
Hotel	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a		
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a	a	a	a													a		a	a		a	a	a		a
Low impact industry	Self		a			a		a	a		a																	a	a	a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a		a	a		a																	a	a	a	a	a		a	

Column 1	Column 2	Column 3																															
Development	Level of assessment	Assessment criteria																															
		CairnsPlan 2016	Mixed use zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Office	Code		a	a	a	a	a	a	a	a	a	a	a										a	a	a		a	a	a		a		
Outdoor sales	Code		a	a	a	a	a	a	a	a	a	a	a	a										a	a		a	a	a		a		
Park	Exempt																																
Place of worship	Code		a	a	a	a	a	a	a	a	a	a	a			a									a	a		a	a	a		a	
Sales office	Self		a			a		a	a		a									a						a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a		a	a		a								a						a	a		a	a	a		a	
Service industry	Self		a			a		a	a		a															a		a	a	a		a	
IF for a laundromat or dry cleaners and the GFA is greater than 150m²	Code		a	a	a	a	a	a	a	a	a	a	a												a	a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a												a	a		a	a	a		a	
Shop	Code		a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity and the GFA of the shop is less than 500m²	Self		a			a		a	a	a	a													a		a		a	a	a		a	
IF for a Department store or Supermarket	Impact	a																															
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a
Shopping centre	Code		a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity and the GFA of the shopping centre is less than 500m²	Self		a			a		a	a	a	a													a		a		a	a	a		a	
IF the GFA of the shopping centre is greater than 500m²	Impact	a																															
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a
Showroom	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a
Veterinary services	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a		a
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a		a	a		a														a		a		a	a	a		a
Warehouse	Code		a	a	a	a	a	a	a	a	a	a	a													a	a		a	a	a		a
All other uses not otherwise identified	Impact	a																															
Undefined uses	Impact	a																															
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a																				
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a																				

Column 1	Column 2	Column 3																														
Development	Level of assessment	Assessment criteria																														
		CairnsPlan 2016	Mixed use zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Bulky goods and outdoor sales code	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Operational work																																
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a												a	a		a	a			
IF for advertising devices	Impact	a																														
IF for advertising devices for projecting signage	Self		a			a		a	a		a												a									
IF for advertising devices for projecting signage within the Places of significance overlay	Code		a			a		a	a		a	a											a									
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a										a									
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a		a												a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a		a	a		a															a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a													a	a						
IF for vegetation damage	Self		a			a		a	a		a																				a	
IF for vegetation damage within the Places of significance overlay	Code		a			a		a	a		a	a																			a	
IF for works on a local government road	Self		a			a		a	a		a																a					
Building work																																
Minor building work	Self		a			a		a		a		a													a		a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a		a		a	a												a		a					
Building work	Self		a			a		a		a		a													a		a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a		a		a	a												a		a					
IF for removal or demolition within the Places of significance overlay	Impact	a																														

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.n.3 - Mixed use zone precinct 3 - Residential

Column 1	Column 2	Column 3																													
Development	Level of assessment	Assessment criteria																													
		CairnsPlan 2016	Mixed use zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code	Neighbourhood character overlay code*	Transport network overlay code*	Community residence code	Caretaker's accommodation code	Child care centre code	Community activities code	Dual occupancy code	Dwelling house code	Dwelling unit code	Home based business code	Multiple dwelling and short-term accommodation code	Rooming accommodation code	Sales office code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																															
Caretaker's accommodation	Code		a	a	a	a	a	a	a		a												a	a		a		a		a	
Child care centre	Code		a	a	a	a	a	a	a			a											a	a		a	a	a	a	a	
Community residence	Self		a			a	a			a													a		a		a		a		
IF within the Neighbourhood character overlay	Code		a			a	a	a		a													a		a		a		a		
Community use	Code		a	a	a	a	a					a											a	a		a	a	a	a		
IF contained within an existing building	Self		a			a	a					a											a		a		a		a		
IF within the Neighbourhood character overlay	Code		a	a	a	a	a	a				a											a	a		a	a	a	a		
Dual occupancy	Code		a	a	a	a	a	a						a										a		a		a	a		
Dwelling house	Self		a			a	a	a							a									a		a		a	a		
Dwelling unit	Code		a	a	a	a	a	a								a								a		a		a	a		
Educational establishment	Code		a	a	a	a	a	a															a	a		a	a	a	a		
IF involving accommodation	Code		a	a	a	a	a	a									a	a					a	a		a	a	a	a		
Emergency services	Code		a	a	a	a	a	a															a	a		a	a	a	a		
Environment facility	Self		a			a	a	a																a		a	a	a	a		
Health care services	Code		a	a	a	a	a	a															a	a	a		a	a	a		
Home based business	Self		a			a	a	a								a								a		a	a	a	a		
Multiple dwelling	Code		a	a	a	a	a	a										a					a	a		a	a	a	a		
Office	Code		a	a	a	a	a	a															a	a	a		a	a	a		
Park	Exempt																														
Rooming accommodation	Code		a	a	a	a	a	a												a				a	a		a	a	a		
Sales office	Self		a			a	a	a													a			a		a	a	a	a		
Shop	Code		a	a	a	a	a	a															a	a	a		a	a	a		
IF contained within an existing building used for a lawfully established Centre activity and the GFA of the shop is less than 500m ²	Self		a			a	a	a															a		a		a	a	a		
IF for a Department store or Supermarket	Impact		a																												
Short-term accommodation	Code		a	a	a	a	a	a										a						a	a		a	a	a		
All other uses not otherwise identified	Impact		a																												
Undefined uses	Impact		a																												
Reconfiguring a lot																															
Reconfiguring a lot	Code		a	a	a	a	a	a																a	a		a	a	a		
Operational work																															
Operational work	Code		a	a	a	a	a	a																a	a		a	a			
IF for advertising devices	Impact		a																												
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a															a								
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a															a								
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a																a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a																a							
IF for vegetation damage	Self		a			a	a	a																					a		
IF for works on a local government road	Self		a			a	a	a																		a					
Building work																															
Minor building work	Self		a			a	a	a																a		a					
Building work	Self		a			a	a	a																a		a					
IF for removal or demolition within the Neighbourhood character overlay	Code		a			a	a	a																							

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.o - Neighbourhood centre zone

Column 1	Column 2	Column 3																																			
Development	Level of assessment	Assessment criteria																																			
		CairnsPlan 2016	Neighbourhood centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code						
Material change of use																																					
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a							a	a	a		a	a	a								
Child care centre	Code		a	a	a	a	a	a	a	a	a	a	a	a	a		a						a	a	a		a	a	a								
Community care centre	Code		a	a	a	a	a	a	a	a	a	a	a	a	a				a					a	a	a		a	a	a							
Community use	Code		a	a	a	a	a	a	a	a	a	a	a	a	a				a					a	a	a		a	a	a							
IF contained within an existing building lawfully used for a Centre activity	Self		a			a	a	a	a		a	a		a										a		a		a	a	a							
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a		a		a	a	a									a	a	a		a	a	a							
Dwelling unit	Code		a	a	a	a	a	a	a	a	a	a	a	a	a						a					a		a		a		a					
Environment facility	Self		a			a	a	a	a		a	a		a											a		a		a	a	a						
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a	a	a	a	a										a	a	a		a	a	a						
IF contained within an existing building lawfully used for a Centre activity	Self		a			a	a	a	a		a	a		a											a		a		a	a	a						
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a		a	a											a	a	a		a	a	a						
Health care services	Code		a	a	a	a	a	a	a	a	a	a	a	a	a										a	a	a		a	a	a						
Home based business	Self		a			a	a	a	a		a	a		a											a		a		a	a	a						
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a		a	a											a		a		a	a	a						
Office	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a					
IF contained within an existing building lawfully used for a Centre activity	Self		a			a	a	a	a		a	a		a												a		a		a	a	a					
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a		a	a												a	a	a		a	a	a					
Park	Exempt																																				
Service industry	Code		a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a		a	a	a					
Shop	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a				
IF contained within an existing building lawfully used for a Centre activity	Self		a			a	a	a	a		a	a		a													a		a		a	a	a				
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a		a		a	a													a	a	a		a	a	a				
IF for a Department store	Impact		a																																		
Shopping centre	Code		a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a		a	a	a				
IF involving a Department store	Impact		a																																		

Column 1	Column 2	Column 3																														
Development	Level of assessment	Assessment criteria																														
		CairnsPlan 2016	Neighbourhood centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
All other uses not otherwise identified	Impact	a																														
Undefined uses	Impact	a																														
Reconfiguring a lot																																
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a									a	a		a	a		a		
Operational work																																
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a									a	a		a	a				
IF for advertising devices	Impact	a																														
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a	a	a	a	a	a							a										
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a	a	a							a										
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a	a	a									a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a	a		a	a		a											a							
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a									a	a							
IF for vegetation damage	Self		a			a	a	a	a		a	a		a																		a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a		a			a	a																	a
IF for works on a local government road	Self		a			a	a	a	a		a	a		a												a						
Building work																																
Minor building work	Self		a			a		a	a		a	a		a											a		a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a	a		a			a	a										a		a					
Building work	Self		a			a		a	a		a	a		a											a		a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a	a		a			a	a										a		a					
IF for removal or demolition within the Neighbourhood character overlay	Code		a			a		a	a		a	a		a											a		a					
IF for removal or demolition within the Places of significance overlay	Impact	a																														

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.p - Open space zone

Column 1	Column 2	Column 3																															
Development	Level of assessment	Assessment criteria																															
		CairnsPlan 2016	Open space zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Market code	Sport and recreation activities code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																																	
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a	a	a	a	a		
IF within the Extractive resources overlay	Impact	a																															
Club (small scale)	Self	a			a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
IF within the Place of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
IF within the Extractive resources overlay	Impact	a																															
IF within the Hazardous and explosive facilities overlay	Code		a		a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
Community use	Self	a			a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
IF within the Extractive resources overlay	Impact	a																															
IF within the Place of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a		a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a		a		a	a	a	a		a		a	a		a				a					a		a	a	a	a		
Environment facility	Self	a			a		a	a	a	a		a		a	a		a									a		a	a	a	a		
IF within the Extractive resources overlay	Impact	a																															
IF within the Place of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a		a		a	a	a	a		a		a	a		a									a		a	a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a		a		a	a	a	a		a		a	a		a									a		a	a	a	a		
Market	Code		a	a	a	a	a	a	a	a		a		a	a		a					a				a	a	a	a	a	a		
IF within the Extractive resources overlay	Impact	a																															
Outdoor sport and recreation	Self	a			a		a	a	a	a		a		a	a		a							a			a		a	a	a		
IF within the Extractive resources overlay	Impact	a																															
IF within the Place of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a		a		a	a	a	a		a		a	a		a							a			a		a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a		a		a	a	a	a		a		a	a		a							a			a		a	a	a		
Park	Exempt																																
IF within a Resource processing area within the Extractive resources overlay	Impact	a																															
IF within a Resource separation or Haulage route separation area within the Extractive resource overlay	Code		a	a	a	a	a	a	a	a		a		a	a		a																
All other uses not otherwise identified	Impact	a																															
Undefined uses	Impact	a																															
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a		a		a	a		a									a	a	a	a		a		

Table 5.6.q - Principal centre zone

Column 1	Column 2	Column 3																																			
Development	Levels of assessment	Assessment criteria																																			
		CairnsPlan 2016	Principal centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Material change of use																																					
Adult store	Code	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	a	a	a	a	
Bar	Code	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	a	a	a	a	
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a	a	a														a	a	a	a	a	a	a	a	a	a	a	
Club (small scale)	Code	a	a	a	a	a	a	a	a	a	a		a													a	a	a	a	a	a	a	a	a	a	a	
IF contained within an existing building	Self	a			a	a			a				a													a		a		a	a	a				a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a	a		a													a		a		a	a	a	a	a	a	a	
Club (other than small scale)	Code	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	a	a	a	a	
Community care centre	Code	a	a	a	a	a	a	a	a	a	a			a												a	a	a	a	a	a	a	a	a	a	a	
IF contained within an existing building	Self	a			a	a			a				a													a		a		a	a	a				a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a	a		a													a		a		a	a	a	a	a	a	a	
Community use	Code	a	a	a	a	a	a	a	a	a	a			a												a	a	a	a	a	a	a	a	a	a	a	
IF contained within an existing building	Self	a			a	a			a				a													a		a		a	a	a				a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a	a		a													a		a		a	a	a	a	a	a	a	
Dwelling unit	Code	a	a	a	a	a	a	a	a	a	a				a												a		a		a	a	a	a	a	a	
Educational establishment	Code	a	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a
IF involving accommodation	Code	a	a	a	a	a	a	a	a	a	a							a				a					a	a	a	a	a	a	a	a	a	a	
Emergency services	Code	a	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a
Environment facility	Self	a			a	a			a																		a		a		a	a	a				a
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a			a																		a		a		a	a	a				a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a	a																a		a		a	a	a	a	a	a	a
Function facility	Code	a	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a
Health care services	Code	a	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a			a																		a		a		a	a	a				a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a	a	a	a	a	a	a	a	a	a																a		a		a	a	a	a	a	a	a
Home based business	Self	a			a	a			a							a											a		a		a	a	a				a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a			a	a						a											a		a		a	a	a				a

Column 1	Column 2	Column 3																																		
Development	Levels of assessment	Assessment criteria																																		
		CairnsPlan 2016	Principal centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Hospital	Code		a	a	a	a	a	a	a	a	a														a	a	a		a	a	a		a			
Hotel	Code		a	a	a	a	a	a	a	a	a														a	a	a		a	a	a		a			
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a	a												a											a		
IF contained within an existing building	Self		a			a	a		a														a											a		
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a												a											a		
Major sport, recreation and entertainment facility	Code		a	a	a	a	a	a	a	a	a															a	a	a		a	a	a		a		
Market	Self		a			a	a		a							a											a		a		a	a	a		a	
Multiple dwelling	Code		a	a	a	a	a	a	a	a	a						a										a	a	a		a	a	a		a	
Nightclub entertainment facility	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	
Office	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a																		a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a	a	a																a	a	a		a	a	a		a	
Park	Exempt																																			
Parking station	Code		a	a	a	a	a	a	a	a	a								a								a	a	a		a	a	a		a	
Place of worship	Code		a	a	a	a	a	a	a	a	a		a														a	a	a		a	a	a		a	
IF contained within an existing building	Self		a			a	a		a				a														a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a		a														a	a	a		a	a	a		a	
Residential care facility	Code		a	a	a	a	a	a	a	a	a										a						a	a	a		a	a	a		a	
Resort complex	Code		a	a	a	a	a	a	a	a	a		a				a										a	a	a		a	a	a		a	
Retirement facility	Code		a	a	a	a	a	a	a	a	a										a						a	a	a		a	a	a		a	
Rooming accommodation	Code		a	a	a	a	a	a	a	a	a											a						a	a	a		a	a	a		a
Sales office	Self		a			a	a		a														a					a		a		a	a	a		a
Service industry	Code		a	a	a	a	a	a	a	a	a																	a	a	a		a	a	a		a
IF located within an existing building used for a lawfully established Centre activity and not for a laundromat or dry cleaners with a GFA of greater than 150m²	Self		a			a	a		a																		a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a	a	a																a	a	a		a	a	a		a	
Shop	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	
IF contained within an existing building used for a lawfully established Centre activity	Self		a			a	a		a																		a		a		a	a	a		a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	
Shopping centre	Code		a	a	a	a	a	a	a	a	a																a	a	a		a	a	a		a	
Short-term accommodation	Code		a	a	a	a	a	a	a	a	a						a											a	a	a		a	a	a		a
Showroom	Code		a	a	a	a	a	a	a	a	a																	a	a	a		a	a	a		a
Theatre	Code		a	a	a	a	a	a	a	a	a																	a	a	a		a	a	a		a

Column 1	Column 2	Column 3																																				
Development	Levels of assessment	Assessment criteria																																				
		CairnsPlan 2016	Principal centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Caretaker's accommodation code	Community activities code	Community care centre code	Dwelling unit code	Home based business code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code				
Tourist attraction	Code	a	a	a	a	a	a	a	a	a	a														a	a	a	a	a	a	a	a	a					
Utility installation	Impact			a	a	a	a	a		a	a																a	a						a				
IF within Site A of the Cairns city centre local plan	Code	a	a	a	a	a					a														a	a	a							a				
Veterinary services	Code	a	a	a	a	a	a	a	a	a														a		a	a	a							a			
IF contained within an existing building used for a lawfully established Centre activity	Self	a			a	a			a																a			a							a			
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a	a			a	a														a		a	a	a								a		
All other uses not otherwise identified	Impact	a																																				
Undefined uses	Impact	a																																				
Reconfiguring a lot																																						
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a																a	a							a			
Operational work																																						
Operational work	Code		a	a	a	a	a	a	a	a	a																a	a										
IF for advertising devices	Code		a	a	a	a	a	a	a	a	a														a													
IF for advertising devices for illuminated signage	Impact	a																																				
IF for advertising devices for projecting signage	Self		a			a	a			a															a													
IF for advertising devices for projecting signage within the Places of significance overlay	Code		a			a	a			a	a														a													
IF for advertising devices for a billboard	Impact	a																																				
IF for excavation or filling of greater than 50m ³	code		a	a	a	a	a	a	a	a	a																	a	a									
IF for excavation or filling of 50m ³ or less	Self		a			a	a			a																			a									
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a																	a	a									
IF for vegetation damage	Self		a			a	a			a																											a	
IF for vegetation damage within the Places of significance overlay	Code		a			a	a			a	a																										a	
IF for works on a local government road	Self		a			a	a			a																												
Building work																																						
Minor building work	Self		a			a	a			a																		a									a	
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a			a	a																		a									
Building work	Self		a			a	a			a																			a									
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a			a	a																		a									
IF for removal or demolition within the Places of significance overlay	Impact	a																																				

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Column 1	Column 2	Column 3																																					
Development	Level of assessment	Assessment criteria																																					
		CairnsPlan 2016	Rural zone code	Applicable local plan code ^	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Extractive resources overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Hillislopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Community residence code	Forestry for wood production code	Animal keeping code	Aquaculture and intensive animal industry code	Caretakers accommodation code	Dwelling house code	Home based business code	Roadside stall code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Building work	Self		a		a	a	a	a	a	a	a	a	a	a	a																								
IF within a Resource processing area within the Extractive resources overlay	Impact	a																																					
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a		a	a	a	a	a	a	a	a	a	a	a															a		a							
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a	a	a	a	a	a	a	a	a	a	a														a		a								
IF for removal or demolition within the Places of significance overlay	Impact	a																																					

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

^ Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.t - Special purpose zone

Column 1	Column 2	Column 3																												
Development	Level of assessment	Assessment criteria																												
		CairnsPlan 2016	Special purpose zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code	Extractive resources overlay code*	Flood and inundation hazards overlay	Hazardous and explosive facilities overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslide hazard overlay code*	Transport network overlay code*	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																														
Landing	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a			
IF within a Resource processing area within the Extractive resources overlay	Impact	a																												
Major electrical infrastructure	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
IF within a Resource processing area within the Extractive resource overlay	Impact	a																												
IF within the Hazardous and explosive facilities overlay	Impact	a																												
Park	Exempt																													
IF within a Resource processing area within the Extractive resource overlay	Impact	a																												
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
IF within the Hazardous and explosive facilities overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
Substation	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
IF within a Resource processing area within the Extractive resources overlay	Impact	a																												
IF within the Hazardous and explosive facilities overlay	Impact	a																												
Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
IF within a Resource processing area within the Extractive resources overlay	Impact	a																												
IF within the Hazardous and explosive facilities overlay	Impact	a																												
Utility installation	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
IF within a Resource processing area within the Extractive resources overlay	Impact	a																												
IF within the Hazardous and explosive facilities overlay	Impact	a																												
All other uses not otherwise identified	Impact	a																												
Undefined uses	Impact	a																												
Reconfiguring a lot																														
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		
Operational work																														
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a		a	a			
IF for advertising devices	Impact	a																												
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a	a		a		a		a		a	a		a						a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a				a	a						
IF for vegetation damage	Self		a			a	a		a		a		a		a	a		a												
IF for vegetation damage within the Places of significance overlay	Code		a			a	a		a		a		a		a	a		a												
IF for works on a local government road	Self		a			a	a		a		a		a		a	a		a												

Column 1	Column 2	Column 3																													
Development	Level of assessment	Assessment criteria																													
		CairnsPlan 2016	Special purpose zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code	Extractive resources overlay code*	Flood and inundation hazards overlay	Hazardous and explosive facilities overlay code*	Hill slopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Neighbourhood character overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Building work																															
Minor building work	Self		a		a		a		a		a		a		a		a		a												
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a		a												
Building work	Self		a		a		a		a		a		a		a		a		a												
IF within a Resource processing area within the Extractive resources overlay	Impact	a																													
IF within a Resource separation area or Haulage route separation area within the Extractive resources overlay	Code		a		a		a		a		a		a		a		a		a												
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a		a		a		a		a		a		a		a		a												
IF for removal or demolition within the Places of significance overlay	Impact	a																													

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.u.1 - Specialised centre zone precinct 1 - Hospitals and allied medical

Column 1	Column 2	Column 3																																					
Specialised centre zone	Level of assessment	Assessment criteria																																					
		CairnsPlan 2016	Specialised centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Flood and inundation hazards overlay Code*	Landscape values overlay code*	Places of significance overlay code*	Transport network overlay code*	Community residence code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Home based business code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code						
Material change of use																																							
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		
Child care centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		
Club (small scale)	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		
Community care centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		
Community residence	Self	a										a																											
	Code	a			a							a																											
Community use	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Educational establishment	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Emergency services	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Health care services	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
	Self	a			a																																		
	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a
Home based business	Self	a				a																																	
	Code	a				a																																	
Hospital	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Indoor sport and recreation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Multiple dwelling	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Office	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Park	Exempt																																						
Parking station	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Place of worship	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Research and technology industry	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Residential care facility	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Retirement facility	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Rooming accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Sales office	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Service industry	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Shop	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Short-term accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
All other uses not otherwise identified	Impact	a																																					
Undefined uses	Impact	a																																					
Reconfiguring a lot																																							
Reconfiguring a lot	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
Operational work																																							
Operational work	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
	Impact	a																																					
	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	
	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a

Column 1	Column 2	Column 3																															
Specialised centre zone	Level of assessment	Assessment criteria																															
		CairnsPlan 2016	Specialised centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Flood and inundation hazards overlay Code*	Landscape values overlay code*	Places of significance overlay code*	Transport network overlay code*	Community residence code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Home based business code	Multiple dwelling and short-term accommodation code	Parking station code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Sport and recreation activities code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a															a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a		a																			a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a															a	a						
IF for vegetation damage	Self		a			a		a																									a
IF for vegetation damage within the Places of significance overlay	Code		a			a		a		a																							a
IF for works on a local government	Self		a			a		a																									a
Building work																																	
Minor building work	Self		a			a		a																			a	a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a		a																	a	a					
Building work	Self		a			a		a																			a	a					
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a		a		a																	a	a					
IF for removal or demolition within the Places of significance overlay	Impact	a																															

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.u.2 - Specialised centre zone precinct 2 - Showgrounds and major sport

Column 1	Column 2	Column 3																											
Development	Level of assessment	Assessment criteria																											
		CairnsPlan 2016	Specialised centre zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Market code	Parking station code	Sport and recreation activities code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Material change of use																													
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a									a	a		a		a				
Child care centre	Code		a	a	a	a	a	a	a	a		a								a	a		a		a				
Club (small scale)	Self		a			a	a	a					a								a		a	a	a			a	
	Code		a			a	a	a	a				a								a		a	a	a			a	
Club (other than small scale)	Code		a	a	a	a	a	a	a	a									a	a	a		a	a	a			a	
Community use	Code		a	a	a	a	a	a		a			a							a	a		a	a	a			a	
	Self		a			a	a	a					a								a		a	a	a			a	
	Code		a			a	a	a	a	a											a	a		a	a			a	
Educational establishment	Code		a	a	a	a	a	a	a	a											a	a		a	a			a	
	Impact	a																											
Emergency services	Code		a	a	a	a	a	a	a	a											a	a		a	a			a	
Food and drink outlet	Code		a	a	a	a	a	a	a	a										a	a	a		a	a			a	
Function facility	Code		a	a	a	a	a	a	a	a										a	a	a		a	a			a	
Health care services	Code		a	a	a	a	a	a	a	a										a	a	a		a	a			a	
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a											a	a		a	a			a	
	Self		a			a	a	a													a		a	a	a			a	
	Code		a			a	a	a	a												a		a	a				a	
Major sport, recreation and entertainment facility	Code		a	a	a	a	a	a	a	a											a	a		a	a			a	
Market	Self		a			a	a	a					a									a		a	a			a	
	Code		a			a	a	a	a				a									a	a		a	a			a
Outdoor sport and recreation	Self		a			a	a	a														a		a	a			a	
Park	Exempt																												
Parking station	Code		a	a	a	a	a	a	a	a												a		a	a			a	
Service industry	Code		a	a	a	a	a	a	a	a													a	a				a	
Shop	Code		a	a	a	a	a	a	a	a													a	a	a			a	
Telecommunications facility	Code		a	a	a	a	a	a	a	a												a		a	a			a	
All other uses not otherwise identified	Impact	a																											
Undefined uses	Impact	a																											

Column 1	Column 2	Column 3																									
Development	Level of assessment	Assessment criteria																									
		CairnsPlan 2016	Specialised centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Natural areas overlay code*	Places of significance overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Market code	Parking station code	Sport and recreation activities code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Reconfiguring a lot																											
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a									a	a			a	a			a
Operational work																											
Operational work	Code		a	a	a	a	a	a	a	a									a	a			a	a			
IF for advertising devices	Impact	a																									
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a								a									
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a								a									
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a		a									a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a													a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a									a	a							
IF for vegetation damage	Self		a			a	a	a																			a
IF for vegetation damage within the Places of significance overlay	Code		a			a	a	a	a																		a
IF for works on a local government road	Self		a			a	a	a															a				
Building work																											
Minor building work	Self		a			a	a	a												a			a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a											a			a				
Building work	Self		a			a	a	a												a			a				
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a	a	a	a											a			a				
IF for removal or demolition within the Places of significance overlay	Impact	a																									

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2
[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.u.3 - Specialised centre zone precinct 3 - James Cook University

Column 1	Column 2	Column 3																														
Development	Level of assessment	Assessment criteria																														
		CairnsPlan 2016	Specialised centre zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Child care centre code	Community activities code	Market code	Multiple dwelling and short-term accommodation code	Parking station code	Rooming accommodation code	Sport and recreation activities code	Telecommunications facility code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																																
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a												a	a	a	a	a	a		
Child care centre	Code		a	a	a	a	a	a	a	a	a	a		a											a	a	a	a	a	a		
Club (small scale)	Self		a			a	a	a		a	a				a											a	a	a	a	a		
Community use	Code		a	a	a	a	a	a	a	a	a	a			a										a	a	a	a	a	a		
IF contained within an existing building	Self		a			a	a	a		a	a				a											a	a	a	a	a		
Educational establishment	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
IF involving accommodation	Code		a	a	a	a	a	a	a	a	a	a					a		a						a	a	a	a	a	a		
Emergency services	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Environment facility	Self		a			a	a	a		a	a															a	a	a	a	a		
Food and drink outlet	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Function facility	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Health care services	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Hospital	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Indoor sport and recreation	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Market	Self		a			a	a	a		a	a					a										a	a	a	a	a		
Multiple dwelling	Code		a	a	a	a	a	a	a	a	a	a					a								a	a	a	a	a	a		
Office	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Outdoor sport and recreation	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Park	Exempt																															
Parking station	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Place of worship	Code		a	a	a	a	a	a	a	a	a	a			a											a	a	a	a	a		
Research and technology industry	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Rooming accommodation	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Service industry	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Shop	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Short-term accommodation	Code		a	a	a	a	a	a	a	a	a	a					a								a	a	a	a	a	a		
Telecommunications facility	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Theatre	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Veterinary services	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
All other uses not otherwise identified	Impact	a																														
Undefined uses	Impact	a																														
Reconfiguring a lot																																
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
Operational work																																
Operational work	Code		a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a		
IF for advertising devices	Impact	a																														
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a	a	a													a							
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a													a							
IF for excavation or filling of greater than 50m³	Code		a	a	a	a	a	a	a	a	a	a													a	a						
IF for excavation or filling of 50m³ or less	Self		a			a	a	a		a	a															a						
IF for vegetation damage	Self		a			a	a	a		a	a																			a		
IF for works on a local government road	Self		a			a	a	a		a	a																a					
Building work																																
Minor building work	Self		a			a		a		a	a															a	a					
Building work	Self		a			a		a		a	a															a	a					

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.w - Tourism zone

Column 1	Column 2	Column 3																						
Development	Level of assessment	Assessment criteria																						
		CairnsPlan 2016	Tourism zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Bushfire hazard overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Caretaker's accommodation code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code
Material change of use																								
Caretaker's accommodation	Code		a	a	a	a	a	a	a	a	a	a	a	a			a	a		a		a		a
Environment facility	Self		a			a	a	a	a		a	a					a			a	a	a		a
Park	Exempt																							
Tourist attraction	Code		a	a	a	a	a	a	a	a	a	a	a				a	a		a	a	a		a
All other uses not otherwise	Impact	a																						
Undefined uses	Impact	a																						
Reconfiguring a lot																								
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a	a	a	a				a	a		a	a			a
Operational work																								
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a				a	a		a	a			
IF for advertising devices	Impact	a																						
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a	a	a	a		a									
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a	a	a	a		a									
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a				a	a						
IF for excavation or filling of 50m ³ or less	Self		a			a	a	a	a		a	a					a							
IF for vegetation damage	Self		a			a	a	a	a		a	a												a
IF for works on a local government road	Self		a			a	a	a	a		a	a								a				
Building work																								
Minor building work	Self		a			a		a	a		a	a					a			a				
Building work	Self		a			a		a	a		a	a					a			a				

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.x.1 - Tourist accommodation zone

Column 1	Column 2	Column 3																																				
Development	Level of assessment	Assessment criteria																																				
		CairnsPlan 2016	Tourist accommodation zone code	Applicable local plan codes^	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay code*	Potential landslip hazard overlay code*	Transport network overlay code*	Community residence code	Reconfiguring a lot (1 lot into 2 lots) and associated operational works code	Child care centre code	Dwelling house code	Home based business code	Multiple dwelling and short-term accommodation code	Relocatable home park and tourist park code	Retirement facility and residential care facility code	Rooming accommodation code	Sales office code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code		
Material change of use																																						
Child care centre	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		a										a	a	a	a	a	a	a	a	a		
Community residence	Self	a			a		a	a	a	a		a		a			a												a	a	a	a	a	a	a	a	a	
Dwelling house	Self	a			a		a	a	a	a		a		a					a											a	a	a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a		a	a	a	a		a		a					a										a	a	a	a	a	a	a	a	a	
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a	a	a	a	a	a	a	a	
Function facility	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a	a	a	a	
Home based business	Self	a			a		a	a	a	a		a		a					a											a	a	a	a	a	a	a	a	a
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a		a	a	a	a		a		a					a											a	a	a	a	a	a	a	a	a
Hotel	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a											a	a	a	a	a	a	a	a	a	a	a	a
Multiple dwelling	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a					a								a	a	a	a	a	a	a	a	a	
Park	Exempt																																					
Relocatable home park	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
Resort complex	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a		a			a	a							a	a	a	a	a	a	a	a	a	
Retirement facility	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
Rooming accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a										a			a	a	a	a	a	a	a	a	a	
Sales office	Self	a			a		a	a	a	a		a		a													a			a	a	a	a	a	a	a	a	
IF within the Places of significance overlay and involving Building work (including Minor building work) except for internal work that does not materially affect the cultural significance of the place	Code	a			a		a	a	a	a		a		a												a			a	a	a	a	a	a	a	a	a	
Shop	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a	a	a	a	a	a	a	a	
Shopping centre	Impact	a																																				
IF contained within an existing building and the GFA of the shopping centre is less than 500m ²	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a												a	a	a	a	a	a	a	a	a		
Short-term accommodation	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
Tourist park	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
All other uses not otherwise identified	Impact	a																																				
Undefined uses	Impact	a																																				
Reconfiguring a lot																																						
Reconfiguring a lot	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
IF for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																	a																				
Operational work																																						
Operational work	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a	a	a	a	a	a	a	a	
IF associated with Reconfiguring a lot for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																	a																				
IF for advertising devices	Impact	a																																				
IF for advertising devices for projecting signage	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a									
IF for advertising devices for pylon signage	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a									
IF for excavation or filling of greater than 50m ³	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a								
IF for excavation or filling of 50m ³ or less	Self	a			a		a	a	a	a		a		a																a								
IF for excavation or filling within the Places of significance overlay	Code	a	a	a	a	a	a	a	a	a	a	a	a	a	a	a													a	a								
IF for vegetation damage	Self	a			a		a	a	a	a		a		a																								a
IF for vegetation damage within the Places of significance overlay	Code	a			a		a	a	a	a		a		a																								a
IF for works on a local government road	Self	a			a		a	a	a	a		a		a																								a

Table 5.6.x.2 - Tourist accommodation zone precinct 1 - Islands

Column 1	Column 2	Column 3																										
Development	Level of assessment	Assessment criteria																										
		CairnsPlan 2016	Tourist accommodation zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Building height overlay code*	Bushfire hazard overlay code*	Coastal processes overlay code*	Flood and inundation hazards overlay code*	Hillslopes overlay code*	Landscape values overlay code*	Natural areas overlay code*	Places of significance overlay	Potential landslip hazard overlay code*	Transport network overlay	Reconfiguring a lot (1 lot into 2 lots) and associated operational works code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																												
Food and drink outlet	Impact	a																										
IF contained within an existing building	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a	a			a	a	a		a
Park	Exempt																											
Shop	Impact	a																										
IF contained within an existing building	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a			a	a	a			a	a	a		a
All other uses not otherwise identified	Impact	a																										
Undefined uses	Impact	a																										
Reconfiguring a lot																												
Reconfiguring a lot	Impact	a																										
IF for 1 into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																a											
IF for boundary realignment	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a					a		a					a
Operational work																												
Operational work	Code		a	a	a	a	a	a	a	a	a	a	a	a	a	a					a	a			a	a		
IF associated with Reconfiguring a lot for 1 lot into 2 lots in accordance with Schedule 18 of the Regulation	Compliance																a											
IF for advertising devices	Impact	a																										
IF for excavation or filling of greater than 50m ³	Code		a	a	a	a	a	a	a	a	a	a	a	a	a					a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a		a	a	a	a		a									a						
IF for excavation or filling within the Places of significance overlay	Code		a	a	a	a	a	a	a	a	a	a	a	a	a					a	a							
IF for vegetation damage	Self		a			a		a	a	a	a		a															a
IF for vegetation damage within the Places of	Code		a			a		a	a	a	a		a															a
IF for works on a local government road	Self		a			a		a	a	a	a		a															a
Building work																												
Minor building work	Self		a			a			a	a	a		a									a			a			
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a			a	a	a		a									a			a			
Building work	Self		a			a			a	a	a		a									a			a			
IF within the Places of significance overlay and not for internal building work that does not materially affect the cultural significance of the place	Code		a			a			a	a	a		a									a			a			
IF for removal or demolition within the Places of	Impact	a																										

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.y - Township zone

Column 1	Column 2	Column 3																																			
Development	Level of assessment	Assessment criteria																																			
		CairnsPlan 2016	Township zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Landscape values overlay code*	Natural areas overlay code*	Transport network overlay code*	Community residence code	Bulky goods and outdoor sales code	Caretaker's accommodation code	Child care centre code	Community activities code	Community care centre code	Dwelling house code	Dwelling unit code	Home based business code	Multiple dwelling and short-term accommodation code	Retirement facility and residential care facility code	Roadside stall code	Sport and recreation activities code	Veterinary services	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code			
Material change of use																																					
Agricultural supplies store	Code	a	a	a	a	a	a	a	a	a	a	a															a	a	a	a	a	a	a	a	a		
Caretaker's accommodation	Code	a	a	a	a	a	a	a	a	a		a															a	a	a	a	a	a	a	a	a		
Child care centre	Code	a	a	a	a	a	a	a	a	a			a														a	a	a	a	a	a	a	a	a		
Club (small scale)	Code	a	a	a	a	a	a	a	a	a				a													a	a	a	a	a	a	a	a	a		
Community care centre	Code	a	a	a	a	a	a	a	a	a					a												a	a	a	a	a	a	a	a	a		
Community residence	Self	a			a	a		a			a																a	a	a	a	a	a	a	a	a		
Community use	Code	a	a	a	a	a	a	a	a	a				a													a	a	a	a	a	a	a	a	a		
Dwelling house	Self	a			a	a		a									a											a	a	a	a	a	a	a	a	a	
Dwelling unit	Code	a	a	a	a	a	a	a	a	a								a										a	a	a	a	a	a	a	a	a	
Educational establishment	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	
IF involving accommodation	Impact	a																																			
Emergency services	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	
Environment facility	Self	a			a	a		a																				a	a	a	a	a	a	a	a	a	
Food and drink outlet	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
IF involving a drive-through facility	Impact	a																																			
Garden centre	Code	a	a	a	a	a	a	a	a	a		a															a	a	a	a	a	a	a	a	a	a	
Hardware and trade supplies	Code	a	a	a	a	a	a	a	a	a		a															a	a	a	a	a	a	a	a	a	a	a
Health care services	Code	a	a	a	a	a	a	a	a	a																a	a	a	a	a	a	a	a	a	a	a	a
Home based business	Self	a			a	a		a											a									a	a	a	a	a	a	a	a	a	
Low impact industry	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
Office	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
Outdoor sales	Code	a	a	a	a	a	a	a	a	a		a																a	a	a	a	a	a	a	a	a	
Outdoor sport and recreation	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
Park	Exempt																																				
Place of worship	Code	a	a	a	a	a	a	a	a	a				a														a	a	a	a	a	a	a	a	a	
Residential care facility	Code	a	a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a
Roadside stall	Code	a	a	a	a	a	a	a	a	a																			a	a	a	a	a	a	a	a	a
Service industry	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
Shop	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
Shopping centre	Impact	a																																			
IF less than 250m ² cumulative GFA within the discrete area of Township zone	Code		a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	
Short-term accommodation	Code	a	a	a	a	a	a	a	a	a											a								a	a	a	a	a	a	a	a	a
Veterinary services	Code	a	a	a	a	a	a	a	a	a																	a	a	a	a	a	a	a	a	a	a	a
All other uses not otherwise identified	Impact	a																																			
Undefined uses	Impact	a																																			
Reconfiguring a lot																																					
Reconfiguring a lot	Code		a	a	a	a	a	a	a	a																			a	a	a	a	a	a	a	a	a
Operational work																																					
Operational work	Code		a	a	a	a	a	a	a	a																		a	a	a	a	a	a	a	a	a	a
IF for advertising devices	Impact	a																																			
IF for advertising devices for projecting signage	Code		a	a	a	a	a	a	a	a																	a										
IF for advertising devices for pylon signage	Code		a	a	a	a	a	a	a	a																	a										
IF for excavation or filling greater than 50m ³	Code		a	a	a	a	a	a	a	a																		a	a								
IF for excavation or filling of 50m ³ or less	Self		a			a	a		a																				a								
IF for vegetation damage	Self		a			a	a		a																												a
IF for works on a local government road	Self		a			a	a		a																												
Building work																																					
Minor building work	Self		a			a	a		a																				a								a
Building work	Self		a			a	a		a																				a								a

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

Table 5.6.z - Waterfront and marine industry zone

Column 1	Column 2	Column 3																								
Development	Level of assessment	Assessment criteria																								
		CairnsPlan 2016	Waterfront and marine industry zone code	Applicable local plan codes [^]	Acid sulfate soils overlay code*	Airport environs overlay code*	Flood and inundation hazards overlay code*	Hazardous and explosive facilities overlay code*	Transport network overlay code*	Reconfiguring a lot (1 lot into 2 lots) and associated operational works code	Aquaculture and intensive animal industry code	Brothel code	Caretaker's accommodation code	Sales office code	Telecommunications facility code	Advertising devices code	Centre design code	Environmental performance code	Excavation and filling code	Industry design code	Infrastructure works code	Landscaping code	Parking and access code	Reconfiguring a lot code	Vegetation management code	
Material change of use																										
Aquaculture	Code		a	a	a	a	a	a	a		a							a	a	a	a	a	a			a
Brothel	Code		a	a	a	a	a	a	a			a						a	a	a	a	a	a			a
Caretaker's accommodation	Code		a	a	a	a	a	a	a			a						a	a	a	a			a		a
Educational establishment	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
IF involving accommodation	Impact	a																								
Emergency services	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
High impact industry	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
Landing	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
Low impact industry	Self		a			a	a												a	a	a	a	a			a
Marine industry	Self		a			a	a												a	a	a	a	a			a
Medium impact industry	Self		a			a	a												a	a	a	a	a			a
Research and technology industry	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
Sales office	Self		a			a	a						a						a	a	a	a	a			a
Telecommunications facility	Code		a	a	a	a	a	a	a					a				a	a	a	a	a	a			a
Transport depot	Self		a			a	a												a	a	a	a	a			a
Utility installation	Code		a	a	a	a	a	a	a									a	a	a	a	a	a			a
Warehouse	Self		a			a	a												a	a	a	a	a			a
All other uses not otherwise identified	Impact	a																								
Undefined uses	Impact	a																								
Reconfiguring a lot																										
Reconfiguring a lot	Code		a	a	a	a	a	a	a									a	a		a	a				a
IF for 1 into 2 lots in accordance with Schedule 18 of the Regulation	Compliance									a																
Operational work																										
Operational work	Code		a	a	a	a	a	a	a									a	a		a	a				
IF for advertising devices	Impact	a																								
IF for advertising devices for projecting signage	Self		a			a	a								a											
IF for advertising devices for pylon signage	Self		a			a	a								a											
IF for excavation or filling greater than 50m ³	Code		a	a	a	a	a	a	a									a	a							
IF for excavation or filling of 50m ³ or less	Self		a			a	a												a							
IF for vegetation damage	Self		a			a	a																			a
IF for works on a local government road	Self		a			a	a															a				
Building work																										
Minor building work	Self		a			a	a												a		a					
Building work	Self		a			a	a												a		a					
IF within the Places of significance overlay	Code		a			a	a												a		a					
IF for removal or demolition within the Places of significance overlay	Impact	a																								

* Applicable overlay codes are identified by reference to the overlay maps contained in Schedule 2

[^] Applicable local plan codes are identified by reference to the local plan maps contained in Schedule 2

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Part 6 Zones

6.1 Preliminary

- (1) Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
- (2) Zones are mapped and included in Schedule 2.
- (3) The levels of assessment for development in a zone are in Part 5.
- (4) Assessment criteria for zones are contained in a zone code.
- (5) A precinct may be identified for part of a zone.
- (6) Precinct provisions are contained in the zone code.
- (7) Each zone code identifies the following:
 - (a) the application of the code;
 - (b) the purpose of the code;
 - (c) the overall outcomes that achieve the purpose of the code;
 - (d) the performance outcomes of the code;
 - (e) the acceptable outcomes of the code.
- (8) The following are the zone codes for the planning scheme:
 - (a) 6.2.1 Community facilities zone code;
 - (b) 6.2.2 Conservation zone code;
 - (c) 6.2.3 District centre zone code;
 - (d) 6.2.4 Emerging community zone code;
 - (e) 6.2.5 Environmental management zone code;
 - (i) Environmental management precinct 1 – Residential;
 - (ii) Environmental management precinct 2 – Russell Heads;
 - (f) 6.2.6 High impact industry zone code;
 - (g) 6.2.7 Local centre zone code;
 - (h) 6.2.8 Low density residential zone code;
 - (i) 6.2.9 Low impact industry zone code;
 - (j) 6.2.10 Low-medium density residential zone code;
 - (k) 6.2.11 Major centre zone code;
 - (l) 6.2.12 Medium density residential zone code;
 - (m) 6.2.13 Medium impact industry zone code;
 - (n) 6.2.14 Mixed use zone code;
 - (i) Mixed use precinct 1 – Commercial;
 - (ii) Mixed use precinct 2 – Trades and services;
 - (iii) Mixed use precinct 3 – Residential.
 - (o) 6.2.15 Neighbourhood centre zone code;
 - (p) 6.2.16 Open space zone code;
 - (q) 6.2.17 Principal centre zone code;
 - (r) 6.2.18 Rural residential zone code;
 - (s) 6.2.19 Rural zone code;
 - (t) 6.2.20 Special purpose zone code;
 - (u) 6.2.21 Specialised centre zone code;
 - (i) Specialised centre precinct 1 – Hospitals and allied medical;
 - (ii) Specialised centre precinct 2 – Showgrounds and major sports;
 - (iii) Specialised centre precinct 3 – James Cook University.

- (v) 6.2.22 Sport and recreation zone code;
- (w) 6.2.23 Tourism zone code;
- (x) 6.2.24 Tourist accommodation zone code;
 - (i) Tourist accommodation precinct 1 – Islands
- (y) 6.2.25 Township zone code;
- (z) 6.2.26 Waterfront and marine industry zone code.

6.2 Zone codes

6.2.1 Community facilities zone code

6.2.1.1 Application

- (1) This code applies to assessing development in the Community facilities zone.
- (2) When using this code, reference should be made to Part 5.

6.2.1.2 Purpose

- (1) The purpose of the Community facilities zone code is to provide for community related activities and facilities whether under public or private ownership.

These may include the provision of municipal services, public utilities, government installations, hospitals and schools, transport and telecommunication networks and community infrastructure of an artistic, social or cultural nature.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is located in accessible locations and is generally consistent in scale, height and bulk with that of surrounding development;
 - (b) development is designed to provide and promote safe and efficient public use, walking and cycling;
 - (c) development is in accessible locations;
 - (d) development is supplied with necessary infrastructure and is well integrated with surrounding land uses;
 - (e) development is of a form specific to the operational requirements of the facility;
 - (f) development reflects and responds to the natural features and constraints of the land.

6.2.1.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 6.2.1.3.a - Community facilities zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
Setbacks	
<p>PO2 Buildings and structures are set back to ensure that they are compatible with the amenity of the area and do not adversely affect other uses.</p>	<p>AO2.1 Buildings and structures are set back not less than: (a) 10 metres from the frontage to a State-controlled road or existing or proposed Sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 6 metres from the frontage to any other road; (c) 3 metres from all other boundaries.</p>
<p>PO3 Car parking areas are set back from the boundaries of the site to ensure that they do not dominate the character of the site.</p>	<p>AO3.1 Car parking areas are set back not less than: (a) 2 metres from the road frontage/s of the site; (b) 2 metres from side and rear boundaries.</p>
<p>PO4 Setbacks to car parking areas are landscaped to enhance the amenity of the site and to provide a buffer to adjacent residential land, residential uses and other sensitive sites.</p>	<p>AO4.1 The setback between the road frontage/s and the car parking area is landscaped in accordance with the Landscaping code.</p> <p>AO4.2 The setback between the boundary with land included in a Residential zone and the car parking area is landscaped in accordance with the Landscaping code to provide a buffer to the residential land.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>
For assessable development	
Uses and other development	
<p>PO5 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

6.2.2 Conservation zone code

6.2.2.1 Application

- (1) This code applies to assessing development in the Conservation zone.
- (2) When using this code, reference should be made to Part 5.

6.2.2.2 Purpose

- (1) The purpose of the Conservation zone code is to provide for the protection, restoration and management of areas identified as supporting significant biological diversity and ecological integrity.
- (2) The local government purpose of the code is:
 - (a) to ensure the conservation, protection and restoration of the biological diversity, ecological integrity and scenic amenity values of land and provide for habitat connectivity;
 - (b) to recognise that land within this zone is generally not suitable for further development;
 - (c) to ensure that where development does occur in the zone, it does not adversely affect the environmental and scenic amenity values of the zone and is in keeping with the natural characteristics of the land.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) land within the Conservation zone is appropriately managed to protect and maintain biological diversity, water quality, ecological functioning, beach protection and coastal management, scenic amenity and historical and cultural values;
 - (b) the values of the Wet Tropics World Heritage Area are protected;
 - (c) development does not occur within the zone, with the exception of low intensity development based on the appreciation of the significant values of the area where a demonstrated need exists;
 - (d) areas which form part of the scenic rim are protected from adverse effects of development on their scenic values;
 - (e) development does not adversely affect the conservation or scenic values of the site or surrounding area;
 - (f) development does not adversely affect areas of environmental significance on the site or surrounding area;
 - (g) lot reconfiguration, other than amalgamations or boundary realignments to resolve minor, existing encroachments, does not occur;
 - (h) development reflects and responds to the natural features and constraints of the land.

Note – Planning scheme policy – Natural areas provides further guidance on meeting the overall outcomes.

6.2.2.3 Criteria for assessment

Part A - Criteria for assessable development

Table 6.2.2.3.a – Conservation zone code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Setbacks	
<p>PO2 Buildings and structures are set back from the boundaries of the site to maintain the character and amenity of the area.</p>	<p>AO2.1 Buildings and structures are set back not less than:</p> <ul style="list-style-type: none"> (a) 40 metres from the frontage to a state controlled road; (b) 20 metres from the frontage to any other road; (c) 10 metres from the side and rear boundaries.
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO4 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO5 Development complements, and is subservient to, the surrounding environment and is in keeping with the unique ecological and scenic values of the area.</p>	<p>AO5.1 The exterior finishes and colours of development are non-reflective and complement the colours of the surrounding vegetation and view shed.</p>



Performance outcomes	Acceptable outcomes
<p>PO6 Development is screened from view from the boundaries of adjoining premises and roads through appropriate landscaping which ensures the native landscape character of the area dominates.</p> <p>Note - Planning scheme policy – Landscaping provides further guidance on meeting this Performance Outcome.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Values	
<p>PO7 Development is located to:</p> <ul style="list-style-type: none"> (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands and tidal areas, and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible, on-site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points; (h) minimise to the greatest extent possible the loss of native vegetation and fauna habitat. 	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>PO8 Development does not result in adverse impacts on ecological function or values onsite, on surrounding land or waterways or wetlands.</p>	<p>PO8.1 No acceptable outcomes are provided.</p>
<p>PO9 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
<p>PO10 Fencing is designed to not impede the movement of fauna through the site.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>
Lot reconfiguration	
<p>PO11 Lot reconfiguration results in no additional lots, except where associated with a lease exceeding 10 years and associated with an existing or approved Telecommunications facility.</p>	<p>PO11.1 No acceptable outcomes are provided.</p>

6.2.3 District centre zone code

6.2.3.1 Application

- (1) This code applies to assessing development in the District centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.3.2 Purpose

- (1) The purpose of the District centre zone code is to provide for a mix of uses and activities.

It includes a concentration of land uses including retail, commercial, residential, offices, administrative and health services, community, small-scale entertainment and recreational facilities capable of servicing a district.

- (2) The local government purpose of the code is to ensure development is consistent with the identified role and function of District centres within the hierarchy of centres.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of retail, business, entertainment and community activities focussed on the weekly and fortnightly shopping and service needs of the surrounding communities is provided;
 - (b) higher density residential uses are integrated through mixed use development that is appropriate to the scale of the District centre and supports the public transport network;
 - (c) retail, business, entertainment and community activities occur on the first two storeys of development to ensure these uses are highly accessible and contribute to a vibrant mixed use space at ground level;
 - (d) development is located and designed to maximise activity along the primary street frontage with buildings maintaining a human scale and pedestrian focus at street level;
 - (e) development provides a high level of amenity and reflects the surrounding character of the area;
 - (f) development provides a high quality interface to adjoining premises and manages impacts on adjacent development through appropriate location, design, operation and management;
 - (g) development contributes to vibrant, engaging and active district centres that are safe, comfortable and enjoyable for pedestrians;
 - (h) development incorporates appropriately scaled art and cultural infrastructure;
 - (i) development incorporates a high standard of urban design, and landscaping that contributes to attractive and functional buildings, streets and places;
 - (j) development maximises public transport accessibility and use, and encourages walking and cycling;
 - (k) development has access to infrastructure and essential services;
 - (l) development does not compromise the hierarchy of centres, whether as a result of the impacts from an individual development or the cumulative impacts of multiple developments;
 - (m) development reflects and responds to the natural features and constraints of the land.

6.2.3.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.3.3.a – District centre zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings contributes to the establishment of clearly recognisable commercial nodes without significantly affecting the character and desired amenity of the surrounding area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and setbacks stated in AO3.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2 and PO3.</p>	<p>AO1.1 Buildings and structures are not more than 14 metres and 3 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Site coverage	
<p>PO2 The site coverage ensures that there is sufficient space for landscaping, access and the provision of services.</p>	<p>AO2.1 The site coverage is not more than 80%.</p>
Setbacks	
<p>PO3 The siting of buildings contributes to the desired amenity and character of the area and protects the amenity of other land uses.</p>	<p>AO3.1 Buildings are set back:</p> <ul style="list-style-type: none"> (a) 0 metres from a street frontage boundary; or (b) not less than 3 metres from a street frontage boundary; (c) not less than 5 metres from the side and rear boundaries; or (d) 0 metres from the side and rear boundaries where there is a common boundary with land in a Centre zone, the Mixed use zone or an Industry zone. <p>Note – Refer to the definitions of Centre zone and Industry zone contained in Schedule 1.2.</p>
	<p>AO3.2 Setback areas are clear of service equipment and storage areas and landscaped in accordance with the Landscaping code.</p>
For assessable development	
Uses and other development	
<p>PO4 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Role and function of District centres	
<p>PO6 Development reinforces the role and function of District centres within the hierarchy of centres.</p> <p>Note – the role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities within Part 3 Strategic framework.</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO6.1 Development within a District centre (excluding Babinda and Gordonvale District centres) does not exceed 15,000m² GFA;</p> <p>or</p> <p>AO6.2 Where development exceeds a cumulative total of 15,000m² for the District centres of Manoora, Manunda, Mount Sheridan, Redlynch or Westcourt, then development does not exceed 500m² GFA in any calendar year;</p> <p>or</p> <p>AO6.3 Development provides a Centres need and impact assessment that demonstrates:</p> <ul style="list-style-type: none"> (a) there is a need for the development; (b) the development does not compromise the hierarchy of centres, whether as a result of the individual or cumulative impacts of the development; (c) that the development does not result in the District centre performing the role and function of a Major centre or the Principal centre. <p>Note – Planning scheme policy – Centres and centre activities provides further guidance on meeting the acceptable outcome.</p>
Lot reconfiguration	
<p>PO7 Reconfiguration of land results in a layout and size of lots that reinforces:</p> <ul style="list-style-type: none"> (a) a mix of adaptive buildings and centre activities; (b) large, rectangular shaped lots; (c) accessibility across land within the zone to key public transport and public places on adjacent roads and land; 	<p>AO7.1 Reconfiguration of land ensures future development contains sufficient area to further develop the zone with consistent uses.</p> <hr/> <p>AO7.2 Lots are serviced with safe, efficient and legal access without diminishing existing improvements and future development on the resulting lots.</p>

Performance outcomes	Acceptable outcomes
(d) integrated drainage across sites.	<p>A07.3 Drainage management and infrastructure services are integrated across sites through easements, reserves or other legal means.</p>

6.2.4 Emerging community zone code

6.2.4.1 Application

- (1) This code applies to assessing development in the Emerging community zone.
- (2) When using this code, reference should be made to Part 5.

6.2.4.2 Purpose

- (1) The purpose of the Emerging community zone code is to:
 - (a) identify land that is suitable for urban purposes and protect land that may be suitable for urban development in the future;
 - (b) manage the timely conversion of non-urban land to urban purposes;
 - (c) prevent or discourage development that is likely to compromise appropriate longer term land use.

- (2) The local government purpose of the code is to:
 - (a) allocate land suitable for urban purposes, where a degree of flexibility is necessary to determine a suitable pattern of development and to meet future needs of emerging communities;
 - (b) recognise that some land within the zone is subject to constraints that may make it unsuitable for urban development;
 - (c) provide for the sequential delivery of infrastructure to meet the needs of future communities.

- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) land is developed in an orderly sequence providing physical, social and cultural infrastructure to meet the needs of the emerging community;
 - (b) development contributes to an integrated and coordinated community and provides a structure that considers future development, infrastructure provision and land use allocations;
 - (c) development is carried out in accordance with a structure plan that integrates land use, infrastructure and the sequencing of development within more discrete areas of the zone;
 - (d) development of land affected by overlays meets the outcomes of the relevant overlay codes;
 - (e) development is not established where it would constrain future urban development or be in conflict with the efficient expansion of urban areas;
 - (f) development reflects and responds to the natural features and constraints of the land.

6.2.4.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.4.3.a – Emerging community zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Development not in a structure plan area	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the rural character and amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Setbacks	
<p>PO2 Buildings and structures are set back to:</p> <ul style="list-style-type: none"> (a) maintain the rural character and amenity of the area; (b) achieve separation from neighbouring development and road frontages. 	<p>AO2.1 Buildings and structures are set back not less than:</p> <ul style="list-style-type: none"> (a) 40 metres from the frontage to a State-controlled road; (b) 10 metres from the frontage to a Major rural road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.
For assessable development	
Structure planning	
<p>PO3 A structure plan is prepared outlining the manner in which the development outcomes have been integrated with respect to the following, including any precinct specific outcomes:</p> <ul style="list-style-type: none"> (a) development sequencing; (b) structure of communities and place making; (c) economic development and employment; (d) housing diversity; (e) transport and mobility; (f) community facilities and recreation land; (g) infrastructure networks; (h) centres; (i) overlay code outcomes; (j) local plan code outcomes. <p>Note – Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Incompatible development	
<p>PO4 Non-urban development is only established where it would not constrain the efficient expansion of urban development in the future.</p>	<p>AO4.1 Development does not constrain the efficient expansion of urban areas.</p>
Interim development	
<p>PO5 Development which is not in its ultimate intended form does not compromise the achievement of such desired form.</p>	<p>AO5.1 The use of land, which is inconsistent or incompatible with the ultimate form of development is not established;</p> <p>or</p> <p>AO5.2 The use of land, which is inconsistent or incompatible with the ultimate form of development has a limited life or ceases operation when urban development is established on adjoining premises.</p>
Uses and other development	
<p>PO6 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO7 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.5 Environmental management zone code

6.2.5.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

6.2.5.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and constrained land and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre, rural or industrial land use.

- (2) The local government purpose of the code is to protect and buffer areas of environmental significance and constrained land from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is limited to a low scale that does not result in adverse impacts on areas of environmental significance;
 - (b) lot reconfiguration, other than boundary realignments and amalgamation, do not occur;
 - (c) adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
 - (d) development reflects and responds to the natural features and environmental values of the area;
 - (e) visual impacts are minimised through the location and design of development;
 - (f) development does not adversely affect water quality or habitat connectivity;
 - (g) development reflects and responds to the natural features and constraints of the land.

Environmental management precinct 1 – Residential

- (4) In addition to 6.2.5.2(3), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for dwelling houses that are located, designed and managed to avoid adverse impacts on areas of ecological significance.

Environmental management precinct 2 – Russell Heads

- (5) In addition to 6.2.5.2(3), the overall outcomes sought for the precinct are:
 - (a) development provides for the maintenance of existing dwelling houses and retains the low scale residential character of Russell Heads;
 - (b) vacant sites within the precinct accommodate a single dwelling house;
 - (c) development does not increase the density of the precinct beyond one dwelling house per lot to minimise the exposure of people and property to unacceptable risk from natural hazards;
 - (d) infrastructure is provided at a standard that is safe and efficient and meets the needs of development.

6.2.5.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.5.3.a – Environmental management zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low rise and not unduly visible from external sites.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 and AO2.2 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Setbacks	
<p>PO2 Buildings and structures are set back to:</p> <ul style="list-style-type: none"> (a) maintain the character and amenity of the area; (b) achieve separation from neighbouring buildings and from road frontages. 	<p>AO2.1 Buildings and structures are set back not less than 6 metres from all boundaries.</p> <p>or</p> <p>AO2.2 Within Environmental management precinct 2 – Russell Heads, buildings and structures are set back not less than 1.5 metres from side boundaries and 3 metres from river and road frontage boundaries.</p>
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
Site coverage	
<p>PO4 The site coverage of all buildings and structures and associated services does not have an adverse effect on the environmental or scenic values of the site.</p>	<p>PO4.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the</p>	<p>AO5.1 Buildings, structures and associated access, infrastructure and private open space are sited:</p>



Performance outcomes	Acceptable outcomes
<p>site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>(a) within areas of the site which are already cleared; or</p> <p>(b) within areas of the site which are environmentally degraded;</p> <p>(c) to minimise additional vegetation clearing.</p>
	<p>AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>
<p>PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to:</p> <p>(a) maintain the geotechnical stability of slopes;</p> <p>(b) minimise cut and/or fill;</p> <p>(c) minimise visual impacts;</p> <p>(d) minimise the overall height of development.</p>	<p>AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p>
	<p>AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to:</p> <p>(a) minimise erosion;</p> <p>(b) minimise cut and fill;</p> <p>(c) follow the natural contours of the site.</p>
Amenity	
<p>PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p>AO7.1 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of olive green, brown, green, blue, or charcoal;</p> <p>or</p> <p>AO7.2 The development is not visible external to the site.</p>
<p>PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
Density	
<p>PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.</p>	<p>AO9.1 The maximum residential density is one dwelling house per lot.</p>
Lot reconfiguration	
<p>PO10 Lot reconfiguration results in no additional lots, except where associated with a lease exceeding 10 years and associated with an existing or approved Telecommunications facility.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Environmental management precinct 2 – Russell Heads	
Water supply	
<p>PO11 An adequate, safe and reliable supply of potable, firefighting and general use water is provided.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
Treatment and disposal of effluent	
<p>PO12 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p>AO12.1 The effluent disposal system: (a) meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i>; (b) is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>
Stormwater quality	
<p>PO13 Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by: (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology.</p>	<p>AO13.1 No acceptable outcomes are provided.</p>
Wastewater discharge	
<p>PO14 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental management; (b) is treated to: (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>
Electricity supply	
<p>PO15 Development is provided with a source of power that will meet its energy needs.</p>	<p>AO15.1 A connection is provided from the premises to the electricity distribution network; or AO15.2 The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy – FNQROC Regional Development Manual.</p>

Performance outcomes	Acceptable outcomes
Telecommunications	
<p>PO16 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.</p>	<p>AO16.1 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.</p>
Trade waste	
<p>PO17 Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p> <ul style="list-style-type: none"> (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk. 	<p>AO17.1 No acceptable outcomes are provided.</p>

6.2.6 High impact industry zone code

6.2.6.1 Application

- (1) This code applies to assessing development in the High impact industry zone.
- (2) When using this code, reference should be made to Part 5.

6.2.6.2 Purpose

- (1) The purpose of the High impact industry zone code is to provide for high impact industry uses.

It may include non-industrial and business uses that support the industrial activities where they do not compromise the long-term use of the land for industrial purposes.

Activities considered appropriate in this zone are defined as high impact industry in the schedule of definitions.

- (2) The local government purpose of the code is to provide land for high impact industry where such land use activity may not be compatible with medium impact industry working environments. The quantity of land zoned high impact industry in the region is very limited and restricts the intrusion of other land uses that may compromise the establishment of heavier forms of industry.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of high impact industry uses that satisfy the purpose of the zone are facilitated;
 - (b) accommodation activities are not established within the zone;
 - (c) lot sizes are of sufficient size to cater for a range of high impact industries;
 - (d) development reflects and responds to the natural features and constraints of the land;
 - (e) development does not affect the operational aspects of the Port of Cairns.

6.2.6.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.6.3.a – High impact industry zone code– self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated within AO1.1 and the setbacks stated in AO2.1 of the Industry design code correspond with the height stated in AO1.1 of this code. Where a proposed development exceeds the height stated</p>	<p>AO1.1 Buildings and structures are not more than 15 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>



Performance outcomes	Acceptable outcomes
<p>in AO1.1 of this code, the proposed development will also be assessed against PO1 and PO2 of the Industry design code.</p>	
<p>For assessable development</p>	
<p>Uses and other development</p>	
<p>PO2 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Non-industry activities compatible with the High impact industry zone include those that:</p> <ul style="list-style-type: none"> (a) do not compromise the operations of high impact industry uses; (b) do not compromise the hierarchy of centres in the region; (c) avoid attracting a significant number of people into the zone; (d) are not sensitive to and are able to tolerate heavy industrial activity within the zone. 	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>Site constraints</p>	
<p>PO4 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>

6.2.7 Local centre zone code

6.2.7.1 Application

- (1) This code applies to assessing development in the Local centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.7.2 Purpose

- (1) The purpose of the Local centre zone code is to provide for a limited range of retail, commercial and community activities to service local needs.

It includes local shopping, local employment nodes, commercial, cafes and dining, entertainment, community services and residential development where it can integrate and enhance the fabric of the centre.

- (2) The local government purpose of the code is to ensure development is consistent with the identified role and function of Local centres within the hierarchy of centres.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a small range of uses including retail, business, cafes and dining, and community activities are provided that are focussed on the daily and weekly shopping and service needs of their surrounding local community; Showrooms, department stores and other large floor space land uses, other than supermarkets, are not located in Local centres.
 - (b) development provides a high level of amenity and reflects the surrounding character of the area;
 - (c) development contributes to vibrant, engaging and active local centres that are safe comfortable and enjoyable for pedestrians;
 - (d) development provides a high quality interface to adjoining premises and manages impacts on adjacent development through appropriate location, design, operation and management;
 - (e) development has access to infrastructure and essential services;
 - (f) development maximises public transport accessibility and use, and encourages walking and cycling;
 - (g) development does not compromise the hierarchy of centres, whether as a result of the impacts from an individual development or the cumulative impacts of multiple developments;
 - (h) development reflects and responds to the natural features and constraints of the land.

6.2.7.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.7.3.a – Local centre zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings is in keeping with the character of the surrounding residential neighbourhoods and does not adversely affect the amenity of the neighbourhood.</p>	<p>AO1.1 Buildings and structures are not more than 10.5 metres and 2 storeys in height. Note – Height is inclusive of the roof height.</p>



Performance outcomes	Acceptable outcomes
<p>Note - A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and the setbacks stated in AO3.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2 and PO3.</p>	
Site coverage	
<p>PO2 The site coverage ensures that there is sufficient space for landscaping, access and the provision of services.</p>	<p>AO2.1 The site coverage is not more than 80%.</p>
Setbacks	
<p>PO3 The siting of buildings contributes to the desired amenity and character of the area and protects the amenity of other land uses.</p>	<p>AO3.1 Buildings are set back: (a) 0 metres from a street frontage boundary; or (b) not less than 3 metres from a street frontage; (b) not less than 3 metres from the side and rear boundaries; or (c) 0 metres from the side and rear boundaries, where there is a common boundary with land in a Centre zone, the Mixed use zone or an Industry zone.</p> <p>Note – Refer to the definitions of Centre zone and Industry zone contained in Schedule 1.2.</p> <p>AO3.2 Setback areas are clear of service equipment and storage areas, and landscaped in accordance with the Landscaping code.</p>
For assessable development	
Uses and other development	
<p>PO4 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Role and function of Local centres	
<p>PO6 Development reinforces the role and function of Local centres within the hierarchy of centres.</p> <p>Note – The role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities within Part 3 Strategic framework.</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO6.1 Development for a shop or single tenancy within a shopping centre, excluding a supermarket, does not exceed 200m² GFA.</p> <p>AO6.2 Showrooms or department stores are not established in the Local centre zone.</p>
Lot reconfiguration	
<p>PO7 Reconfiguration of land:</p> <ul style="list-style-type: none"> (a) results in a layout and size of lots that reinforces a mix of fine grain and larger floor areas of development with rectangular shaped lots and narrow frontages; (b) ensures that new lots contain sufficient area to accommodate uses that are consistent with the purpose and overall outcomes of the zone. 	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.8 Low density residential zone code

6.2.8.1 Application

- (1) This code applies to assessing development in the Low density residential zone.
- (2) When using this code, reference should be made to Part 5.

6.2.8.2 Purpose

- (1) The purpose of the Low density residential zone code is to provide for predominantly dwelling houses supported by community uses and small-scale services and facilities that cater for local residents.
- (2) The local government purpose of the code is to promote and retain the low density residential character and amenity of the zone.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) predominantly low rise detached dwelling houses are established;
 - (b) a high level of residential amenity is maintained, having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
 - (c) low density scale and character is maintained;
 - (d) development reflects and responds to the natural features and constraints of the land;
 - (e) community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community are provided, enhanced or maintained.

6.2.8.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.8.3.a – Low density residential zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the amenity of adjoining premises and the residential character of the area.</p> <p>Note - A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated within AO2.1 corresponds with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Site coverage	
<p>PO2 The site coverage of all buildings and structures is in keeping with the residential character and amenity of the area.</p>	<p>AO2.1 The site coverage is not more than 50%.</p>

Performance outcomes	Acceptable outcomes
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
Setbacks	
<p>PO4 The setback of buildings and structures: (a) maintains the amenity of adjoining premises and the residential character of the area; (b) achieves separation from neighbouring buildings and frontages.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO6 Development does not adversely affect the residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

6.2.9 Low impact industry zone code

6.2.9.1 Application

- (1) This code applies to assessing development in the Low impact industry zone.
- (2) When using this code, reference should be made to Part 5.

6.2.9.2 Purpose

- (1) The purpose of the Low impact industry zone code is to provide for service and low impact industry uses.

It may include non-industrial and business uses that support the industrial activities where they do not compromise the long-term use of the land for industrial purposes.

Activities considered appropriate in this zone are defined as low impact industry or service industry in the schedule of definitions.

- (2) The local government purpose of the code is to recognise that parts of the region are characterised by land in transition from residential land use to industrial land use. Low impact industry land uses are preferred in these locations over residential or other forms of incompatible land use. Development ensures that any interface between industrial and sensitive land uses minimise the impact on amenity and safety.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of industrial uses that satisfy the purpose of the zone will be facilitated, provided that there are no undue impacts on adjacent residential living environments;
 - (b) other uses such as food and drink outlets and warehouses that are ancillary to, and directly support, the industrial area are facilitated;
 - (c) accommodation activities, other than caretaker's accommodation, are not established within the zone;
 - (d) lot sizes are of a sufficient size to cater for a range of low impact industrial and ancillary land uses;
 - (e) the scale, character and built form of development contributes to a high standard of amenity;
 - (f) development reflects and responds to the natural features and constraints of the land.

6.2.9.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.9.3.a – Low impact industry zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required</p>	<p>AO1.1 Buildings and structures are not more than 11 metres in height.</p> <p>Note - Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated within AO1.1 and the setbacks stated in AO2.1 of the Industry design code correspond with the height stated in AO1.1 of this code. Where a proposed development exceeds the height stated in AO1.1 of this code, the proposed development will also be assessed against PO1 and PO2 of the Industry design code.</p>	
For assessable development	
Uses and other development	
<p>PO2 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Non-industrial activities compatible with the Low impact industry zone include those that:</p> <ul style="list-style-type: none"> (a) do not compromise the hierarchy of centres in the region; (b) complement industrial activities; (c) generally operate in daylight hours; (d) provide a direct service to the nearby workforce. 	<p>AO3.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO4 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>

6.2.10 Low-medium density residential zone code

6.2.10.1 Application

- (1) This code applies to assessing development in the Low-medium density residential zone.
- (2) When using this code, reference should be made to Part 5.

6.2.10.2 Purpose

- (1) The purpose of the Low-medium density residential zone code is to provide for a range and mix of dwelling types including dwelling houses and multiple dwellings supported by community uses and small-scale services and facilities that cater for local residents.
- (2) The local government purpose of the code is to promote the mixed residential character and amenity of the zone.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of accommodation activities are provided on a range of lot sizes;
 - (b) a high level of residential amenity is maintained, having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
 - (c) a mixed residential density and character is achieved;
 - (d) a low rise character is achieved;
 - (e) development reflects and responds to the natural features and constraints of the land;
 - (f) community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community are provided, enhanced or maintained;
 - (g) non-residential uses are established where they serve the local community and do not detract from the residential amenity of the area.

6.2.10.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.10.3.a – Low-medium density residential zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the amenity of adjoining premises and the residential character of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and AO2.2 corresponds with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
Site coverage	
<p>PO2 The site coverage of all buildings and structures is in keeping with the residential character and amenity of the area.</p>	<p>AO2.1 The site coverage is not more than 40%;</p> <p>or</p> <p>AO2.2 Where for a Dwelling house or Dual occupancy, the site coverage is not more than 50%.</p>
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Non-residential uses that serve the local community are established in appropriate locations and subject to detailed development requirements including:</p> <ul style="list-style-type: none"> (a) being located in highly accessible locations; (b) being co-located with other similar uses; (c) providing for the identified convenience needs of the local community; (d) not impacting on the role and function of the hierarchy of centres within the region; (e) resulting in positive economic and social benefits for the local community; (f) small scale extensions to existing non-residential uses. <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Setbacks	
<p>PO5 The setback of buildings and structures:</p> <ul style="list-style-type: none"> (a) maintains the amenity of adjoining premises and the residential character of the area; (b) achieves separation from neighbouring buildings and frontages. 	<p>AO5.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO7 Development does not adversely affect the residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.11 Major centre zone code

6.2.11.1 Application

- (1) This code applies to assessing development in the Major centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.11.2 Purpose

- (1) The purpose of the Major centre zone code is to provide for a mix of uses and activities.

It includes concentrations of higher order retail, commercial, offices, residential, administrative and health services, community, cultural and entertainment facilities and other uses capable of servicing a subregion in the planning scheme area.

- (2) The local government purpose of the code is to ensure development is consistent with the identified role and function of Major centres within the hierarchy of centres.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a broad range of higher order retail, employment, commercial, administrative, community, cultural, education, higher density housing and entertainment activities are provided;
 - (b) development is well-designed and incorporates appropriately scaled art and cultural infrastructure;
 - (c) development is clustered around public transport facilities to promote public transport, walking and cycling;
 - (d) accommodation activities are provided at an appropriate scale and integrate with and enhance the vibrancy of the centre;
 - (e) development provides a high level of tropical design and reflects the surrounding character of the area;
 - (f) development is located and designed to maximise activity along the primary street frontage with buildings maintaining a human scale and pedestrian focus at street level;
 - (g) development provides a high quality interface to adjoining premises and manages impacts on adjacent development through appropriate location, design, operation and management;
 - (h) public open space areas including malls, plazas, parks and gardens are provided;
 - (i) landscaping is of a high quality and contributes to the visual dominance of tropical vegetation in the streetscape;
 - (j) development contributes to vibrant, engaging and active major centres that are safe comfortable and enjoyable for pedestrians;
 - (k) development maximises public transport accessibility and use, and encourages walking and cycling;
 - (l) development does not compromise the hierarchy of centres, whether as a result of the impacts from an individual development or the potential cumulative impacts of multiple developments;
 - (m) development reflects and responds to the natural features and constraints of the land.

6.2.11.3 Criteria for assessment

Part A - Criteria for assessable development

Table 6.2.11.3a – Major centre zone code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Uses and other development	
<p>PO1 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
Role and function of Major centres	
<p>PO2 Development reinforces the role and function of Major centres within the hierarchy of centres.</p> <p>Note – The role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities within Part 3 Strategic framework</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>

6.2.12 Medium density residential zone code

6.2.12.1 Application

- (1) This code applies to assessing development in the Medium density residential zone.
- (2) When using this code, reference should be made to Part 5.

6.2.12.2 Purpose

- (1) The purpose of the Medium density residential zone code is to provide for medium density multiple dwellings supported by community uses and small-scale services and facilities that cater for local residents.
- (2) The local government purpose of the code is to promote and retain a mixed residential density character and amenity, with access to centres, major transport facilities, open space and recreation activities.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of accommodation activities, in low to medium rise multiple dwelling and mixed-use buildings is established;
 - (b) development provides a high level of amenity taking into account impacts such as traffic, noise, dust, odour, and lighting;
 - (c) a medium residential density, scale and character of the area is achieved;
 - (d) development reflects and responds to the natural features and constraints of the land;
 - (e) community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community are provided.

6.2.12.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.12.3.a – Medium density residential zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable development and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the amenity of adjoining premises and the residential character and amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and AO2.2 corresponds with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 15 metres and 4 storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
Site coverage	
<p>PO2 The site coverage of all buildings and structures is in keeping with the residential character and amenity of the area.</p>	<p>AO2.1 The site coverage is not more than 40%.</p> <p>or</p> <p>AO2.2 Where for a Dwelling house or Dual occupancy, the site coverage is not more than 50%.</p>
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Non-residential uses that serve the local community are established in appropriate locations and subject to detailed development requirements including:</p> <ul style="list-style-type: none"> (a) being located in highly accessible locations; (b) their proximity with other similar uses; (c) providing for the identified convenience needs of the local community; (d) not impacting on the role and function of the hierarchy of centres within the region; (e) resulting in positive economic and social benefits for the local community; (f) small scale extensions to existing non-residential uses. <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Setbacks	
<p>PO5 Buildings and structures are set back to:</p> <ul style="list-style-type: none"> (a) maintain the residential character and amenity of the area; (b) achieve separation from neighbouring buildings and frontages. 	<p>AO5.1 No acceptable outcomes are provided</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO7 Development does not adversely affect the residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.13 Medium impact industry zone code

6.2.13.1 Application

- (1) This code applies to assessing development in the Medium impact industry zone.
- (2) When using this code, reference should be made to Part 5.

6.2.13.2 Purpose

- (1) The purpose of the Medium impact industry zone code is to provide for medium impact industry uses.

It may include non-industrial and business uses that support the industrial activities where they do not compromise the long-term use of the land for industrial purposes.

Activities considered appropriate in this zone are defined as medium impact industry in the schedule of definitions.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of industrial uses that satisfy the purpose of the zone will be facilitated;
 - (b) accommodation activities, other than caretaker’s accommodation, are not established within the zone;
 - (c) service and low impact industry uses may be appropriate where they are not detrimentally affected by or compromise the operations of medium impact industry uses;
 - (d) lot sizes are of a sufficient size to cater for a wide range of industry activities;
 - (e) the scale, character and built form of development contributes to a high standard of amenity;
 - (f) development reflects and responds to the natural features and constraints of the land;
 - (g) development does not affect the operational aspects of the Port of Cairns.

6.2.13.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.13.3.a – Medium impact industry zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated within AO1.1 and the setbacks stated in AO2.1 of the Industry design code correspond with the height stated in AO1.1 of this code. Where a proposed development exceeds the height stated</p>	<p>AO1.1 Buildings and structures are not more than 15 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>in AO1.1 of this code, the proposed development will also be assessed against PO1 and PO2 of the Industry design code.</p>	
<p>For assessable development</p>	
<p>Uses and other development</p>	
<p>PO2 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Non-industry activities compatible with the zone include those that:</p> <ul style="list-style-type: none"> (a) do not compromise the operations of medium impact industry uses; (b) do not compromise the hierarchy of centres in the region; (c) complement industrial activities; (d) require large land holdings and/or industrial scale buildings; (e) provide a service to the nearby workforce. 	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>Site constraints</p>	
<p>PO4 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>

6.2.14 Mixed use zone code

6.2.14.1 Application

- (1) This code applies to assessing development in the Mixed use zone.
- (2) When using this code, reference should be made to Part 5.

6.2.14.2 Purpose

- (1) The purpose of the Mixed use zone code is to provide for a mix of activities that may include business, retail, residential, tourist accommodation and associated services, service industry and low impact industrial uses.
- (2) The local government purpose of the code is to recognise the presence of areas of mixed land use outside the hierarchy of centres that contain a wide variety of uses.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a mix of appropriate uses within the precincts are established;
 - (b) development in the mixed use zone does not compromise the role and successful function of centres within the hierarchy of centres, whether as a result of the impacts from an individual development or the potential cumulative impacts of multiple developments; the scale, character and built form of development contributes to a high standard of amenity;
 - (c) development reflects and responds to the natural features and constraints of the land.

Mixed use precinct 1 – Commercial

- (4) In addition to 6.2.14.2(3), the overall outcomes sought for the precinct are:
 - (a) development within the precinct provides a mix of land uses where the predominant land use is for commercial purposes;
 - (b) development does not diminish the amenity of any adjoining residential areas and reflects and responds to the character of the area;
 - (c) medium density residential and short term accommodation uses are provided in a mixed use setting involving commercial or retail uses on the lower and ground floor storeys;
 - (d) development addresses the street frontage and provides car parking behind buildings.

Mixed use precinct 2 – Trades and services

- (5) In addition to 6.2.14.2(3), the overall outcomes sought for the precinct are:
 - (a) development within the precinct provides a mix of land uses where the predominant land use is for trades and services purposes;
 - (b) development for low impact industry uses is facilitated;
 - (c) residential development is only established where an appropriate level of amenity can be achieved and it does not compromise the ability for low impact industry uses to be developed;
 - (d) development does not affect the operational aspects of the Port of Cairns.

Mixed use precinct 3 – Residential

- (6) In addition to 6.2.14.2(3), the overall outcomes sought for the precinct are:
 - (a) development within the precinct provides a mix of land uses where the predominant land use is for residential purposes;
 - (b) development is provided through the adaptive reuse of existing buildings;
 - (c) development maintains the residential scale and character of the area;

- (d) a range of accommodation activities are established;
- (e) development provides a high level of amenity taking into account impacts such as traffic, noise, dust, odour and lighting;
- (f) industry activities are not established;

6.2.14.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.14.3.a – Mixed use zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings and structures is of a scale compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1, AO1.2 or AO1.3. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and AO2.2 and the setbacks stated in AO3.1, AO3.2, AO4.1 and AO4.2 correspond with the heights stated in AO1.1, AO1.2 and AO1.3. Where a proposed development exceeds the height stated in AO1.1, AO1.2 or AO1.3, the proposed development will also be assessed against PO2, PO3 and PO4.</p>	<p>AO1.1 Within Mixed use precinct 1 – Commercial, buildings and structures are not more than: (a) 11 metres in height; or (b) 14 metres and 3 storeys in height, where involving a mix of land uses that includes multiple dwellings;</p> <p>or</p> <p>AO1.2 Within Mixed use precinct 2 – Trades and services, buildings and structures are not more than 11 metres in height;</p> <p>or</p> <p>AO1.3 Within Mixed use precinct 3 – Residential, buildings and structures are not more than 11 metres and 2 storeys in height;</p> <p>Note – Height is inclusive of the roof height.</p>
Site coverage	
<p>PO2 The site coverage of all buildings: (a) does not result in a built form that is bulky or visually obtrusive to the streetscape; (b) respects the individual character of the zone and/or precinct and responds to the features of the site.</p>	<p>AO2.1 Within Mixed use precinct 1 – Commercial and Mixed use precinct 2 – Trades and services, site coverage is not more than 80%;</p> <p>or</p> <p>AO2.2 Within Mixed use precinct 3 – Residential, site coverage is not more than 50%.</p>

Performance outcomes	Acceptable outcomes
Setbacks	
<p>PO3 Front building setbacks are consistent with the prevailing setbacks in the street.</p>	<p>AO3.1 Within Mixed use precinct 1 – Commercial and Mixed use precinct 2 – Trades and services, development fronting a State-controlled road, existing or proposed Sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2, is built to the road frontage.</p> <p>or</p> <p>AO3.2 For all other development, buildings and structures are set back not less than: (a) 6 metres from the primary road frontage; (b) 3 metres from any secondary road frontage.</p>
<p>PO4 Side and rear building setbacks: (a) are appropriate to the scale of the development and the character of the locality; (b) are sufficient to minimise overshadowing and overlooking of adjoining premises; (c) provide adequate separation and buffering from residential premises; (d) minimise unusable spaces between buildings / boundaries.</p>	<p>AO4.1 Where the site has a common boundary with land in a Centre zone, Mixed use precinct 1 – Commercial, Mixed use precinct 2 – Trades and services, or an Industry zone, the building: (a) is set back 0 metres from the side and rear boundaries; or (b) not less than 3 metres from the side and rear boundaries;</p> <p>or</p> <p>AO4.2 Where the site has a common boundary with land in a zone other than a centre, mixed use precinct 1 – Commercial, mixed use Precinct 2 – Trades and services, or Industry zone, the setback from the boundary is not less than 3 metres.</p> <p>Note – Refer to the definition of Centre zone contained in Schedule 1.2.</p>
For assessable development	
Uses and other development	
<p>PO5 Development: (a) does not compromise or perform the role and function of a centre within the hierarchy of centres in the region; (b) services local and visitor needs of the surrounding catchment; (c) complements the scale and character of the surrounding area; (d) protects the amenity of adjoining premises and surrounding uses.</p> <p>Note – The role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities</p>	<p>AO5.1 Shopping centres located within Mixed use precinct 1 – Commercial or Mixed use precinct 2 – Trades and services do not exceed 500m² GFA.</p> <p>AO5.2 Shopping centres are not established within Mixed use precinct 3 – Residential.</p> <p>AO5.3 Development for a shop or single tenancy within a shopping centre does not exceed 200m² GFA.</p>

Performance outcomes	Acceptable outcomes
<p>within Part 3 Strategic framework.</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO5.4 Department stores and supermarkets are not established within the Mixed use zone.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Additional requirements for Mixed use precinct 1 – Commercial	
<p>PO7 Development is consistent with the purpose and overall outcomes sought for the zone and the outcomes sought for Mixed use precinct 1 – Commercial.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
Additional requirements for Mixed use precinct 2 – Trades and services	
<p>PO8 Development is consistent with the purpose and overall outcomes sought for the zone and the outcomes sought for Mixed use precinct 2 – Trades and services.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
Additional requirements for Mixed use precinct 3 – Residential	
<p>PO9 Development is consistent with the purpose and overall outcomes sought for the zone and the outcomes sought for Mixed use precinct 3 – Residential.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
<p>PO10 Development is of a size, scale and design to complement the traditional character of the precinct.</p>	<p>AO10.1 Development provides for the retention and/or adaptive re-use of buildings.</p> <p>AO10.2 Development complements the traditional residential scale and character of the area.</p>

6.2.15 Neighbourhood centre zone code

6.2.15.1 Application

- (1) This code applies to assessing development in the Neighbourhood centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.15.2 Purpose

- (1) The purpose of the Neighbourhood centre zone code is to provide for a small mix of land uses to service residential neighbourhoods.

It includes small-scale convenience shopping, professional offices, community services and other uses that directly support the immediate community.

- (2) The local government purpose of the code is to ensure development is consistent with the identified role and function of Neighbourhood centres within the hierarchy of centres.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a limited range of small scale convenience, retail or community facilities are provided that meet the basic, daily convenience needs of the surrounding neighbourhood and encourage walkable neighbourhoods;
 - (b) showrooms, department stores, supermarkets and other large floor space land uses are not located in Neighbourhood centres;
 - (c) development provides a high level of amenity and reflects the surrounding character of the area;
 - (d) development contributes to vibrant, engaging and active neighbourhood centres that are safe comfortable and enjoyable for pedestrians;
 - (e) development provides a high quality interface to adjoining premises and manages impacts on adjacent development through appropriate location, design, operation and management;
 - (f) development has access to infrastructure and essential services;
 - (g) development maximises public transport accessibility and use, and encourages walking and cycling;
 - (h) development does not compromise the hierarchy of centres, whether as a result of the impacts from an individual development or the cumulative impacts of multiple developments;
 - (i) development reflects and responds to the natural features and constraints of the land.

6.2.15.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.15.3.a –Neighbourhood centre zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings is in keeping with the character of the surrounding residential neighbourhoods and does not adversely affect the amenity of the neighbourhood.</p>	<p>AO1.1 Buildings and structure are not more than 8.5 metres and 2 storeys in height. Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and the setbacks stated in AO3.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2 and PO3.</p>	
Site coverage	
<p>PO2 The site coverage ensures that there is sufficient space for landscaping, access and the provision of services.</p>	<p>AO2.1 The site coverage is not more than 50%.</p>
Setbacks	
<p>PO3 The siting of buildings contributes to the desired amenity and character of the area and protects the amenity of other land uses.</p>	<p>AO3.1 Buildings are set back:</p> <ul style="list-style-type: none"> (a) 0 metres from a street frontage boundary; or (b) not less than 3 metres from a street frontage boundary (c) not less than 3 metres from the side and rear boundaries; or (d) 0 metres from the side and rear boundaries where there is a common boundary with land in a Centre zone, the Mixed use zone or an Industry zone. <p>Note – Refer to the definitions of Centre zone and Industry zone contained in Schedule 1.2.</p> <p>AO3.2 Setback areas are clear of service equipment and storage areas, and landscaped in accordance with the Landscaping code.</p>
For assessable development	
Uses and other development	
<p>PO4 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Role and function of Neighbourhood centres	
<p>PO6 Development reinforces the role and function of Neighbourhood centres within the hierarchy of centres.</p> <p>Note – the role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities within Part 3 Strategic framework</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO6.1 Development for a shop or Single tenancy within a Shopping centre does not exceed 200m² GFA.</p> <p>AO6.2 Showrooms, department stores and supermarkets are not established in the Neighbourhood centre zone.</p>
Lot reconfiguration	
<p>PO7 Reconfiguration of land:</p> <ul style="list-style-type: none"> (a) results in a layout and size of lots that reinforces a fine grain of development with rectangular shaped lots and narrow frontages; (b) ensures that new lots contain sufficient area to accommodate uses that are consistent with the purpose and overall outcomes of the zone. <p>Note – Planning scheme policy – Centres and centre activities provides further guidance.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.16 Open space zone code

6.2.16.1 Application

- (1) This code applies to assessing development in the Open space zone.
- (2) When using this code, reference should be made to Part 5.

6.2.16.2 Purpose

- (1) The purpose of the Open space zone code is to provide for local, district and regional scale parks that serve the recreational needs of a wide range of residents and visitors.

Where required to meet community needs, development may include shelters, amenity facilities, picnic tables, and playgrounds and infrastructure to support safe access and essential management.

- (2) The local government purpose of the code is to recognise the importance of open space areas to the liveability, health and wellbeing of the region's communities.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) open space is accessible to the community for a range of outdoor activities;
 - (b) a range of functional and accessible open spaces, including local, district and regional scale parks and linear corridors are available for the use and enjoyment of the community;
 - (c) structures and buildings such as shelters, amenity facilities, picnic tables and playgrounds are provided;
 - (d) open space areas are planned and designed to enhance community liveability and scenic amenity;
 - (e) development reflects and responds to the natural features and constraints of the land;
 - (f) development does not affect the operational aspects of the Port of Cairns.

6.2.16.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.16.3.a – Open space zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
Setback	
<p>PO2 Buildings and structures are setback to ensure that they are compatible with the amenity of the area and do not adversely affect other uses, particularly residential uses.</p>	<p>AO2.1 Buildings and structures are set back not less than 6 metres from all boundaries.</p>
<p>PO3 Car parking areas are set back from the boundaries of the site to ensure that they do not dominate the open space character of the site.</p>	<p>AO3.1 Car parking areas are set back: (a) 2 metres from the road frontage/s of the site; (b) 6 metres from side and rear boundaries.</p>
<p>PO4 Setbacks to car parking areas are landscaped to enhance the amenity of the site and to provide a buffer to adjacent residential land, residential uses and other sensitive sites.</p>	<p>AO4.1 The setback between the road frontage/s and the car parking area is landscaped in accordance with the Landscaping code.</p>
	<p>AO4.2 The setback between the boundary with land included in a Residential zone and the car parking area is landscaped in accordance with the Landscaping code to provide a buffer to the residential land.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>
Outdoor sport and recreation	
<p>PO5 Development for outdoor sport and recreation does not adversely affect the amenity of the area.</p>	<p>AO5.1 Development for outdoor sport and recreation does not include sports field lighting.</p>
For assessable development	
Uses and other development	
<p>PO6 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO7 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.17 Principal centre zone code

6.2.17.1 Application

- (1) This code applies to assessing development in the Principal centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.17.2 Purpose

- (1) The purpose of the Principal centre zone code is to provide for the largest and most diverse mix of uses and activities that forms the core of an urban settlement.

It includes key concentrations of high-order retail, commercial, employment, residential, health services, administrative, community, cultural, recreational and entertainment activities and other uses, capable of servicing the planning scheme area.

- (2) The local government purpose of the code is to ensure development is consistent with the identified role and function of the Principal centre within the hierarchy of centres.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the widest range of retail, commercial, administrative, community, cultural, tourism, recreation and entertainment activities are provided;
 - (b) development is well-designed and incorporates appropriately scaled art and cultural infrastructure;
 - (c) accommodation activities are provided at an appropriate scale and integrate with and enhance the vibrancy of the centre;
 - (d) development provides a high level of amenity, with a tropical design incorporating appropriate architectural elements and building features;
 - (e) public open space areas including malls, plazas, parks and gardens are provided;
 - (f) landscaping is of a high quality and contributes to the visual dominance of tropical vegetation in the streetscape;
 - (g) development maximises public transport accessibility and use, and encourages walking and cycling;
 - (h) development contributes to a vibrant, engaging and active city centre that is safe comfortable and enjoyable for pedestrians;
 - (i) development reflects and responds to the natural features and constraints of the land;
 - (j) development does not affect the operational aspects of the Port of Cairns.

6.2.17.3 Criteria for assessment

Part A - Criteria for assessable development

Table 6.2.17.3.a – Principal centre zone code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Uses and other development	
PO1 Development is consistent with the purpose and overall outcomes sought for the zone.	AO1.1 No acceptable outcomes are provided.

Performance outcomes	Acceptable outcomes
Role and function of the Principal centre	
<p>PO2 Development reinforces the role and function of the Principal centre within the hierarchy of centres.</p> <p>Note – The role and function of the hierarchy of centres is described 3.3.2 Element – Centres and centre activities within Part 3 Strategic framework</p> <p>Note – A Centre need and impact assessment may be required to demonstrate compliance with this performance outcome.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>

6.2.18 Rural residential zone code

6.2.18.1 Application

- (1) This code applies to assessing development in the Rural residential zone.
- (2) When using this code, reference should be made to Part 5.

6.2.18.2 Purpose

- (1) The purpose of the Rural residential zone code is to provide for residential development on large lots where local government infrastructure and services may not be provided on the basis that the intensity of development is generally dispersed.
- (2) The local government purpose of the code is to maintain the semi-rural character that is achieved through large residential lots.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the dominant character of the area is single detached dwelling houses on large lots with a high standard of amenity;
 - (b) areas with limited accessibility, infrastructure and services are not developed;
 - (c) reconfiguration results in lots of regular shapes and proportions;
 - (d) land within the zone that is constrained by factors such as slope, ecological values, vegetation or waterways may be appropriate for rural residential uses where a functional and practical building envelope can be established without compromising the integrity, stability and natural structure of those slopes, ecological values, vegetation or waterways;
 - (e) development reflects and responds to the natural features and constraints of the land;
 - (f) rural residential development is contained within identified areas to prevent the loss and further fragmentation of agricultural land.

6.2.18.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.18.3.a – Rural residential zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the amenity of adjoining premises and the rural residential character of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and setbacks stated in AO3.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2 and PO3.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
Site coverage	
<p>PO2 The site coverage of all buildings and structures is in keeping with the rural residential character and amenity of the area.</p>	<p>AO2.1 The site coverage is not more than 20%.</p>
Setbacks	
<p>PO3 The setback of buildings and structures: (a) maintains the amenity of adjoining premises and the rural residential character of the area; (b) achieves separation from neighbouring buildings and frontages.</p>	<p>AO3.1 Buildings and structures are set back not less than: (a) 10 metres from the frontage to a State controlled road, Major rural road or Sub-arterial road; (b) 6 metres from the frontage to any other road; (c) 6 metres from the side and rear boundaries of the site.</p>
For assessable development	
Uses and other development	
<p>PO4 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO6 Development does not adversely affect the rural residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

6.2.19 Rural zone code

6.2.19.1 Application

- (1) This code applies to assessing development in the Rural zone.
- (2) When using this code, reference should be made to Part 5.

6.2.19.2 Purpose

- (1) The purpose of the Rural zone code is to:
 - (a) provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping, extractive industries and other primary production activities;
 - (b) provide opportunities for non-rural uses that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;
 - (c) protect areas of Agricultural Land Classification Class A and Class B for agricultural use by avoiding fragmentation and locating non-agricultural development on or adjacent to Rural zoned land;
 - (d) protect or manage significant natural resources and processes to maintain the capacity for primary production.
- (2) The local government purpose of the code is to:
 - (a) recognise the primacy of rural production and farming practices in rural areas;
 - (b) recognise existing extractive resource / processing areas in rural areas;
 - (c) provide protection to areas of environmental and scenic significance.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas for use for primary production are conserved and fragmentation is avoided;
 - (b) uses that require isolation from urban areas as a consequence of their impacts, such as lighting, noise, dust or odour, may be appropriate where land-use conflicts are minimised;
 - (c) rural lots are consolidated to reduce fragmentation to maintain the predominant form of rural use in the area;
 - (d) development reflects and responds to the natural features and constraints of the land;
 - (e) development other than a rural use is directly associated with the rural character of the zone;
 - (f) development is separated from natural features such as creeks, gullies, waterways, wetlands and areas of bushland are retained, managed, enhanced and separated from development where possible;
 - (g) adverse impacts of land use, both on-site and on adjoining areas, are avoided and any unavoidable impacts are minimised through location, design, operation and management;
 - (h) existing and future rural uses and activities are protected from the intrusion of incompatible uses.

6.2.19.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.19.3.a – Rural zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the amenity of adjoining premises and the rural character of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 11 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Setbacks	
<p>PO2 Buildings and structures are set back to:</p> <ul style="list-style-type: none"> (a) maintain the rural character of the area; (b) achieve appropriate separation from agricultural activities occurring on adjoining premises; (c) achieve separation from neighbouring buildings and from road frontages. 	<p>AO2.1 Buildings and structures are set back not less than:</p> <ul style="list-style-type: none"> (a) 40 metres from the frontage to a State-controlled road; (b) 10 metres from the frontage to a Major rural road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Uses and other development include those that:</p> <ul style="list-style-type: none"> (a) promote rural activities such as agriculture, rural enterprises and small scale industries that serve rural activities; (b) promote low impact tourist activities based on the appreciation of the rural character and landscape; (c) are compatible with rural activities or are capable of establishing in a rural setting within suitable buffers so that nearby rural activities are not compromised; (d) protect areas of environmental significance. 	<p>AO4.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Site coverage	
<p>PO5 The site coverage of buildings, structures and associated services does not have an intrusive effect on the rural or scenic values of the site.</p>	<p>PO5.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO7 Rural activities are protected from the intrusion of incompatible uses.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>PO8 Noise emissions and air quality impacts are compatible with an active and productive rural setting.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
<p>PO9 Traffic generation is compatible with an active and productive rural environment.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
Additional requirements for Rural workers' accommodation	
<p>PO10 Where for Rural workers' accommodation, accommodation is provided for workers employed on-site only.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>

6.2.20 Special purpose zone code

6.2.20.1 Application

- (1) This code applies to assessing development in the Special purpose zone.
- (2) When using this code, reference should be made to Part 5.

6.2.20.2 Purpose

- (1) The purpose of the Special purpose zone code is to provide for public uses that are owned or operated by a government, statutory authority, government owned corporation, local government or private organisation in the course of a public utility undertaking, such as a defence establishment, airport, sea port, rail line, rail station, or the provision of water supply, sewerage, electricity, gas, telecommunications, transport, drainage or other like services.

Development is buffered from encroachment by incompatible uses.

The zone may also provide for special development areas.

- (2) The local government purpose of the code is to facilitate the on-going operation of public utilities.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) special uses and works that are owned or operated by federal, state or local government are facilitated;
 - (b) development is located appropriately for the type of special purpose proposed and is generally consistent in scale, height and bulk with that of surrounding development;
 - (c) development reflects and responds to the natural features and constraints of the land;
 - (d) development does not affect the operational aspects of the Port of Cairns.

6.2.20.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.20.3.a –Special purpose code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the intended character of the area and the height of buildings does not adversely affect the amenity of residential neighbourhoods.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the height stated in AO1.1. Where a proposed development exceeds the height stated in AO1.1, the proposed</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
development will also be assessed against PO2.	
Setbacks	
<p>PO2 Buildings and structures are set back to ensure that they are compatible with the character of the area and do not adversely affect other uses, particularly sensitive land uses.</p>	<p>AO2.1 Buildings and structures are set back not less than: (a) 6 metres from the road frontage/s; (b) 4.5 metres from side and rear boundaries.</p>
<p>PO3 Car parking areas are set back from the boundaries of the site to ensure a high standard of amenity and to ensure that the amenity of residential land, residential uses and sensitive land uses are protected.</p>	<p>AO3.1 Car parking areas are set back not less than 2 metres from all boundaries.</p>
<p>PO4 The setbacks to car parking areas are landscaped to enhance the amenity of the site and to provide a buffer to residential land, residential uses and sensitive land uses.</p>	<p>AO4.1 The setback between the road frontage/s and the car parking area is landscaped in accordance with the Landscaping code.</p>
	<p>AO4.2 The setback between the boundary with land included in a residential zone and the car parking area is landscaped in accordance with the Landscaping code to provide a buffer to the residential land.</p> <p>Note – refer to the definition of Residential zones contained in Schedule 1.2.</p>
For assessable development	
Uses and other development	
<p>PO5 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>

6.2.21 Specialised centre zone code

6.2.21.1 Application

- (1) This code applies to assessing development in the Specialised centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.21.2 Purpose

- (1) The purpose of the Specialised centre zone code provides for one (or more) specialised uses.
- (2) The local government purpose of the code is to provide a focus for specialised activities and facilitate the effective on-going operation of these activities in particular precincts.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development provides for specific mix or type of activities;
 - (b) development complements the hierarchy of centres;
 - (c) development reflects and responds to the natural features and constraints of the land.

Specialised centre precinct 1 – Hospitals and allied medical

- (4) In addition to 6.2.21.2(3), the overall outcomes sought for the precinct are:
 - (a) a range of activities that support and strengthen the precinct as a place of medical and allied health activities are facilitated;
 - (b) supporting uses including education and research uses, staff accommodation, short term accommodation and limited centre activities and community uses that support employees and visitors are facilitated;
 - (c) development provides clear legibility within the precinct and identifies points of arrival/destinations at key public areas;
 - (d) development is designed to encourage public transport accessibility and walking and cycling.

Specialised centre precinct 2 – Showgrounds and major sports

- (5) In addition to 6.2.21.2(3), the overall outcomes sought for the precinct are:
 - (a) a wide variety of activities, including temporary uses, that are normally associated with regional showgrounds and major sporting facilities are facilitated;
 - (b) it is recognised that temporary uses may occasionally result in significant impacts in terms of attracting large volumes of people, noise and night time lighting amenity impacts.

Specialised centre precinct 3 – James Cook University

- (6) In addition to 6.2.21.2(3), the overall outcomes sought for the precinct are:
 - (a) a wide variety of activities associated with the university and its designation are facilitated;
 - (b) buildings and structures are located and designed to transition in height and their intended uses to the surrounding residential neighbourhoods to maintain the amenity of the surrounding area;
 - (c) the establishment of land uses is consistent with the Community infrastructure designation, Smithfield Local Plan or the continued and improved use of the land as a tertiary institution.

6.2.21.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.21.3.a –Specialised centre zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – The building height overlay code provides outcomes for height within Precinct 1 – Hospitals and allied medical.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1, AO1.2, AO1.3 or AO1.4. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p>	<p>AO1.1 Within Specialised centre precinct 2 - Showgrounds and major sports, buildings and structures are not more than 10 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>
	<p>AO1.2 Within Specialised centre precinct 2 - Showgrounds and major sports, structures for lighting are not more than 25 metres in height and do not include telecommunications facilities or low impact telecommunications facilities.</p> <p>Note – Height is inclusive of the roof height.</p>
	<p>AO1.3 Within Specialised centre precinct 2 – Showgrounds and major sports, structures for lighting are designed, constructed and operated in a manner which complies with: (a) AS4282-1997 Control of the obtrusive effects of outdoor lighting; (b) AS2560-2007 Sports lighting.</p>
	<p>AO1.4 Within Specialised centre precinct 3 – James Cook University, buildings and structures are not more than 15 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>
For assessable development	
Uses and other developments	
<p>PO2 Development is consistent with the purpose and overall outcomes sought for the zone and the outcomes sought for the relevant precinct.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO3 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>



Performance outcomes	Acceptable outcomes
Setbacks	
<p>PO4 Front building setbacks are consistent with the prevailing setbacks in the street.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>PO5 Side and rear building setbacks: (a) are appropriate to the scale of the development and the character of the locality; (b) are sufficient to minimise overshadowing and overlooking of adjoining premises; (c) provide adequate separation and buffering from sensitive land uses.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO6 Built form and scale is consistent with the role, function and character of the Specialised centre, and provides an appropriate interface with the scale and character of any nearby residential areas.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
<p>PO7 Any loading/unloading areas and outdoor storage areas are screened from public view or adjacent sensitive land uses.</p>	<p>AO7.1 Outdoor loading/unloading and storage areas are sited or screened so they are: (a) not visible from any off-site public place; (b) not located adjacent to premises used for a sensitive land use.</p>

6.2.22 Sport and recreation zone code

6.2.22.1 Application

- (1) This code applies to assessing development in the Sport and recreation zone.
- (2) When using this code, reference should be made to Part 5.

6.2.22.2 Purpose

- (1) The purpose of the Sport and recreation zone code is to provide for a range of organised activities that includes sport, cultural and educational activities where the uses require a level of built infrastructure.

It includes structures such as clubhouses, gymnasiums, public swimming pools, tennis courts, and other infrastructure to support recreational and sporting activities.

- (2) The local government purpose of the code is to recognise the importance of sport and recreation facilities to community liveability, health and well-being and to exclude uses that would compromise continuing sport and recreation activity.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas available for active sport and recreational uses such as playing fields, equestrian facilities, outdoor cultural facilities, educational activities, public swimming pools and outdoor courts are provided;
 - (b) development is supported by transport infrastructure that is designed to provide and promote safe and efficient public transport use, walking and cycling;
 - (c) impacts on adjacent areas from development and activities within the zone are managed through buffering, design, siting and operation of facilities and infrastructure;
 - (d) ancillary structures and buildings such as club houses, kiosks, shelters, stands, amenity facilities, picnic tables and playgrounds are provided where necessary;
 - (e) the viability of sport and recreation uses is protected by excluding development that could limit the ongoing operation of existing sport and recreation uses or prejudice appropriate new sport and recreation activities;
 - (f) development reflects and responds to the natural features and constraints of the land.

6.2.22.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.22.3.a – Sport and recreation zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1, AO1.2, AO1.3 or AO1.4. Planning scheme policy – Landscape values provides guidance on undertaking a</p>	<p>AO1.1 Buildings and structures other than pole structures are not more than 10 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p> <p>AO1.2 On a site greater than 5,000m², structures for lighting are not more than 25 metres in height</p>



Performance outcomes	Acceptable outcomes
<p>visual impact assessment.</p> <p>Note – The setbacks stated in AO2.1 correspond with the heights stated in AO1.1, AO1.2 and AO1.3. Where a proposed development exceeds the height stated in AO1.1, the proposed development will also be assessed against PO2.</p>	<p>and do not include telecommunications facilities;</p> <p>or</p> <p>AO1.3 On a site less than 5,000m², structures for lighting are not more than 8.5 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p> <p>AO1.4 Structures for lighting are designed, constructed and operated in a manner which complies with:</p> <ul style="list-style-type: none"> (a) AS4282-1997 Control of the obtrusive effects of outdoor lighting; (b) AS2560-2007 Sports lighting.
Setbacks	
<p>PO2 Buildings and structures are set back to ensure that they are compatible with the amenity of the area and do not adversely affect other uses, particularly sensitive land uses.</p>	<p>AO2.1 Buildings and structures are set back not less than:</p> <ul style="list-style-type: none"> (a) 10 metres from the frontage to a State-controlled road or existing or proposed Sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 6 metres from the frontage to any other road; (c) 6 metres from a boundary with land in a Residential zone; (d) 3 metres from a boundary with land in any other zone. <p>Note – refer to the definition of Residential zones contained in Schedule 1.2.</p>
<p>PO3 Car parking areas are set back from the boundaries of the site to ensure that they do not dominate the character of the site.</p>	<p>AO3.1 Car parking areas are set back not less than:</p> <ul style="list-style-type: none"> (a) 2 metres from the road frontage/s of the site; (b) 2 metres from side and rear boundaries.
<p>PO4 Setbacks to car parking areas are landscaped to enhance the amenity of the site and to provide a buffer to adjacent residential land, residential uses and sensitive land uses.</p>	<p>AO4.1 The setback between the road frontage/s and the car parking area is landscaped in accordance with the Landscaping code.</p> <p>AO4.2 The setback between the boundary with land included in a Residential zone and the car parking area is landscaped in accordance with the Landscaping code to provide a buffer to the residential land.</p> <p>Note – refer to the definition of Residential zones contained in Schedule 1.2.</p>

Performance outcomes	Acceptable outcomes
Operation	
<p>PO5 Development ensures that the hours of operation are consistent with reasonable community expectations for the use and do not impact on the amenity of nearby sensitive land uses.</p>	<p>AO5.1 Hours of operation are limited to 6.00am to 9.00pm.</p>
For assessable development	
Uses and other development	
<p>PO6 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO7 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.23 Tourism zone code

6.2.23.1 Application

- (1) This code applies to assessing development in the Tourism zone.
- (2) When using this code, reference should be made to Part 5.

6.2.23.2 Purpose

- (1) The purpose of the Tourism zone code is to provide for tourist localities or facilities located in urban, rural, environmental or coastal areas.
- (2) The local government purpose of the code is to provide for the continued operation of existing tourist attractions and facilities. New or expanding tourism development makes a positive contribution to the region.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development provides for the continued operation of existing tourist attractions and a range of other activities that are ancillary to and support tourist attractions;
 - (b) accommodation activities are provided at an appropriate scale and integrate with and enhance existing tourist attractions;
 - (c) development enhances and protects the unique local, scenic, cultural and historic character of the locality;
 - (d) development provides a high level of amenity, incorporating tropical architectural elements and building design features;
 - (e) development reflects and responds to the natural features and constraints of the land;
 - (f) development minimises impacts such as traffic, noise, dust, odour, and lighting.

6.2.23.3 Criteria for assessment

Part A - Criteria for assessable development

Table 6.2.23.3.a – Tourism zone code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character and amenity of the area.</p> <p><small>Note – A visual impact assessment may be required to demonstrate compliance with the performance outcome. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</small></p>	<p>AO1.1 No acceptable outcomes are provided.</p>
Uses and other development	
<p>PO2 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
Setbacks	
<p>PO3 Buildings and structures are set back to:</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
(a) establish a high standard of amenity; (b) achieve separation from adjoining premises.	
Site constraints	
<p>PO4 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO5 Development does not adversely affect the character and amenity of the area and adjoining areas in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

6.2.24 Tourist accommodation zone code

6.2.24.1 Application

- (1) This code applies to assessing development in the Tourist accommodation zone.
- (2) When using this code, reference should be made to Part 5.

6.2.24.2 Purpose

- (1) The purpose of the Tourist accommodation zone code is to provide for short-term accommodation supported by community uses and small-scale services and facilities in locations where there are tourist attractions.
- (2) The local government purpose of the code is to provide for multiple dwellings and the establishment of short-term accommodation that has a tropical design and character.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) short-term accommodation is provided at a scale, density and in locations that service tourist needs;
 - (b) a range of accommodation activities is established at a scale and density to service local and tourist needs;
 - (c) development provides a high level of amenity taking into account impacts such as traffic, noise, dust, odour, and lighting;
 - (d) development facilitates opportunities for establishing tourist facilities and services within, or adjacent to, tourist accommodation to complement the tourist accommodation and enhance the attractiveness of tourist areas;
 - (e) development provides a high level of amenity, incorporating tropical architectural elements and building design features;
 - (f) development reflects and responds to the natural features and constraints of the land;
 - (g) community facilities, open space and recreational areas and appropriate infrastructure to support the needs of the local community are provided.

Tourist accommodation precinct 1 – Islands

- (4) In addition to 6.2.24.2 (3), the overall outcomes sought for the precinct are:
 - (a) development is subservient to the natural landscape;
 - (b) development ensures that there are no adverse effects on the natural qualities and values of the precinct.

6.2.24.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.24.3.a – Tourist accommodation zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of all buildings and structures is in keeping with the tourist and residential character and amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1 or AO1.2. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO2.1 and AO2.2 corresponds with the heights stated in AO1.1 and AO1.2. Where a proposed development exceeds the height stated in AO1.1 or AO1.2, the proposed development will also be assessed against PO2.</p>	<p>AO1.1 Buildings and structures are not more than 15metres and 4 storeys in height;</p> <p>or</p> <p>AO1.2 Within Tourist accommodation precinct 1 – Islands, building and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Site coverage	
<p>PO2 The site coverage of all buildings and structures is in keeping with the tourist and residential character and amenity of the area.</p>	<p>AO2.1 The site coverage is not more than 50%.</p> <p>or</p> <p>AO2.2 Where for Multiple dwellings, the site coverage is not more than 40%.</p>
For assessable development	
Uses and other development	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone and the outcomes sought for the relevant precinct.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Non-residential uses that serve the local community are established in appropriate locations and subject to detailed development requirements including:</p> <ul style="list-style-type: none"> (a) being located in highly accessible locations; (b) their proximity with other similar uses; (c) providing for the identified convenience needs of the local community; (d) not impacting on the role and function of the hierarchy of centres within the region; (e) resulting in positive economic and social benefits for the local community; (f) small scale extensions to existing non-residential uses. 	<p>AO4.1 No acceptable outcomes are provided.</p>



Performance outcomes	Acceptable outcomes
Setbacks	
<p>PO5 Buildings and structures are set back to: (a) maintain the character of the area; (b) achieve separation from neighbouring buildings and frontages.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Site constraints	
<p>PO6 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO7 Development does not adversely affect the tropical, tourist and residential character and amenity of the area in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

6.2.25 Township zone code

6.2.25.1 Application

- (1) This code applies to assessing development in the Township zone.
- (2) When using this code, reference should be made to Part 5.

6.2.25.2 Purpose

- (1) The purpose of the Township zone code is to provide for small to medium size urban settlements located in a rural or coastal area.

Development provides for a mix of uses including residential, retail, business, education, industrial, community purpose, recreation and open space that support the needs of the local community.

Facilities such as tourist attractions and short-term accommodation may be appropriate.

- (2) The local government purpose of the code is to provide flexibility in zoning to facilitate appropriate development and promote opportunities in the smaller townships in the region, particularly where it is much more difficult to anticipate, plan and zone for a range of uses that may be compatible within a township and the surrounding rural area.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a range of land uses are provided which directly supports and services residents and visitors of the township and surrounding rural area;
 - ~~(b)~~ development protects and enhances the unique local character of a town;
 - (c) development provides a high level of amenity;
 - (d) community facilities and infrastructure that directly support the local community are facilitated;
 - (e) development has access to appropriate development infrastructure and essential services;
 - (f) the location and type of industrial development is carefully considered to mitigate impacts on sensitive land uses;
 - (g) development reflects and responds to the natural features and constraints of the land.

6.2.25.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.25.3.a – Township zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Uses and other development	
PO1 Development is consistent with the purpose and overall outcomes sought for the zone.	AO1.1 A use identified in Table 6.2.25.3.b: <ol style="list-style-type: none"> (a) is carried out in an existing building; (b) does not increase the GFA of the building; (c) is a single tenancy only.

Performance outcomes	Acceptable outcomes
Height	
<p>PO2 The height of buildings and structures are consistent with the character of the township.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO2.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated in AO3.1 and setbacks stated in AO4.1, AO5.1 and AO5.2 correspond with the height stated in AO2.1. Where a proposed development exceeds the height stated in AO2.1, the proposed development will also be assessed against PO3, PO4 and PO5.</p>	<p>AO2.1 Buildings are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
Site coverage	
<p>PO3 Site coverage of all buildings: (a) does not result in a built form that is bulky or visually obtrusive to the streetscape; (b) respects the individual character of the township.</p>	<p>AO3.1 The site coverage is not more than 60%.</p>
Setbacks	
<p>PO4 Front building setbacks are consistent with the prevailing front setbacks in the street.</p>	<p>AO4.1 New buildings are built within 20% of the average front setback of adjoining buildings.</p>
<p>PO5 Side and rear setbacks: (a) are appropriate for the scale of the development and the character of the township; (b) provide adequate daylight for habitable rooms on adjoining premises; (c) provide adequate separation between residential and non-residential uses.</p>	<p>AO5.1 Buildings are set back not less than 1.5 metres from side boundaries.</p>
	<p>AO5.2 Buildings are set back not less than 6 metres from rear boundaries.</p>
For assessable development	
Uses and other development	
<p>PO6 Activities compatible with the Township zone include those that: (a) do not compromise the hierarchy of centres in the region; (b) service local and visitor needs of the township and its surrounding catchment; (c) complements the scale and character of the township; (d) maintain the main street character of townships.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
<p>PO7 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

Performance outcomes		Acceptable outcomes
Site constraints		
<p>PO8 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>	
Main street designs		
<p>PO9 Building design, streetscapes and pathways and are designed to promote integration with surrounding developments and other parts of the township.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>	
<p>PO10 Buildings complement the character of the individual townships.</p>	<p>AO10.1 Buildings exhibit variations in their appearance to add visual interest through a combination of the following: (a) a variation of wall finishes, window treatments, balconies, awnings or other visible structural elements; (b) differentiation between upper and lower levels portions of the building; (c) traditional parapet designs provided to façades.</p>	
<p>PO11 Building plant or equipment cannot be viewed from public places.</p>	<p>AO11.1 Where plant or equipment is visible from public places, it is appropriately screened from the view using a design feature.</p>	
Parking and access		
<p>PO12 Off street parking and vehicular access are designed and located to not detract from the character of the township.</p>	<p>AO12.1 No acceptable outcomes are provided.</p>	

Table 6.2.25.3.b — Self-assessable interchangeable uses in compliance with AO1.1

Interchangeable uses		
<p>ÿ Food and drink outlet (where not involving a drive through facility)</p>	<p>ÿ Health care services ÿ Office</p>	<p>ÿ Shop (>100m²) ÿ Service industry</p>

6.2.26 Waterfront and marine industry zone code

6.2.26.1 Application

- (1) This code applies to assessing development in the Waterfront and marine industry zone.
- (2) When using this code, reference should be made to Part 5.

6.2.26.2 Purpose

- (1) The purpose of the Waterfront and marine industry zone code is to provide for uses for which a location adjoining or near the waterfront or a marine environment is essential.

It may include non-industrial and business uses that support the industrial activities where they do not compromise the long-term use of the land for industrial purposes.

- (2) The local government purpose of the code is to ensure that land included within this zone is used for marine orientated industries rather than general forms of industry activities or other incompatible land uses.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) marine industry uses are designed and managed to maintain safety of people and to avoid adverse impacts on the natural environment;
 - (b) development reflects and responds to the natural features and constraints of the land;
 - (c) lot sizes are of a sufficient size to cater for a range of waterfront and marine industrial activity;
 - (d) existing and future marine industry uses and operations are protected from the intrusion of incompatible uses;
 - (e) development does not affect the operational aspects of the Port of Cairns.

6.2.26.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 6.2.26.3.a – Waterfront and marine industry zone code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Height	
<p>PO1 The height of buildings and structures is compatible with the character of the area and does not adversely affect the amenity of the area.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – The site coverage stated within AO1.1 and the setbacks stated in AO2.1 of the Industry design code correspond with the height stated in AO1.1 of this code. Where a proposed development exceeds the height stated in AO1.1 of this code, the proposed development will also be assessed against PO1 and PO2 of the Industry design code.</p>	<p>AO1.1 Buildings and structures are not more than 20 metres in height.</p> <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>PO2 Development does not adversely impact on visibility of the aids to navigation marking the shipping channel.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>For assessable development</p>	
<p>Uses and other development</p>	
<p>PO3 Development is consistent with the purpose and overall outcomes sought for the zone.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Non-industry activities compatible with the Waterfront and marine industry zone include those that:</p> <ul style="list-style-type: none"> (a) do not compromise the operations of medium impact industry uses; (b) do not compromise the hierarchy of centres in the region; (c) complement waterfront and marine industry activities; (d) require large land holdings and/or buildings; (e) adequately cater for the individual car parking needs; (f) provide a service to the nearby workforce. 	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>Site constraints</p>	
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note – Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

Part 7 Local plans

7.1 Preliminary

- (1) Local plans address matters at the local or district level and may provide more detailed planning for the zones.
- (2) Local plans are mapped and included in Schedule 2.
- (3) A precinct may be identified for part of a local plan.
- (4) The levels of assessment for development in a local plan are in Part 5.
- (5) Assessment criteria for local plans are contained in a local plan code.
- (6) Each local plan code identifies the following:
 - (a) the application of the code;
 - (b) the purpose of the code;
 - (c) the overall outcomes that achieve the purpose of the code;
 - (d) the performance outcomes of the code;
 - (e) the acceptable outcomes of the code.
- (7) The following are the Local plan codes for the planning scheme:
 - (a) 7.2.1 Babinda local plan code;
 - (i) Precinct 1 – Munro Street;
 - (ii) Precinct 2 – Mill re-development;
 - (b) 7.2.2 Cairns city centre local plan code;
 - (i) Precinct 1 – City centre core;
 - (A) Sub-precinct 1a – Shields Street;
 - (ii) Precinct 2 – City centre frame;
 - (c) 7.2.3 Earlvile local plan code;
 - (i) Precinct 1 – Earlvile core;
 - (ii) Precinct 2 – Earlvile frame;
 - (iii) Precinct 3 – Cannon Park;
 - (d) 7.2.4 Edmonton local plan code;
 - (i) Precinct 1 – Edmonton centre core;
 - (ii) Precinct 2 – Edmonton centre frame;
 - (iii) Precinct 3 – Community health;
 - (iv) Precinct 4 – Urban consolidation;
 - (e) 7.2.5 Edmonton industry and business local plan code;
 - (i) Precinct 1 – Business, trades and service employment;
 - (ii) Precinct 2 – Industry employment;
 - (iii) Precinct 3 – Transport and high impact industries;
 - (iv) Precinct 4 – Mixed use centre;
 - (v) Precinct 5 – Existing employment;
 - (vi) Precinct 6 – Existing community;
 - (vii) Precinct 7 – High impact sports;
 - (viii) Precinct 8 – Future investigation;
 - (f) 7.2.6 Gordonvale local plan code;
 - (i) Precinct 1 – Town centre;
 - (ii) Precinct 2 – Maher Road;
 - (iii) Precinct 3 – Riverstone Road;
 - (iv) Precinct 4 – Draper Road;
 - (v) Precinct 5 – Mill;
 - (g) 7.2.7 Mount Peter local plan code;
 - (i) Precinct 1 – Conservation;
 - (ii) Precinct 2 – Cooper Road;
 - (iii) Precinct 3 – Maitland Road;

- (iv) Precinct 4 – Future urban communities;
- (h) 7.2.8 Smithfield local plan code;
 - (i) Precinct 1 – Smithfield Major centre;
 - (A) Sub-precinct 1a – Smithfield Shopping Centre;
 - (B) Sub-precinct 1b – Employment;
 - (ii) Precinct 2 – James Cook University;
 - (iii) Precinct 3 – Future employment;
 - (A) Sub-precinct 3a – Future mixed use area;
 - (B) Sub-precinct 3b – Future retail and commercial area;
 - (iv) Precinct 4 – Residential communities.

7.2 Local plan codes

7.2.1 Babinda local plan code

7.2.1.1 Application

This code applies to assessing development within the Babinda local plan area shown on the Babinda local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.1.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Babinda local plan code.

Babinda is the southernmost District centre in the Cairns region. The local plan contains an area of approximately 650 hectares, including the township of Babinda and is situated approximately 60 kilometres south of Cairns City.

The township is situated in the narrow corridor between the Graham Range to the east and the Bellenden Ker Range to the west, both of which are steep and covered in dense tropical rainforest. The floor of the inter-range plain and the land surrounding Babinda is used for sugar cane cultivation. Babinda developed through the expansion of the sugar industry in the early decades of the twentieth century.

The township has a population of approximately 1070 people (2011 census) and primarily services the needs of the surrounding rural communities with a commercial function that is aligned with rural services and industries. The commercial focus of the town is on the 'main Street precinct' of Munro Street (as identified on the Babinda local plan maps contained in Schedule 2).

Babinda is an attractive rural town providing important district level commercial, community, social and recreational facilities to service the needs of its resident population as well as the needs of the surrounding rural areas. Babinda is characterised by its rural setting, traditional Streetscape, mountainous backdrop and proximity to Wooroonooran National Park and the Wet Tropics World Heritage Area. To the west of the township is the Boulders swimming hole, a popular recreation area for both tourists and residents. The town is a popular destination for tourists.

The area has a wet tropical climate, with the township recording an average annual rainfall over 4000mm and is noted for being the wettest town in Australia. The backdrop to the township is dominated by the steep, forested hillslopes of the Bellenden Ker range; vistas to this range are afforded from most areas of the town. The township is noted for its proximity to Queensland's two highest mountains; Mount Bellenden Ker and Mount Bartle Frere. Babinda creek and its multiple tributaries, including Weinert creek and Christian creek, traverse the local plan area. The high average annual rainfall of the region, combined with the steep catchments results in parts of the area being subject to flooding.

Much of the township's character is derived from its village feel, history as a sugar town, its valued buildings and places, rural setting and proximity to the mountain ranges. Many of the town's existing dwellings, commercial and community buildings have been identified as places of local significance. Eastwood Street, located to the immediate south of the Munro Street precinct has been identified as a Neighbourhood character precinct. Neighbourhood character precincts are subject to built form guidelines to ensure that additions to or new buildings are consistent with the scale and built form of existing buildings. Valued buildings within these precincts and places of local significance are to be retained to assist in maintaining the character of the township.

The viability of the township, particularly its commercial viability, has been affected by changes in society and by the relative proximity of the township to the urban areas of the region. Babinda is to continue as a township servicing the sugar industry and other primary industries of the wider area. Babinda is well serviced by physical infrastructure. Residential growth within Babinda can be accommodated by some minor upgrades and augmentation of existing infrastructure networks.

The local plan area is dissected by the Bruce Highway and the North Coast rail line. These transit routes provide a physical barrier between the east and west of the local plan area. Access between the two precincts is achieved at two points; Munro Street and Christian Street. The Babinda rail station and associated water tank are focal points of the town and vistas to these structures, in particular from the Bruce Highway, should be maintained.

The western side of the local plan area contains the main Street of Babinda, Munro Street, and the Babinda Hospital, St Rita's School, the Babinda state School, the Mill re-development precinct (the former mill site), the majority of Babinda's residential precincts and the area for residential, commercial and industrial expansion. The western area extends to the forested foothills of the Bellenden Ker range.

The eastern side contains a strip of residential development, fronting Howard Kennedy drive. The land fronting Howard Kennedy drive is generally for residential purposes. However, in addition to residential dwellings the area contains a mix of existing non-residential land uses. Within this area there is a higher tolerance for interspersing non-residential development and there will be greater flexibility for non-residential uses, provided the impacts of such development are addressed and managed on-site and development does not detract from the commercial primacy of the Munro Street precinct.

The eastern site of the local plan area also contains the Rotary Park camp area, the Council depot and the Babinda railway station. The eastern boundary of the local plan area is formed by the interface with productive agricultural land and Babinda creek. No expansion of Babinda is intended on this side of the Bruce Highway.

The focal point for public sport and recreation and community facilities is to the south of the township at Bill Wakeham Park which provides football fields, the showground and community hall.

It is intended that there be a relatively flexible approach to the development of commercial and service activities and tourist attractions and accommodation in order to strengthen the viability of the township whilst maintaining the primacy of commercial activities within the Munro Street precinct.

The township is based on a traditional main Street with a surrounding grid pattern for development. New development should continue the traditional grid pattern. Residential expansion within the local plan area can be accommodated within 'Site A' and 'Site B' as identified on the Babinda local plan maps contained in Schedule 2. Urban development is limited to land within the urban boundary. Should the need for further residential expansion arise within the life of this scheme, 'Site C' could be investigated for residential purposes subject to a detailed investigation of need, infrastructure capacity and on-site constraints.

Precinct 1 - Munro Street

Munro Street precinct is the core of the local plan area. Future development in this precinct should reinforce this function. Development outside of the Munro Street precinct should not detract from the commercial viability of the precinct. If the demand for additional commercial land arises, once the Munro Street precinct has been developed to capacity, it could be extended to the west.

Development is to be appropriately designed and is integrated with the heritage places and character precinct. Heritage places are to be retained through adaptive re-use of existing buildings. New development maintains the scale of the surrounding area and may be up to two storeys in height. New buildings fronting Munro Street are to be constructed to the front boundary and be sympathetic to the existing Streetscape and traditional character. Any off-Street parking provided in conjunctions with development is to be located behind the built form. Awnings, for weather protection for pedestrians are provided to Munro Street.

Precinct 2 - Mill re-development

The Mill re-development precinct is the former Babinda Mill site as identified on the Babinda local plan maps contained in Schedule 2. The Mill re-development precinct is subject to a preliminary approval, issued on 25 May 2013 and as referenced within Schedule 4. The precinct includes zoned industrial land and is intended to facilitate employment opportunities. Development within the Mill re-development precinct does not detract from the commercial primacy of the Munro Street precinct.

The former mill workers houses should be retained on large lots and could be used for more intensive home based businesses, including those of an industrial nature. The remainder of the site is intended to be used for industrial development which services the town and surrounding rural area's industry and service industry needs. Industries established on this site are to be non-water reliant as the existing infrastructure is insufficient to support intensive or water reliant uses, alternatively, new water reliant industries do not rely upon Council infrastructure. New industrial uses should be aligned with servicing the surrounding agricultural and rural uses. Appropriate buffers are required to be provided on-site to mitigate any adverse impacts from development on adjoining or nearby residential allotments. Advertising should be discrete and not detract from the scenic amenity of the area or existing vistas.

7.2.1.3 Purpose

- (1) The purpose of the Babinda local plan code is to facilitate development that maintains and enhances a vibrant and independent community which supports the needs of the local community and surrounding rural areas, whilst protecting and enhancing the unique local and historic character of the town.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development maintains and reinforces the commercial primacy of Precinct 1 - Munro Street;
 - (b) development maintains the key built form, streetscape, landscape character and natural environment elements that contribute to the setting, character and identity of the township;
 - (c) development maintains and enhances the unique local character of the township;
 - (d) valued community buildings and places are retained and adaptively re-used to preserve the character of the township;
 - (e) the form and scale of development is low impact with buildings that are low rise;
 - (f) residential development occurs within designated areas to consolidate Babinda as a permanent residential settlement with residential areas having good access to services and facilities;
 - (g) lot reconfiguration provides a street layout that is based on a traditional grid pattern;
 - (h) conflicts between different land uses, such as residential, commercial, agricultural, and industrial land uses are minimised;
 - (i) industrial development is facilitated within zoned land and industrial land is protected from encroachment of incompatible land use activities.

Precinct 1 - Munro Street:

- (3) In addition to 7.2.1.3(2), the overall outcomes sought for the precinct are:
 - (a) development in the precinct supports the role and function of Babinda as a District centre, meeting the needs of the local community and surrounding rural areas;
 - (b) the establishment of mixed uses which enhance the rural town character and rural service centre role of the town is encouraged;
 - (c) development services the needs of both local residents, residents of the surrounding rural area and visitors;
 - (d) development maintains and enhances the streetscape of the precinct.

Precinct 2 – Mill re-development:

- (4) In addition to 7.2.1.3(2), the overall outcomes sought for the precinct are:
- (a) development in the precinct accommodates the town’s and surrounding rural area’s immediate industry and service industry needs;
 - (b) industry land uses are low-impact and are not excessively reliant upon reticulated water supply;
 - (c) the type of industrial development is carefully considered to mitigate impacts on sensitive land uses.

7.2.1.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.1.4.a – Babinda local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
<p>PO1 Development contributes to the establishment of an attractive streetscape and sense of arrival to Babinda.</p>	<p>AO1.1 Development adjacent to the gateway site identified on the Babinda local plan maps contained in Schedule 2, incorporates aesthetic treatments, landscaping and other design elements to enhance the sense of arrival to Babinda.</p> <p>Note – Refer to the definition of Gateway site contained in Schedule 1.2.</p>
<p>PO2 Development for a service station does not include a Food and drink outlet that involves a drive through facility.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
Lot reconfiguration – general	
<p>PO3 Lot reconfigurations which include the delivery of new roads are designed to be consistent with the traditional road pattern.</p>	<p>AO3.1 Roads are laid out in a grid pattern.</p>
Additional requirements for Precinct 1 – Munro Street	
<p>PO4 Development in the Munro Street precinct:</p> <ul style="list-style-type: none"> (a) compliments the existing built form and streetscape character of Munro Street; (b) has a building height consistent with adjoining buildings; (c) reinforces the main street character of Munro Street. <p>Note – Where a proposed development exceeds the height stated in AO4.1, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO4.1 Development in the Munro Street precinct:</p> <ul style="list-style-type: none"> (a) is constructed with a 0 metre setback from street frontages; (b) has a maximum height of 8.5 metres and 2 storeys; (c) provide a ground level facade which consists of windows, wall openings or shopfronts; (e) includes windows and balconies on upper levels facing the street; (f) locates air conditioning plant at the rear of the building and is screened from the street frontage and public views by architectural features. <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>PO5 Development enhances pedestrian comfort and connectivity.</p>	<p>AO5.1 Development provides continuous pedestrian weather protection over the footpath which: (a) is non-transparent; (b) is cantilevered from the building and where posts are used, the posts are non-load bearing; (c) includes under awning lighting; (d) is consistent with other pedestrian awnings within the precinct.</p>
<p>PO6 Development provides on-site car parking and vehicular access which does not dominate the streetscape.</p>	<p>AO6.1 On-site car parking is located behind existing or new buildings.</p>
	<p>AO6.2 Vehicular access to on-site parking and manoeuvring areas does not dominate the streetscape and is provided from streets other than Munro Street, where alternative access arrangements can be achieved.</p>
<p>PO7 Places of local significance are retained and adaptively re-used.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>Additional requirements for Precinct 2 – Mill re-development</p>	
<p>PO8 Development: (a) does not detract from the scenic backdrop; (b) is screened from existing and future residential areas by landscaping and provides appropriate buffering.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
<p>Additional requirements for reconfiguring a lot in the Low density residential zone</p>	
<p>PO9 Lot reconfigurations in the Low density residential zone are of sufficient area and dimensions to: (a) accommodate land uses that are consistent with the purpose and overall outcomes of the zone; (b) protect environmental features and take into account on and off site constraints; (c) be consistent with existing lot sizes in the surrounding area.</p>	<p>AO9.1 Lots have a minimum lot size of 800m².</p>
<p>Additional requirements for Reconfiguring a lot in Precinct 2 – Mill re-development</p>	
<p>PO10 Lot reconfigurations in Precinct 2 – Mill re-development are of sufficient area and dimensions to: (a) accommodate the intended land uses; (b) be consistent with existing lot sizes in the surrounding area.</p>	<p>AO10.1 Lots have a minimum lot size of 2,000m².</p>

7.2.2 Cairns city centre local plan code

7.2.2.1 Application

This code applies to assessing development within the Cairns city centre local plan area as shown on the Cairns city centre local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.2.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Cairns city centre local plan code.

The Cairns city centre is the principal regional centre for the Far North Queensland region. It contains the largest and most diverse concentration of urban activities and is the key regional focus of employment, government, administrative, retail, commercial and specialised services. The centre is supported by key regional infrastructure including the Cairns Airport, Port of Cairns, Cairns Base Hospital and Cairns Private Hospital which form part of a medical precinct.

The city centre remains the dominant centre for office based employment and the location for head offices and government agencies. Development which adds to the activity and vitality of the city centre is encouraged. The city centre has the advantage of an active and vibrant night economy, which is supported by tourist activity. This is a great strength which needs to be supported and expanded. Additional permanent residential development is encouraged to complement the tourist activity.

The city and land on which it stands has a diverse history through its Indigenous, European and migrant history. There is a rich array of local stories that can be interpreted into the design of new developments and provision of public art. Many places of local significance and state heritage places are located within the city.

Cairns city has the opportunity to be an exemplar of tropical urbanism creating a built environment that is uniquely tropical in both the streetscape and through the urban design and built form response. The design of buildings and the creation of high quality urban places is a priority of this code. Key view corridors to the Trinity Inlet and the forested backdrop should be retained. The Esplanade and lagoon area, including Fogarty Park, is a vibrant public place utilised for recreation and entertainment.

In recent years new development has established on the edge of the city centre with a natural drift of activity towards Trinity Inlet. This has created a reduced level of activity between the centre and the edges. The urban structure of the city needs to be more compact and key destinations better linked through a clear public space structure. The Cairns City Centre Master Plan provides a clear public space structure for the City, the City triangle, which connects the three key corner anchors of the City with green spines. The corner anchors include Cairns Central which is a key retail node, the Cairns Esplanade which is a key recreational and leisure node and City Port, a key waterfront precinct.

The city centre local plan is made up of a city centre core precinct and a city centre frame precinct. The city centre core is to contain the tallest development with the greatest mix of uses and the highest degree of active frontages to ground floors. Activity needs to be encouraged in the city centre through a diversification of uses that build on the traditional strengths to establish a 24 hour economy. It is important to encourage a lively city centre with a focus on higher order development and being the economic hub of the region. It is a desired outcome to achieve a walkable city through high quality streetscapes with developments fronting the streetscape being provided at a human scale with a street canopy providing shelter for pedestrians from the elements. The street canopy is an architectural expression of the natural rainforest phenomenon. Predominantly Cairns city is developed and future growth of the city centre will primarily occur through infill and redevelopment of existing sites.

The city centre has the highest potential for transit oriented development as it contains a wide mix of uses, including high density residential and employment uses, a bus transit station and has good public transport connections to all parts of the city. The long distance rail service is important and should remain well integrated with city centre activities and bus services. Connections to the Cairns Airport are also important and the current ease of access should be maintained.

The city centre frame is to compliment and support the primacy of the city centre through high density development and mixed use development. The frame also provides a transition between the core and the surrounding suburbs, port operations and tourist areas.

Trinity inlet, on the south eastern periphery of the local plan area, provides for the operations of the Port of Cairns, including the Cairns Cruise Liner Terminal and Cityport. This land is identified as Strategic port land and is subject to the Far North Queensland Ports Corporation Land Use Plan which is a statutory document. The Far North Queensland Ports Corporation Land Use Plan describes the land use intent and development outcomes for the Cityport area, defining the use, character and form of development within the area. It is important that public access to the foreshore and banks of Trinity Inlet continues and where possible is improved.

The local plan is to support the long term prosperity, primacy and quality of the Cairns city.

7.2.2.3 Purpose

- (1) The purpose of the Cairns city centre local plan code is to strengthen and reinforce the role and function of the Cairns city centre as the Principal centre for Cairns and the Far North Queensland region by:
 - (a) providing for the highest order retail, commercial, employment, residential, administrative, community, cultural, recreation and entertainment activities;
 - (b) promoting transit oriented development through a well-connected and integrated city centre;
 - (c) promoting tropical urbanism through high quality built form and urban places;
 - (d) protecting the rich character and heritage of the city and its distinctive tropical identity.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the widest range and most diverse mix of the highest order retail, commercial, employment, residential, administrative, community, cultural, recreational and entertainment activities are established within the local plan area;
 - (b) development creates an attractive, comfortable, active, safe and responsive public realm that defines street character and activity, and which provides for the 'city in a rainforest' street environment;
 - (c) development above podium level is appropriately set back from the street frontage and site boundaries to:
 - (i) maintain the character and amenity of the streetscape;
 - (ii) maintain view lines and vistas to the mountains and the ocean along the streets, between developments and to and from public places;
 - (iii) provide appropriate separation between buildings on the same site or adjoining sites.
 - (d) development interacts with and contributes to a sense of local identity;
 - (e) development contributes to a well-connected and integrated city that is strengthened by activity and a connected network of pedestrian pathways, arcades and laneways, cycle routes and public transport;
 - (f) development contributes to an inclusive, active, healthy and engaged community with a high level of access to social, cultural and community services, infrastructure and facilities;

- (g) development is characterised by high quality urban design that responds to the tropical climate and complements adjoining and nearby development to achieve an appropriate and memorable cityscape and streetscape form;
- (h) development demonstrates tropical urbanism through:
 - (i) providing a high standard of design reflective of the qualities of good urban places;
 - (ii) buildings and structures by their design and setting reflect the concept of a 'city in a rainforest';
 - (iii) appropriate use of materials and landscaping;
 - (iv) provision of shading to all facades to improve occupant amenity and the appearance of the building;
- (i) development is designed to minimise conflict between existing and proposed uses;
- (j) development addresses the street, and provides active and articulated frontages of a human scale and includes uses that encourage interaction with the street;
- (k) finished floor levels are constructed as close as possible to the footpath level having regard to potential flooding and storm tide constraints. Any transition in height from the footpath to finished floor level occurs within the site and not the road reserve;
- (l) cultural and historic attributes are maintained; on places of local significance, buildings within neighbourhood character areas, and by conserving state heritage places within the local plan area;
- (m) development allows for views to and from prominent and important city landmarks and retains and enhances vistas to the mountain ranges, ocean and the Esplanade;
- (n) footpaths are provided with continuous shelter that provides protection to pedestrians from sun and rain;
- (o) landscape treatment at street, podium and tower components of development, is of a high standard that reflects and reinforces the tropical image of the region;
- (p) the location and design of infrastructure, vehicular access, waste and recyclable materials collection and service vehicle access does not adversely impact:
- (q) the safe movement of pedestrians, cyclists and adjacent road traffic;
- (r) the provision of continuous facades and active frontages or the amenity of the streetscape;
- (s) the provision of a continuous street canopy over the footpath at street level.
- (t) vehicle parking areas are integrated within or behind buildings to ensure they are not visual features of the local plan area;
- (u) high quality public transport facilities are provided at key locations;
- (v) appropriately scaled public art and cultural infrastructure is provided;
- (w) development contributes to establishing a defined edge between Precinct 1 – City centre core, Precinct 2 - City centre frame and sites situated outside the City centre local plan area;
- (x) the operational aspects of the Cairns Airport and Port of Cairns are protected.

Precinct 1 – City centre core

- (3) In addition to 7.2.2.3(2), the overall outcomes sought for the precinct are:
 - (a) Precinct 1 – City centre core contains the following sub-precinct:
 - (i) Sub-precinct 1a – Shields Street;
 - (b) built form and building height reinforces the prominence of the city centre as the Principal centre;
 - (c) development provides a street canopy over the footpath at street level;
 - (d) active frontages are established for the full frontage of buildings located on the streets identified on the Cairns city centre local plan maps contained in Schedule 2;
 - (e) vehicular crossovers are located to reinforce the pedestrian priority to city centre streets and continuous active frontages, in particular through the use of rear

- laneways, where available;
- (f) development within the precinct provides uses that support a 24 hour economy;
- (g) where development fronts two north - south streets, intra-block pedestrian connection is provided;
- (h) residential buildings within the precinct provide for higher density living opportunities above ground level to facilitate active frontages at the street level.
- (i) the pedestrian scale streetscape and view lines of Precinct 1a - Shields street are maintained.

Precinct 2 – City centre frame

- (4) In addition to 7.2.2.3(2), the overall outcomes sought for the precinct are:
 - (a) Precinct 2 – City centre frame contains the following sub-precinct:
 - (i) Sub-precinct 2a – City centre frame (Building height)
 - (b) provides for a transition of building form from Precinct 1 – City centre core of the local plan to sites outside of the local plan area;
 - (c) development which establishes within the Precinct 2 - City centre frame maintains the primacy of Precinct 1 – City centre core;
 - (d) development within the precinct compliments Precinct 1 – City centre core through predominantly residential and tourist accommodation uses;
 - (e) development provides a street canopy over the footpath at street level;
 - (f) development provides public access to the waterfront;
 - (g) development provides high quality landscaping.

Note – Planning Scheme Policy – Tropical urbanism provides guidance on appropriate design and achieving the purpose and outcomes of this code.

Note – The Ports North Land Use Plan has statutory effect over parts of the City centre local plan area. The Far North Queensland Ports Corporation Land is identified on the Zone maps and City centre local plan maps contained in Schedule 2. Queensland Ports Corporation Land is subject to the provisions of Part 10 - Other plans.

7.2.2.4 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 7.2.2.4.a – Cairns city centre local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Centre role and function	
<p>PO1 Development supports the role and function of Cairns city centre as the Principal centre for Cairns and the Far North Queensland region by accommodating the highest order, widest range, most diverse mix and highest density of commercial, business, retail, recreational, entertainment, residential and tourist development.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
<p>PO2 The establishment of uses is consistent with the purpose and overall outcomes sought for the local plan area.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Conflicts between proposed and existing developments are minimised through location, design and operation.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>PO4 Development:</p> <ul style="list-style-type: none"> (a) reinforces the city centre as the area accommodating the highest intensity of development; (b) protects and enhances the image and tropical character of the city centre; (c) respects the character, heritage values and amenity of the area; (d) does not affect the operational aspects of the Cairns Airport and Port of Cairns. 	<p>AO4.1 No acceptable outcomes are provided.</p>
Site requirements	
<p>PO5 The site contains sufficient area and is of suitable shape to accommodate all aspects of the proposed development.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
<p>PO6 The height of buildings and structures reinforces Precinct 1 – City centre core as the area accommodating the highest intensity of development. The height of buildings and structures within Precinct 2 – City centre frame provides for a transition between the building height and form of the local plan area to surrounding areas.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p> <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO6.1, 6.2, 6.3, or 6.4. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – Where a proposed development exceeds the height stated in AO6.1, AO6.2, AO6.3 or AO6.4, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO6.1 Where on a site with an area of 1000m² or greater and within Precinct 1 – City centre core or Sub-precinct 1a – Shields Street, the height of any building or structure is not more than the corresponding height of the Obstacle limitation surface as identified on the Airport environs overlay map contained in Schedule 2.</p>
	<p>AO6.2 Where on a site with an area of 1000m² or greater and within Precinct 2 – City centre frame, the height of any building or structure is not more than 30 metres.</p>
	<p>AO6.3 Where on a site with an area of 1000m² or greater and within Sub-precinct 2a – City centre frame (building height), the height of any building or structure is not more than the corresponding height of the Obstacle limitation surface as identified on the Airport environs overlay map contained in Schedule 2.</p>
	<p>AO6.4 Where on a site with an area less than 1000m², the height of buildings and structures is not more than 28 metres and 9 storeys.</p>
Built form	
<p>PO7 The design and siting of buildings and structures at podium level:</p> <ul style="list-style-type: none"> (a) contributes to the desired amenity and character of the streetscape and local plan area; (b) contributes to the safety, character, amenity and vitality of the streetscape; (c) ensures continuity at ground level; 	<p>AO7.1 Where less than 9 metres and 2 storeys above the height of the existing footpath, development is built to the street frontage(s) and setback 0 metres from all other boundaries.</p>
	<p>AO7.2 Podiums are not more than:</p>

Performance outcomes	Acceptable outcomes
<p>(d) maintains a human scale.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses for safety.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p>	<p>(a) 9 metres and 2 storeys above the height of the existing footpath level, where within 15 metres of a street frontage;</p> <p>(b) 11 metres in height above the height of the existing ground level where greater than 15 metres from the street frontage.</p>
<p>PO8 Development achieves adequate separation between buildings and structures on the same site or adjoining sites to:</p> <p>(a) maintain privacy and amenity for residents and occupants;</p> <p>(b) maximise the availability of light and ventilation to the development, adjoining sites and public places;</p> <p>(c) avoid a visually over bearing built form;</p> <p>(d) maintain view lines and vistas to the mountains and the ocean along streets, between developments and from public places.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p>	<p>AO8.1 Where buildings or structures are greater than 9 metres above the height of the existing footpath level, they are set back:</p> <p>(a) 10 metres from all street frontages, other than the Esplanade or Sub-precinct 1a – Shields Street;</p> <p>(b) 15 metres from the Esplanade, and Sub-precinct 1a – Shield Street;</p> <p>(c) 1/6 of the height of the building or 4 metres, whichever is the greater from the side boundaries;</p> <p>(d) 10 metres from the rear boundary.</p> <p>AO8.2 Where buildings and structures are greater than 9 metres and 2 storeys but not more than 28 metres and 9 storeys above the height of the existing footpath level and they are on a site with an area less than 1000m², they are set back:</p> <p>(a) 10 metres from all street frontages, other than the Esplanade or Sub-precinct 1a – Shield Street;</p> <p>(b) 15 metres from the Esplanade, and Sub-precinct 1a – Shield Street;</p> <p>(c) 0 metres from the side boundaries;</p> <p>(d) 10 metres from the rear boundary</p> <p>AO8.3 Where development includes more than one tower on a single site, towers are horizontally separated, at all levels above podium level, by the lesser of:</p> <p>(a) 1/3 of the height the building; or</p> <p>(b) 20 metres.</p>
<p>PO9 Development is designed and sited to ensure that:</p> <p>(a) buildings are consistent with the site and surrounds, moderate in width and avoid a visually overbearing built form;</p> <p>(b) development does not result in the appearance of a wall of buildings when viewed from streets and public places;</p> <p>(c) view lines and vistas are maintained to the mountains and the ocean along streets, between developments and from public places;</p> <p>(d) privacy and amenity for residents and occupants on the site and adjoining sites is maintained;</p>	<p>AO9.1 The maximum width of any tower elevation, in any plane, is 40 metres.</p> <p>AO9.2 Where development is on a site with an area less than 1000m², the total maximum width of built form above podium height, including development on adjoining sites, without appropriate separation is 40 metres.</p>

Performance outcomes	Acceptable outcomes
(d) the availability of light and ventilation to development, adjoining sites and public places is maximised.	
<p>PO10 Balconies and habitable rooms are to be oriented to the street front and rear of the site and setback appropriately to achieve privacy between adjoining developments and sites and amenity for residents and occupants.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>
Tropical urbanism	
<p>PO11 Development provides a high standard of design that:</p> <ul style="list-style-type: none"> (a) achieves tropical urbanism outcomes; (b) positively contributes to the image of the region and provides a visually appealing and interesting skyline when viewed from surrounding areas including but not limited to the coral sea; (c) assists in the legibility of the city centre from surrounding areas. (d) displays the qualities of good urban places; (e) reflects the concept of a 'city in a rainforest'; (f) uses appropriate materials; (g) provides high quality landscaping. <p>Note – Planning scheme policy – Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
<p>PO12 The design of buildings pays particular regard to design features of the streetscape, including:</p> <ul style="list-style-type: none"> (a) a demonstration of the qualities of good urban places and tropical urbanism (b) horizontal forms, such as roof heights, plinths, verandahs, parapets and eaves; (c) dominant and accentuated vertical patterning; (d) the scale and patterning of openings and associated shades and awnings; (e) the colour, texture and scale of building materials and trims; (f) other dominant features of adjacent development. <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p>	<p>AO12.1 No acceptable outcomes are provided</p>
<p>PO13 Development is designed and sited to provide articulation and relief in the façade through design and practical features.</p>	<p>AO13.1 Building facades are to be articulated and provide contrast between light and shadow for at least 50% of the façade area.</p>
<p>PO14 Visible walls are provided with architectural treatments to provide relief through depth,</p>	<p>AO14.1 Where a wall is greater than 3 metres high and more than 6 metres wide, architectural relief is</p>



Performance outcomes	Acceptable outcomes
texture, colour, light and shade.	provided in the form of windows, penetrations or other design features including through the use of depth, texture, colour, light and shade.
	AO14.2 Treatments of facades along street frontages are to be 'returned' on side or rear elevations (where visible from a public place) for a distance of 10 metres.
PO15 Development achieves tropical urbanism through responding to the tropical climate and providing a comfortable environment for residents and occupants	AO15.1 Building facades are to be articulated and designed to facilitate 50% shading to each façade.
	AO15.2 Buildings, materials and external surfaces are light in colour to assist in reducing internal temperatures.
PO16 Development promotes an integrated streetscape, and buildings and street canopies are designed to respond to the city's distinctive tropical character and local environment, and contribute to the concept of a 'City in a rainforest'.	AO16.1 No acceptable outcomes are provided.
Streetscape	
PO17 Development strengthens the city centre's sense of place and identity by maintaining and/or creating visual connections with significant built and landscape elements within and surrounding the centre. Note – Vistas and view lines to the esplanade and inlet are maintained, and created from public places.	AO17.1 No acceptable outcomes are provided.
PO18 Buildings located in positions such as corner sites or with frontage to public spaces, are designed to emphasise the importance of their location.	AO18.1 No acceptable outcomes are provided.
PO19 The vertical rhythm, scale and architectural detail of the existing streetscape is complemented. Regard is to be given to urban design elements such as colonnades, verandahs, windows, eaves, parapets, roof form, scale and other significant features of adjacent developments.	AO19.1 No acceptable outcomes are provided.
PO20 Development is designed to provide: (a) an attractive streetscape; (b) active frontages at the pedestrian level which encourage interaction between the public and private realm; (c) a vibrant street-oriented atmosphere.	AO20.1 Development is designed to provide: (a) an identifiable principal pedestrian point of entry from the primary street frontage or the corner, in the case of a corner lot; (b) a built form that is of a human scale; (c) visual and physical interaction between

Performance outcomes	Acceptable outcomes
	<p>the public and private realm, and does not provide expanses of blank walls or visually impermeable security devices;</p> <ul style="list-style-type: none"> (d) articulation of the facade on both the horizontal and vertical plane; (e) windows and or balconies that overlook the street and adjacent public areas; (f) active frontages are provided to buildings fronting streets identified on the Cairns city centre local plan maps contained in Schedule 2.
<p>PO21 Development provides a continuous, safe pedestrian environment which has a high level of amenity and comfort.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on appropriate design response.</p>	<p>AO21.1 Development incorporates a street canopy over the footpath that:</p> <ul style="list-style-type: none"> (a) affords pedestrians shelter from the sun and rain for the full frontage of the site; (b) has a minimum height of 2 storeys above the finished footpath level, as measured to the underside of the feature; (c) has a maximum height of 6 metres or the height of the podium or the corresponding development, whichever is the lesser; (d) provides appropriate shading and screening features for weather protection commensurate with its orientation; (e) joins, and is complementary to the awning or street canopy on adjoining buildings in terms of design, height and aesthetics; (f) accommodates vehicle and service entry and exit points without compromising the function, form and utility of the pedestrian environment. <p>AO21.2 Infrastructure, services and utilities are not visible features when viewed from the public realm.</p> <p>AO21.3 Development does not create opportunities for human concealment.</p> <p>AO21.4 Development provides a finished floor level for all ground level tenancies fronting a street, at the level of the existing footpath.</p> <p>AO21.5 Where flood or storm tide constraints necessitate a finished floor level for ground level tenancies above the height of the existing footpath level:</p> <ul style="list-style-type: none"> (a) any ramps, stairs or other features utilised to bridge the variation in floor level are contained wholly within the curtilage of the building; (b) active frontages are provided from the level of the footpath.

Performance outcomes	Acceptable outcomes
	<p>AO21.6 Activities on the road reserve are complementary to the uses in adjacent buildings and are secondary to the pedestrian needs of footpaths.</p>
<p>PO22 Development in Sub-precinct 1a – Shields Street demonstrates the highest level of integration with the existing streetscape.</p>	<p>AO22.1 No acceptable outcomes are provided.</p>
<p>PO23 Landscaping, street furniture, directional signage and footpath treatments are provided to the frontage of the development site that:</p> <ul style="list-style-type: none"> (a) are of a high quality and standard; (b) reflect and reinforce the tropical image of the city centre; (c) reinforce the concept of a ‘city in a rainforest’. 	<p>AO23.1 Streets are landscaped and treated in accordance with the green streets identified on the Cairns city centre local plan maps contained in Schedule 2.</p> <p>Note – Planning scheme policy – Landscaping provides further guidance on meeting the specific landscaping requirements from the City in a Rainforest Master Plan.</p>
<p>PO24 Legibility is promoted through the design of buildings and spaces and assists users to find their way.</p>	<p>AO24.1 Buildings prominently display street numbers, building names and where appropriate, directional signage.</p>
<p>Landscaping</p>	
<p>PO25 Development is landscaped both horizontally on the site and structures, and vertically to provide a meaningful contribution to reflect the concept of a ‘city in a rainforest’.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO25.1 No acceptable outcomes are provided for horizontal landscaping.</p> <p>AO25.2 Buildings and structures are vertically landscaped for a minimum of 15% of each façade, for the full height of the development.</p> <p>Note – compliance with the vertical landscaping requirements can be achieved through mature vegetation projecting out of the horizontal plane.</p>
<p>Pedestrian and cycle networks</p>	
<p>PO26 Development improves local connectivity by maintaining existing, and providing additional east-west intra-block pedestrian connections where possible.</p>	<p>AO26.1 Development with frontage to Pedestrian arcade connections as identified on the Cairns city centre local plan maps contained in Schedule 2, provides a pedestrian arcade between the identified streets, with a minimum width of 6 metres, or maintains an existing connection, between the two north – south streets.</p>
<p>PO27 Development located adjacent to the waterfront provides for a continuous public boardwalk and public open space.</p>	<p>AO27.1 No acceptable outcomes are provided.</p>
<p>Parking and access</p>	
<p>PO28 Vehicle access points do not visually dominate the streetscape. Vehicular accesses are</p>	<p>AO28.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>consolidated through shared access points, or laneway accesses are utilised.</p> <p>Note – Refer to the Centre design code.</p>	
<p>PO29 Vehicle access points do not compromise pedestrian safety and amenity and ensure that safe and serviceable access is provided to developments.</p>	<p>AO29.1 Vehicle access is provided at the same level as the footpath for minimum of 15 metres from the sites street frontage into the development / site.</p>
<p>PO30 Development is designed to ensure that off-street parking is not a visible feature from streets and other public spaces.</p>	<p>AO30.1 Off-street car parking is located within a building or behind a building and is screened from view from the street or public places by the built form, including the provisions of active frontages.</p>
<p>PO31 Development is designed such that the safety and efficiency of the pedestrian and road network are not adversely impacted upon.</p>	<p>AO31.1 No acceptable outcomes are provided.</p>
<p>PO32 Development fronting a limited access street, as identified on the Cairns city centre local plan maps contained in Schedule 2, does not provide additional physical vehicle access points to a limited access street.</p>	<p>AO32.1 No acceptable outcomes are provided.</p>
<p>PO33 On-site vehicle parking is provided to accommodate the demand generated by the development.</p> <p>Note – Where a conflict exists between the rates specified in the planning scheme and those proposed, a Traffic Impact Assessment Report prepared in accordance with Planning scheme policy – Parking and access is required to demonstrate that sufficient vehicle parking is provided for the development.</p>	<p>AO33.1 Development provides on-site car parking spaces not less than the following minimum rates for:</p> <ul style="list-style-type: none"> (a) Food and Drink Outlet – 1 space per 50m² GFA and outdoor dining area; (b) Office – 1 space per 50m² GFA; (c) Shop or Shopping centre – 1 space per 50m² GFA. <p>Note – for all other uses the rate is as specified within Table 9.4.8.3.b of the Parking and access code in part 9</p>
Additional requirements for night time activities	
<p>PO34 Development for a Hotel, Bar and/or Nightclub entertainment facility is located and accessed from a street identified as a night time entertainment activity street on the Cairns city centre local plan maps contained within Schedule 2, to ensure development does not cause nuisance to adjoining and nearby premises and to ensure public safety is maintained.</p>	<p>AO34.1 No acceptable outcomes are provided.</p>
<p>PO35 Development involving night time activities is located, designed and operated to ensure development does not cause nuisance to adjoining and nearby premises.</p>	<p>AO35.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO36 Development involving the use of balconies, podiums or rooftops for entertainment of patrons, visitors, guests or residents is appropriately located, designed and operated to ensure development does not cause nuisance to adjoining and nearby premises and protects and maintains the operational integrity of the Cairns Airport.</p>	<p>AO36.1 No acceptable outcomes are provided.</p>
Flood and storm tide	
<p>PO37 Development in an area which is subject to flood or storm tide inundation does not contain habitable floors or essential infrastructure or services below the nominated inundation level for the defined event.</p>	<p>AO37.1 No acceptable outcomes are provided.</p>

7.2.3 Earlville local plan code

7.2.3.1 Application

This code applies to development within the Earlville local plan area as shown on the Earlville local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.3.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Earlville local plan code.

The Earlville local plan area is the focus of retail and business activity for the inner suburbs of Cairns City. It is located approximately 4.5 kilometres west of the Cairns city centre at the northern end of the Bruce Highway, where it transitions into Mulgrave Road.

Mulgrave Road was originally known as Hop Wah Road as it led to the Hop Wah Plantation where the first sugar mill in the district was built in 1880. The site of the mill was on Clarkes Creek next to the present location of Stockland Shopping Centre. The old name lost its significance after the plantation closed down and the road was renamed Mulgrave Road in 1911.

Originally established in 1980, at the then western periphery of Cairns City Council, the Earlville Shoppingtown (now known as Earlville Shopping Centre) is the dominant built development in the local plan area. However it is complemented by a range of retail and business services predominately focussing on Mulgrave Road and some light industries in areas adjacent to Ishmael Road. The Earlville Major centre offers a high level of retail activity, some community uses and employment in the surrounding area. However the diversity of uses should be increased and the level of amenity and access, particularly pedestrian and public transport are to be improved.

Earlville is considered to be one of the best opportunities for the development of a transit orientated community given the size of the centre, existing mix of uses, nearby higher density residential areas and a range of services. An emphasis will be placed on the renewal of the older housing stock into higher density housing that will support the transit orientated initiatives proposed for Earlville. Development opportunities for higher residential densities exists within the Earlville Local Plan area to protect the lower, established lower density residential neighbourhoods in the surrounding communities.

Two main precincts will be established in the Earlville Major centre over time providing for a high intensity residential and mixed use core and a supporting mixed use commercial frame where activity is consolidated and supported by higher residential densities. Buildings in these precincts are higher than surrounding communities but also have high quality streetscapes, pedestrian environments and incorporate high quality urban design outcomes.

The focus of the transit network in Earlville will be on the Mulgrave Road frontage of the Earlville Core precinct, However in the longer term, public transport will service Ishmael Road as development increases the pedestrian and mixed-use appeal of the secondary road. The increased presence of public transport options in Earlville will make access easier for local residents and patrons coming from outside areas over time.

The effective walkable catchment in Earlville is complicated by a number of barriers including limited crossing opportunities along Mulgrave Road, creek and drainage corridor crossing restrictions and level changes between precincts. The significant planning challenge for Earlville is to establish more convenient and comfortable pedestrian and cycling connections that overcome the difficulties presented by current physical restrictions.

7.2.3.3 Purpose

- (1) The purpose of the Earlville local plan code is to establish the Earlville local plan area as
 - a:
 - (a) Major centre within the Cairns region;
 - (b) transit-orientated, mixed-use community with supporting areas of higher residential densities;
 - (c) highly connected and self-contained community.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the Earlville Shopping Centre site is consolidated as the core of retail activity within the Earlville local plan area;
 - (b) a frame of mixed-use, commercial and retail uses increase employment opportunities and support the core with a range of higher residential densities;
 - (c) development that promotes mixed-use, transit orientated development is established in key locations;
 - (d) industrial buildings to the east of Ishmael Road continue to be used for light and service industries and transition through new development to mixed-use commercial and residential activities that activate Ishmael Road and create a transport supportive environment;
 - (e) the presence of pedestrian friendly spaces and active frontages on major vehicle, public transport and pedestrian thoroughfares is increased;
 - (f) vehicle parking areas are integrated with or behind buildings to ensure they are not dominant visual features of the local plan area;
 - (g) infrastructure, services and activities that support the needs of workers and local residents and recreational facilities are facilitated;
 - (h) appropriately scaled public art and cultural infrastructure is provided;
 - (i) pedestrian and cycle links throughout the local plan area are improved;
 - (j) the provision of a well-planned and high quality public transport station;
 - (k) existing parkland areas as focal points within the urban fabric of the local plan area are retained and reinforced;
 - (l) future development on and around Cannon Park establishes appropriately located road connections to the east and west and connects to the existing and future surrounding road network;
 - (m) the height of buildings and structures is greatest in the Earlville Major centre core and transitions outwards to the frame precinct and surrounding residential areas to ensure:
 - (i) the image and structure of the Major centre emphasises and reinforces its role and function within the hierarchy of centres;
 - (ii) lower density residential neighbourhoods beyond the local plan boundaries are not adversely impacted upon;
 - (n) the design of buildings supports the structure of the Earlville Major centre through:
 - (i) a connected and active frontage along Mulgrave Road and Ishmael Road;
 - (ii) consolidation of land for more intense development outcomes and higher structures contributing to a compact centre with improved pedestrian environments around buildings;
 - (iii) contribute to a positive identity for the Major centre;
 - (o) gateway sites are given significance through their use and built form in:
 - (i) the way they address road, pedestrian, transport connections and public spaces;
 - (ii) their architectural design.

Precinct 1 – Earlville core

- (3) In addition to 7.2.3.3(2), the overall outcomes sought for the precinct are:
- (a) the precinct is the highest order precinct within the centre;
 - (b) the highest order and greatest range of retail and entertainment activities are concentrated within the precinct;
 - (c) buildings and structures within the precinct emphasise the intensity, scale and increased activity within the core through elevated height and separation between buildings with high quality landscaped, pedestrian-focussed environments;
 - (d) the pedestrian appeal of areas at ground level is emphasised through active frontages and comfortable pedestrian spaces and cyclist facilities;
 - (e) connections for pedestrians and cyclists between the precinct and Precinct 2 – Earlville frame are improved.

Precinct 2 – Earlville frame

- (4) In addition to 7.2.3.3(2), the overall outcomes sought for the precinct are:
- (a) land uses within the precinct are of a scale and intensity complementary to the intensity and scale of those within Precinct 1 – Earlville core;
 - (b) buildings and structures within the precinct emphasise the commercial and mixed-use activity through medium-rise buildings and active frontages;
 - (c) higher residential densities within the precinct are encouraged through consolidation of lots with increased heights and separation from lower density residential activities;
 - (d) gateways and large allotments in the precinct are used effectively for:
 - (i) commercial activities that require larger floor areas; or
 - (ii) mixed-used development which integrate uses vertically rather than across a site.

Precinct 3 – Cannon park

- (5) In addition to 7.2.3.3(2), the overall outcomes sought for the precinct are:
- (a) uses that transition away from the existing race course occur only at such time as adequate road connections can be delivered to Ishmael Road, Mulgrave Road and a future by-pass of Earlville to the east;
 - (b) any redevelopment of the precinct is supported by:
 - (i) a detailed structure plan prepared demonstrating how the site may be developed over time;
 - (ii) demonstration that the proposed development supports the role of Earlville as a transit oriented community;
 - (iii) design, layout or buildings that reflect the significance of the race course to the local history of Cairns;
 - (iv) connection to surrounding infrastructure networks.

7.2.3.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.3.4.a – Earlville local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Design	
<p>PO1 The height of buildings and structures ensures:</p> <ul style="list-style-type: none"> (a) taller buildings on appropriately sized land are constructed to prevent horizontal sprawl, maximising opportunities for public space; (b) that there is a transition of building heights from the Earlville core precinct to the surrounding residential neighbourhoods; (c) activation through high quality public and semi-public spaces at ground level. <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO1.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – Where a proposed development exceeds the height stated in AO1.1, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO1.1 The height and scale of development is consistent with the outcomes specified within Table 7.2.3.4.b.</p> <p>Note – Height is inclusive of the roof height.</p> <hr/> <p>AO1.2 Buildings greater than 4 storeys are set back from property boundaries:</p> <ul style="list-style-type: none"> (a) ½ the height of the building or structure where adjacent to a Residential zone or existing residential development; or (b) ¼ the height of the building or structure where adjacent any other zone. <p>Note – Figures 7.2.3.4.a and 7.2.3.4.b provides visual guidance to the setback provisions for buildings greater than four storeys.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p> <hr/> <p>AO1.3 Areas around the building at the ground level are activated through:</p> <ul style="list-style-type: none"> (a) high quality landscaping affording pedestrian comfort and meeting or recreating spaces; (b) land uses such as offices, shops or food and drink outlets; (c) high quality urban design; (d) a positive local character and identity. <p>Note – AO1.3 will be applied to residential development only where it:</p> <ul style="list-style-type: none"> (a) is within a mixed-use building; or (b) has frontage to Ishmael Road or Mulgrave Road (except AO1.3(b)); or (c) provides for pedestrian or cycle ways (except AO1.3(b)).

Performance outcomes	Acceptable outcomes
<p>PO2 Development of gateway sites shown on the Earlville local plan maps contained in Schedule 2 results in memorable architecture and distinctive developments in the local area through:</p> <ul style="list-style-type: none"> (a) land uses that contribute to the creation of the place; (b) active frontages to streets, pedestrian and cycle connections, public transport and other public spaces; (c) architectural features that create a distinct or varied built form from buildings around it. 	<p>AO2.1 Development on gateway sites:</p> <ul style="list-style-type: none"> (a) contain land uses that contribute to the precinct intent and outcomes; (b) contain active frontages and facades to public spaces and public transport facilities; (c) are finished with architectural features such as articulated roof profiles, parapets, awnings and balconies, tropical landscaping, and a range of building materials. <p>Note – Refer to the definition of Gateway site contained in Schedule 1.2.</p>
<p>PO3 Development on Ishmael Road and Mulgrave Road provides active frontages and connectivity of streetscape, pedestrian paths and street front spaces promoting integration with surrounding areas.</p>	<p>AO3.1 Development is built to the street front boundary along Mulgrave Road and Ishmael Road.</p>
	<p>AO3.2 A cantilevered awning is provided over the footpath, to the full frontage of the site, with a setback of 1 metre from the face of the kerb, and with:</p> <ul style="list-style-type: none"> (a) a maximum height of 3 metres from the footpath level to the underside of the awning; or (b) at a height consistent with or stepping up/down to, the awning structures on buildings on adjacent sites.
	<p>AO3.3 The street frontage is predominantly populated with land uses such as offices, shops or food and drink outlets.</p>
<p>PO4 Buildings establish a positive urban form and identity for the Earlville Major centre when viewed from public places.</p>	<p>AO4.1 Buildings incorporate a range of materials and finishes, roofscapes, fenestration and shading devices, and architectural features that contribute to an emerging identity for the Earlville Major centre.</p>
Open space, pedestrian and cycle networks	
<p>PO5 Development delivers pedestrian, cycling and road connections in locations shown on the Earlville local plan maps contained in Schedule 2 to improve the connectivity within the local plan area and provide public transport supportive neighbourhoods and environments.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Car parking area	
<p>PO6 Development ensures that off-street parking is not a dominant visual feature of development.</p>	<p>AO6.1 Development ensures car parking areas are not dominant visual features through incorporating:</p> <ul style="list-style-type: none"> (a) articulated and enclosed car parking facilities; or (b) car parking areas that are sleeved behind buildings encompassing land uses; or (c) car parking areas that are provided in a number of smaller parts over a large site; or (d) car parking areas that are screened through dense landscaping. <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on the incorporation of safe design principles.</p>
Additional requirements for Precinct 1 – Earlville core	
<p>PO7 Development in the Precinct 1 - Earlville core represents the highest intensity of retail and commercial land use and building design within the Earlville local plan area.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 2 – Earlville frame	
<p>PO8 Development in the Precinct 2 - Earlville frame is subservient to the dominant retail uses within Precinct 1 - Earlville core.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 3 – Cannon Park (only applies to development that is not associated with or ancillary to the race course)	
<p>PO9 Development ensures local road connections to Ishmael Road, Mulgrave Road and the future Earlville bypass road are established.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
<p>PO10 Development of the site is supported by:</p> <ul style="list-style-type: none"> (a) a detailed structure plan prepared to show how the site may be developed over time; (b) demonstration that the proposed development supports the role of Earlville as a transit oriented community; (c) building design and layout reflects the significance of the race course to the local history of Cairns; (d) connections to surrounding infrastructure networks. <p>Note – Planning scheme policy – Structure planning provides guidance on preparing structure plans and details to support development applications.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>

Table 7.2.3.4.b – Earlville local plan building heights, frontages and land areas

Precinct	Land area	Minimum frontage	Height <small>Note - Height is inclusive of the roof height.</small>
Precinct 1 - Earlville core	> 800m ²	As per zone code and use code requirements.	
	800m ² - 2,000m ²	20 metres	15 metres and 4 storeys in height
	>2,000m ²	40 metres	21 metres and 6 storeys in height
Precinct 2 - Earlville frame	<2,000m ²	As per zone code and use code requirements	
	>2,000m ²	40 metres	18 metres and 5 storeys in height
Precinct 3 - Cannon Park	No acceptable outcomes are provided.		

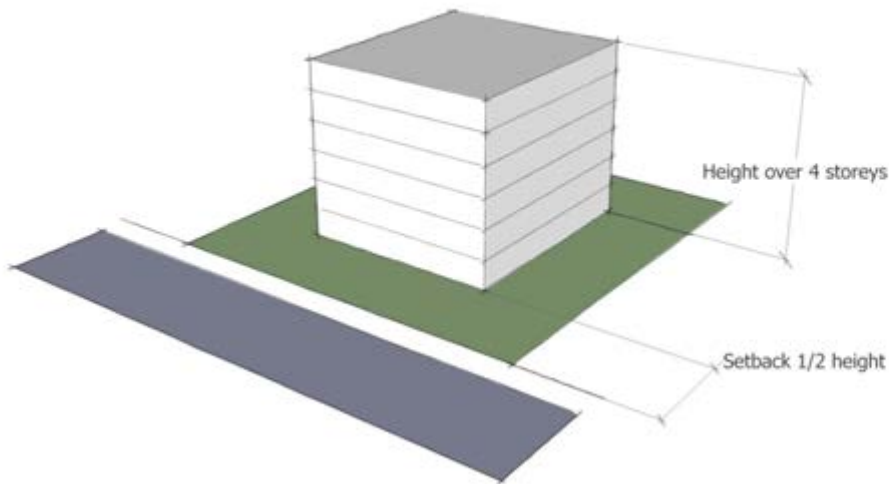


Figure 7.2.3.4.a – Setbacks for buildings greater than four storeys adjacent to a residential zone

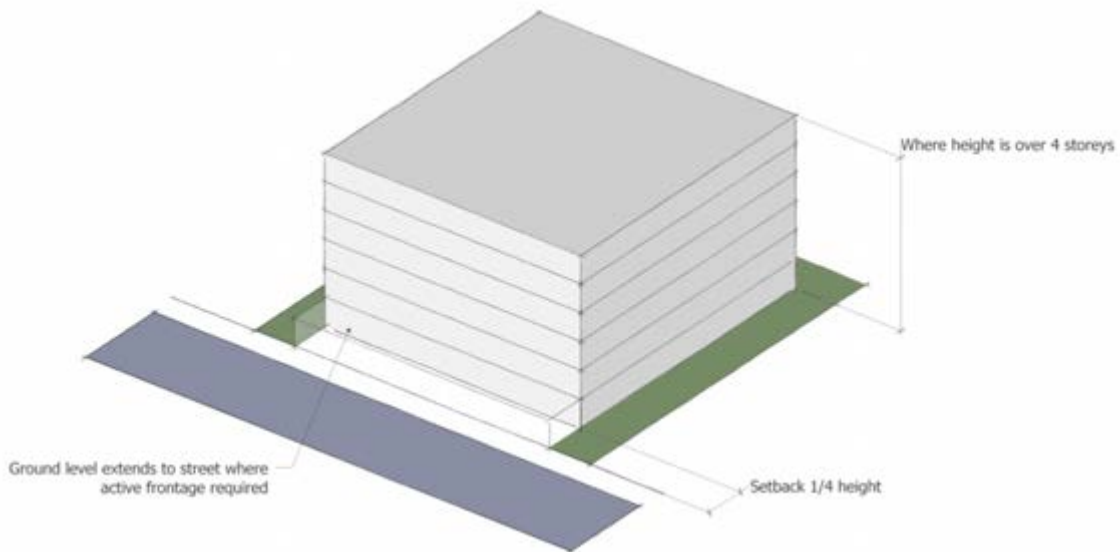


Figure 7.2.3.4.b – Setbacks for buildings greater than four storeys adjacent to a non-residential zone

7.2.4 Edmonton local plan code

7.2.4.1 Application

This code applies to assessing development within the Edmonton local plan area as shown on the Edmonton local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.4.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Edmonton local plan code.

The Edmonton local plan area is located approximately 10 kilometres to the south of the Cairns city centre. The local plan area is located on the western side of the Bruce Highway. The northern boundary is formed by Blackfellows Creek and the southern boundary, in part, by McKinnon Creek and to the west to Walker Road

The area was first established for sugar cane cultivation with the expansion of the northern sugar industry and the establishment of the Hambledon Mill in the late 1800's. The land known as Mann's Farm is central to Local plan area and has been farmed for sugar cane cultivation by successive generations of the Mann family for 115 years and is designated for the future Edmonton town centre.

The local plan area consists of the Edmonton Major centre site which contains a future Health precinct on the eastern portion of the existing sugar cane farm. In the west of the local plan area key sites include the Isabella State School, Cairns Regional Council's district sporting precinct, Sugarworld Gardens and the existing shopping centre. Safe pedestrian connectivity between these areas should be serviced with improved pedestrian and bicycle links.

The land to the south of the Edmonton Major centre contains predominantly detached dwellings on a mix of traditional lot sizes of approximately 700m² or greater. Opportunities exist for consolidating these lots for higher density residential densities. The underlying zones provide direction on the outcomes sought by new development in this area. Hambledon State School is located to the south of the Edmonton Major centre site. Safe pedestrian and bicycle connectivity between the school, the centre and surrounding areas should be enhanced.

The Edmonton Major centre will become the highest order of centre for the Edmonton and Southern growth corridor. The Edmonton Centre core precinct forms the 'heart' of the business district and will develop the characteristics and qualities evident in the main streets of traditional townships where a wide range of integrated uses and building types define an attractive and 'user-friendly' pattern of public spaces of high amenity and accessibility for all users. The built form of the Edmonton centre core precinct will encourage pedestrian scale streets and spaces with active frontages. The adjacent Edmonton centre frame precinct provides the transition of commercial and residential uses alongside the Community health precinct. The Edmonton Major centre will include a variety of public and private sector uses, as well as open spaces where people can gather and hold public events which allows the local plan area and surrounds to be relatively self-contained. This provision of a wide mix of uses is much like the Cairns city centre. However, the development of the Edmonton Major centre will need to be consistent with its role within the greater hierarchy of centres for the Cairns region.

Land adjacent to the Community health precinct also has an opportunity for urban consolidation and higher residential densities where consolidation of lots can occur and passive surveillance and access to parks can be facilitated.

The existing mixed use / highway precinct contains a mix of recreation, shopping, local centre, clerical and government (library, post office, police) uses. Whilst some of these uses, in particular those oriented towards the government sector, are likely to relocate to the Edmonton Major centre, the general built form and development mix are expected to remain.

Key outcomes of the Edmonton Major centre and local plan will be to increase accessibility for pedestrians, support transit orientated development opportunities and provide effective cycle and pedestrian links to the future public transport station to be located to the north of the site on Logomeir Road. Ultimately the primary access to the Edmonton Major centre from the highway will be via the planned Bentley Park interchange which will feed traffic from the highway to the north of the site through Logomeir Road.

The establishment of the Edmonton centre core and Edmonton centre frame precincts should be in accordance with the Edmonton local plan purpose and ensure that the frame continues to develop with complimentary land uses that do not detract from the primacy of the town centre within the local plan area.

The Edmonton local plan aims to facilitate re-development and increased densities within certain key sites through up-zoning. However, higher densities of development should only occur when lots are consolidated or existing sites can appropriately accommodate the proposed development to achieve a better overall outcome.

7.2.4.3 Purpose

- (1) The purpose of the Edmonton local plan is to:
 - (a) facilitate the establishment of the Edmonton Major centre which provides for a mix of uses and activities to provide higher order employment, retail, administrative, community, cultural, entertainment and leisure functions and facilities to service the local area and future Mount Peter locality;
 - (b) establish a framework for the Edmonton Major centre that has:
 - (i) a Centre core precinct which contains the highest mix and density of community, commercial, retail, entertainment and residential activities, within the Edmonton local plan area;
 - (ii) an Edmonton centre frame precinct which has complementary land uses which support the Centre core precinct;
 - (iii) a Community health precinct which provides for community health infrastructure, and business and facilities aligned with the health and well-being of the community;
 - (iv) an Urban consolidation precinct of higher residential densities to support economic activity and public transport systems in the Edmonton Major centre.
 - (c) facilitate integration through:
 - (i) land uses and infrastructure to support the public transport node and the Major centre;
 - (ii) an interconnected network of public streets providing for the efficient movement of pedestrians, cyclists, public transport and vehicles;
 - (iii) high levels of connectivity to transport networks, open space, sport and recreation facilities, community facilities and existing commercial areas.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the Edmonton Major centre is established within the local plan area, as part of the hierarchy of centres as identified on the Strategic framework maps contained in Schedule 2;
 - (b) development contributes to the framework of the Edmonton Major centre with Precinct 1 - Edmonton centre core being the dominant precinct for retail, commercial and community activity within the local plan area;
 - (c) development within the Edmonton Major centre ensures that the role and function of the centre can be achieved over time;
 - (d) development on gateway sites identified on the Edmonton local plan maps contained in Schedule 2 are designed to establish a built form which provides an attractive point of arrival;

- (e) roads incorporate wide verges, underground services, street tree planting and facilitate pedestrian and cycle movement;
- (f) development provides a high quality built form that is responsive to the tropical setting and provides a varied and interesting streetscape;
- (g) appropriately scaled public art and cultural infrastructure is provided;
- (h) vehicle parking areas are integrated within or behind buildings to ensure they are not dominant visual features of the local plan area;
- (i) development reinforces the local character and history through elements of design;
- (j) development contributes to an inclusive, active, healthy and engaged community with a high level of access to social, cultural and community services, infrastructure and facilities;
- (k) development contributes to diversity in housing choice in identified areas of higher residential densities and through the consolidation of existing residential land;
- (l) built form around the Edmonton future public transport station is oriented toward the station and provides ground-floor, pedestrian-oriented uses that activate the Precinct 1 – Edmonton centre core.

Precinct 1 – Edmonton centre core

- (3) In addition to 7.2.4.3(2), the overall outcomes sought for the precinct are:
 - (a) development is of a mixed-use, multi-storey form where the mix of uses is achieved vertically (e.g. multiple dwellings above retail and commercial uses) to ensure a continuous active frontage at ground level;
 - (b) development is predominantly for the establishment of a range of shopping, commercial, entertainment, leisure, residential and community uses;
 - (c) large-scale commercial uses such as a supermarket or a discount department store are located within the precinct and integrate with the streetscape rather than being located within internalised centres;
 - (d) buildings are designed to achieve a comfortable, high-quality pedestrian environment in the public realm at a human scale;
 - (e) building heights ensure a transition in height to land outside the precinct;
 - (f) buildings on street corners are designed to emphasise the importance of their location and anchor the corner;
 - (g) the design of streets and adjacent development fosters safe, and convenient and equitable pedestrian access throughout the precinct;
 - (h) development integrates with surrounding development by contributing to the establishment of an interconnected network of public streets enabling the efficient and comfortable movement of pedestrians, cyclists, public transport and vehicles;
 - (i) a multi-purpose park provides a focal point for the Edmonton Major centre and an attractive gathering space that is robustly designed to be able to accommodate a variety of community events of differing scales.

Precinct 2 – Edmonton centre frame

- (4) In addition to 7.2.4.3(2), the overall outcomes sought for the precinct are:
 - (a) commercial office, shopping and residential land uses are integrated within the precinct through mixed-use developments, whereby no single land use dominates the precinct;
 - (b) the existing commercial activities that occur in the precinct to the west and east of Precinct 1 – Edmonton centre core are integrated within the newly established Edmonton Major centre;
 - (c) buildings and public spaces achieve a high standard of design, form and finishes and demonstrate a practical and appealing tropical design response;
 - (d) development reinforces a public transport, pedestrian and cycle networks by including linkages and integrating with surrounding development within Precinct 1 – Edmonton centre core and Precinct 3 - Community health;

- (e) any future public transport station is fronted by active uses that assist in establishing a point of arrival, while also providing for surveillance of the station;
- (f) built form in proximity to the future public transport station is orientated towards the stations and provides ground-floor, pedestrian-oriented uses that activate the precinct.

Precinct 3 – Community health

- (5) In addition to 7.2.4.3(2), the overall outcomes sought for the precinct are:
 - (a) the use of land within the precinct is directly aligned to the health services industry or community well-being;
 - (b) development results in land uses that are complementary to those within Precinct 1 – Edmonton centre core and Precinct 2 – Edmonton centre frame rather than being competitive;
 - (c) development results in a compact built form where taller buildings are designed and constructed to maximise opportunities for public spaces;
 - (d) development ensures pedestrian, cycle and vehicle links integrate the precinct with surrounding communities and precincts.

Precinct 4 – Urban consolidation

- (6) In addition to 7.2.4.3(2), the overall outcomes sought for the precinct are:
 - (a) higher residential densities within the precinct are encouraged through consolidation of lots with increased heights and separation from lower density residential activities;
 - (b) development with multiple frontages (to roads or open space areas) is designed and oriented to activate and provide casual surveillance to the public spaces and foster improved use of public space where near the Edmonton Major centre.

7.2.4.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.4.4.a – Edmonton local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
<p>PO1 Development of gateway sites identified on the Edmonton local plan maps contained in Schedule 2 results in memorable architecture and distinctive developments in the local area through:</p> <ul style="list-style-type: none"> (a) land uses that contribute to the creation of the place; (b) active frontages to streets, pedestrian and cycle connections, public transport and other public spaces; (c) architectural features that create a distinct or varied built form from buildings around it. 	<p>AO1.1 Development on gateway sites:</p> <ul style="list-style-type: none"> (a) contain land uses that contribute to the precinct intent and outcomes; (b) contain active frontages and facades to public spaces and public transport facilities; (c) are finished with architectural features such as articulated roof profiles, parapets, awnings and balconies, tropical landscaping, and a range of building materials. <p>Note – Height is inclusive of the roof height.</p> <p>Note – Gateway sites are identified on the Edmonton local plan maps contained in Schedule 2.</p> <p>Note – Refer to the definition of Gateway site contained in Schedule 1.2.</p>
<p>PO2 Buildings establish a positive urban form and identity for the Edmonton Major centre.</p>	<p>AO2.1 Buildings incorporate a range of materials and finishes, roofscapes, fenestration and shading devices, and architectural features that</p>

Performance outcomes	Acceptable outcomes
	contribute to an emerging identity for the Edmonton Major centre.
<p>PO3 Development within 100m of the future public transport station:</p> <ul style="list-style-type: none"> (a) orientates toward the Station; (b) provides ground-floor, pedestrian-oriented uses that activate public spaces; (c) ensures a built form as a gateway to the Edmonton Major centre. 	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Development establishes a network and hierarchy of pedestrian, cycle and vehicular access links that:</p> <ul style="list-style-type: none"> (a) is based on a grid network of streets; (b) has walkable block sizes; (c) is safe, efficient and provides for the needs of all users of the Edmonton Major centre; (d) has a high level of connectivity for all users; (e) establishes links between precincts and broader community focal points. 	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>PO5 Development ensures that off-street parking is not a dominant visual feature of streets and public spaces.</p>	<p>AO5.1 Development ensures car parking areas are not dominant visual features through incorporating:</p> <ul style="list-style-type: none"> (a) articulated and enclosed car parking facilities; or (b) car parking areas that are located behind buildings; or (c) car parking areas that are provided in a number of smaller parts over a large site; or (d) car parking areas that are screened through dense landscaping. <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on the incorporation of safe design principles.</p>
<p>Additional requirements for development within the Major centre zone and Precinct 3 – Community health</p>	
<p>PO6 Development reinforces the establishment of the Edmonton Major centre with consideration for:</p> <ul style="list-style-type: none"> (a) development sequencing; (b) structure of Edmonton Major centre and place making; (c) economic development and employment; (d) transport and mobility; (e) community facilities and recreation land; (f) infrastructure networks; (g) centres design. 	<p>AO6.1 A structure plan supports development proposing reconfiguring a lot or material change of use to demonstrate how the development meets the needs of the community, implements the centre structure and infrastructure networks identified on the Edmonton local plan maps contained in Schedule 2;</p> <p>or</p> <p>AO6.2 Development is consistent with an approved structure plan, preliminary approval or development permit.</p>

Performance outcomes	Acceptable outcomes
	<p>Note – Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning and additional considerations may be sought by the zone or overlays applicable to the land.</p>
<p>Additional requirements for Precinct 1 – Edmonton centre core</p>	
<p>PO7 Development in Precinct 1 – Edmonton centre core provides for a mix of land uses and ensures:</p> <ul style="list-style-type: none"> (a) convenient access to community facilities; (b) diverse employment opportunities; (c) opportunity for social interaction; (d) urban vitality and street life; (e) increased synergy and compatibility of proposed uses; (f) potential conflict between land uses is minimised; (g) the provision of mixed housing types; (h) mixed use activities are located on public transport stops; (i) civic buildings and community facilities are provided in visible locations; (j) retail development with a GFA of greater than 2,500m² is located at the edge of the precinct. 	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>PO8 The height of buildings or structures:</p> <ul style="list-style-type: none"> (a) reinforces Precinct 1 - Edmonton centre core as the area accommodating the highest intensity of development; (b) ensures that there is a transition of building form from the Edmonton centre core to the surrounding areas; (c) ensures there is variation in vertical rhythm, scale and architectural detail; (d) buildings located on gateway sites are designed to express and emphasise the importance of their location. <p>Note – A visual impact assessment may be required where a proposed development exceeds the height stated in AO8.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – Where a proposed development exceeds the height stated in AO8.1 or AO8.2, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO8.1 Buildings or structures are not more than 20 metres and 5 storeys in height.</p> <p>or</p> <p>AO8.2 Where on a gateway site, buildings and structures are not more than 23.5 metres and 6 storeys in height.</p> <p>Note – Height is inclusive of roof height.</p> <p>AO8.3 The design of podium levels and street frontages of tall buildings pays particular regard to design features of the streetscape, including:</p> <ul style="list-style-type: none"> (a) horizontal forms, such as roof heights, plinths, verandahs, parapets and eaves; (b) dominant and accentuated vertical patterning; (c) the scale and patterning of openings and associated shades and awnings; (d) the colour, texture and scale of building materials and trims; (e) other dominant features of adjacent development.

Performance outcomes	Acceptable outcomes
<p>PO9 Development: (a) defines the linear space of the street; (b) does not dominate the streetscape; (c) ensures that there is separation between towers; (d) ensures that the availability of light and ventilation to towers and adjoining premises is maximised.</p>	<p>AO9.1 Site cover and setbacks for buildings as set out in Table 7.2.4.4.b are achieved.</p>
<p>PO10 Development is designed to: (a) present an attractive and active street frontage; (b) provide articulated buildings defining and addressing the street; (b) create a vibrant street-orientated atmosphere; (c) provide a safe and high quality pedestrian environment.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design(CPTED) provides guidance on incorporating safe design principles.</p>	<p>AO10.1 Development is built to the street frontage(s).</p>
	<p>AO10.2 A cantilevered awning is provided over the footpath, to the full frontage of the site, with a setback of 1 metre from the face of the kerb, and with: (a) a maximum height of 3 metres from the footpath level to the underside of the awning; or (b) at a height consistent with, or stepping up/down to, the awning structures on buildings on adjoining sites.</p>
	<p>AO10.3 Development incorporates active frontages and predominantly consists of land uses such as offices, shops or food and drink outlets.</p>
<p>AO10.4 The street frontage of buildings: (a) has a main entrance facing the primary street frontage or the street corner; (b) has windows and balconies that overlook all street frontages and adjacent public / civic areas; (c) is broken into human scale by the use of awnings, verandahs, columns, changes in plan, and appropriately scaled doors and windows; (d) does not feature expanses of blank walls or visually impermeable security devices at the pedestrian level; (e) does not create opportunities for human concealment.</p>	
<p>PO11 Development provides a mix of uses vertically within multi-storey buildings with active frontages on the ground floor.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Precinct 2 – Edmonton centre frame	
<p>PO12 Development in Precinct 2 – Edmonton centre frame is developed with a mix of uses to ensure:</p> <ul style="list-style-type: none"> (a) convenient access to community facilities and diverse employment opportunities; (b) opportunity for social interaction; (c) urban vitality and street life; (d) increased opportunities for co-locating compatible land uses; (e) potential conflict between land uses is minimised; (f) the provision of mixed housing types. 	<p>AO12.1 No acceptable outcomes are provided.</p>
<p>PO13 The height of buildings or structures:</p> <ul style="list-style-type: none"> (a) reinforce the function of the Precinct; (b) ensure there is a transition of building form, from the Edmonton centre frame precinct to the surrounding areas. <p>Note – Where a proposed development exceeds the height stated in AO13.1 or AO13.2, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO13.1 Buildings or structures are not more than 17 metres and 4 storeys in height.</p> <p>or</p> <p>AO13.2 Where on a gateway site, buildings and structures are not more than 30 metres and 5 storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>
<p>PO14 Where development requires larger floor areas or has the potential to cause local impacts, they are located on the edge of the Centre Frame precinct, and opportunities for active street frontages are maximised by:</p> <ul style="list-style-type: none"> (a) providing an active street frontage to at least 25% of the frontage; (b) ensuring blank sides are not visible from the primary street frontage; (c) being designed to minimise the appearance of being stand-alone buildings; (d) ensuring service delivery areas are located at the rear of the site, and are not visible from the primary street frontage. 	<p>AO14.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 3 – Community health	
<p>PO15 Development in Precinct 3 – Community health is directly aligned to the health services industry or community well-being.</p>	<p>AO15.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>PO16 Development in Precinct 3 – Community health is constructed to promote a compact urban form and the height of buildings or structures ensures:</p> <ul style="list-style-type: none"> (a) taller buildings are constructed to prevent horizontal sprawl and maximising opportunities for public spaces; (b) there is a transition of building form from the precinct to the surrounding areas; (c) variation in vertical rhythm, scale and architectural detail. 	<p>AO16.1 No acceptable outcomes are provided.</p>
<p>Additional requirements for Precinct 4 – Urban consolidation</p>	
<p>PO17 The establishment of higher residential densities occurs through consolidation of low density residential land and activities.</p>	<p>AO17.1 No acceptable outcomes are provided.</p>
<p>PO18 Residential development with multiple frontages to public spaces (roads or open space areas) are designed and oriented to activate and provide casual surveillance to the public spaces.</p>	<p>AO18.1 No acceptable outcomes are provided.</p>

Table 7.2.4.4.b – Edmonton local plan building heights site cover and setbacks

Height	Site cover	Setbacks
All levels between 0 metres – 7.5 metres	100%	0 metres to all boundaries
All levels between 7.5 metres and 23.5 metres	50%	10 metres to primary street frontage; 5 metres to secondary street frontage; 5 metres to other boundaries

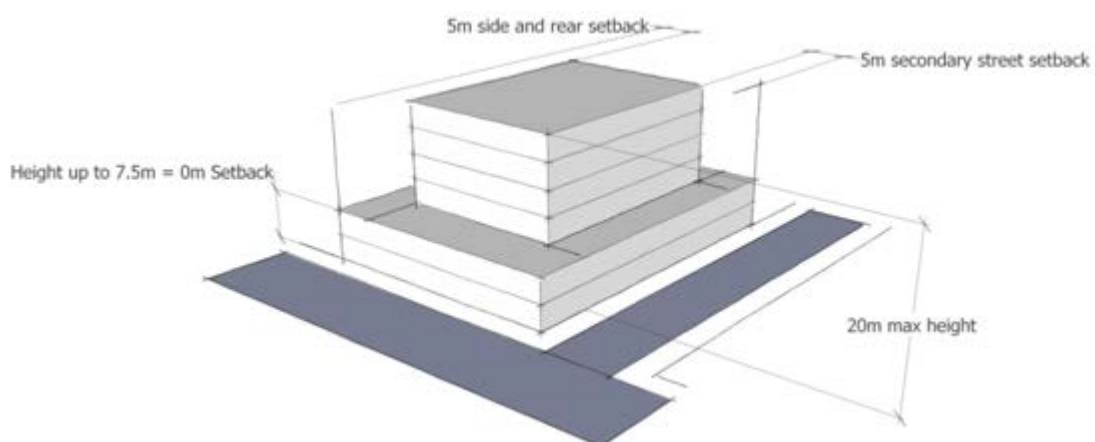


Figure 7.2.4.4.a – Height, setbacks and site cover for buildings in Precinct 1 – Edmonton Centre Core

7.2.5 Edmonton industry and business local plan code

7.2.5.1 Application

This code applies to assessing development within the Edmonton industry and business local plan area as shown on the Edmonton industry and business local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.5.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Edmonton industry and business local plan code.

Edmonton industry and business growth

The Edmonton industry and business local plan area is intended to be the major employment node and land supply for the Southern growth corridor for employment based uses, such as industries, business and technology and complementary mixed use (predominantly trades and service) facilities. Development in the local plan advances the economic development and employment focus which supports residential growth in Mount Peter and the Gordonvale local plan areas, along with the Edmonton Major centre in the Edmonton local plan and more generally across the Southern growth corridor.

The Initial development area in the north is planned in line with the seven development approvals for the Edmonton Business and Industry Park, established by Pregno Family Investments. This project represents a significant economic catalyst for development in the Local plan area and provides substantial support to the self-containment of the Southern growth corridor. A separate development front from Deppeller Road will provide for transport and heavier industries to establish meeting the Cairns Region's needs for activities of this nature and to support the significant infrastructure investment at its interchange with the Bruce Highway. Out of sequence growth and other urban or non-urban development forms (excluding infrastructure needs of the Cairns Region) do not establish to ensure they do not compromise the employment focus of the local plan area.

Public and active transport

It is intended that public transport routes be established as development of Greenfield sites takes place. The establishment of public transport services provides opportunities for residents, workers and visitors to access the area. Pedestrian and bicycle links provide links between communities, facilities and natural areas.

Current master planning for the Bruce Highway upgrade removes the existing east-west connections at the Roberts Road and Mill Road intersections. The internal road network and the north-south arterial road (Deppeller Road to Swallow Road) need to be designed and planned with short and long term objectives and land uses need to be aligned with the ultimate internal road network through structure plans.

Desired future community form

Key attributes of the future urban community of the Edmonton industry and business local plan area include:

- (1) A land use structure and form of development that is transit oriented and designed to support the use of public transport;
- (2) A major business/technology park and integrated industry and employment area that provides a significant quantity of jobs for residents of the Southern growth corridor;
- (3) High standards of environmental performance achieved through the protection, enhancement and management of the community's significant ecological assets and by designing all development such that it maintains and protects ecological integrity and processes, the physical condition, ecological health and environmental values of natural areas, coastal resources and surface and ground water systems;
- (4) High standards of tropical design and place making that contribute to the establishment of a strong sense of community identity;

- (5) Infrastructure and facilities that are provided to residents in a timely, cost effective, sustainable and equitable manner at the desired standard of service.

Strategic outcomes

To achieve the desired future form for the Edmonton industry and business local plan area, the following strategic outcomes have been integrated into the Edmonton industry and business local plan code:

Economic development and employment

The Edmonton industry and business local plan achieves a prosperous, strong, vibrant and sustainable economy, providing a rich mix of employment across a diversity of industries (including 'high order', professional employment) concentrated in identified employment areas, commercial precincts.

Biodiversity conservation

The extent, diversity, condition and connectivity of natural areas are protected, enhanced and appropriately managed to maintain and promote ecological integrity and processes.

Protection of waterways, wetlands and water quality

The physical condition, ecological health, environmental values and water quality of surface water and groundwater systems, including waterways, wetlands and estuaries is maintained and protected.

Coastal management

Natural coastal resources, including the coastal wetlands and marine ecosystems are protected and managed and accommodate the likely impacts of climate change. Tidal areas are managed to allow for natural fluctuations (including any that occur as a result of climate change) and to protect human life and property from the hazards of storm tide inundation or shoreline erosion.

Transport and mobility

Movement within and beyond local plan area is sustainable, convenient and safe. The transport system design makes it easier to walk, cycle and access public transport. The public transport system integrates with surrounding communities to reduce vehicle dependency. Connected and safe walking and cycling networks also contribute towards reduced car dependency.

Cultural heritage

The history and cultural heritage of the area is respected and maintained by identification and appropriate management of cultural heritage sites and places. These areas include, and are not limited to, Indigenous cultural heritage and historic sites associated with the former mining, timber and cane growing industries.

Integrated water cycle management

Water is managed on a total water cycle basis, balancing the uses of water and its role in the environment and recognising it is a valuable and finite regional resource.

Integrated and sustainable infrastructure

The planning and delivery of infrastructure is integrated in a way that maximises self-sufficiency and ensures delivery in a timely, cost effective and equitable manner at the desired standard of service. Infrastructure provision incorporates sustainable urban design principles.

Development assessment

It is recognised that many aspects of these strategic outcomes are integrated across the planning scheme and will be reflected in a number of elements of the planning scheme through the strategic framework, overlay codes, zone codes, development codes, the priority infrastructure plan and planning scheme policies.

A holistic, adaptable and sustainable approach will need to be taken to development assessment processes for structure plans and development activities within the Edmonton Industry and Business Local Plan area.

Development in the Local plan area is subject to approvals that are referenced in Schedule 4.

7.2.5.3 Purpose

- (1) The purpose of the Edmonton industry and business local plan code is to facilitate the overall outcomes and precinct specific outcomes of the code through a well-planned and strategic approach to development of the Southern growth corridor.
- (2) The purpose of the code will be achieved through the following overall outcomes:

Development sequencing and impacts of current activities

- (a) development in the Edmonton industry and business local plan area is consistent with the local plan structure to achieve the indicative community needs specified within in Table 7.2.5.4.b;
- (b) development ensures that the purpose and outcomes of the Mount Peter local plan, Edmonton local plan, and Gordonvale local plan are not compromised through inefficient use of land within the Edmonton industry and business local plan area;
- (c) land is developed sequentially from the north at Swallow Road, south at Deppeller Road and east along Thomson Road (on the northern side) within the Initial development area;
- (d) land outside the Initial development area , as identified on the Edmonton industry and business local plan maps contained in Schedule 2, is not developed for urban purposes until the area within the Initial development area is established for urban purposes and infrastructure is able to service land beyond the edge of the Initial development area;
- (e) development within the Initial development area does not compromise the overall outcomes for development of the balance of the local plan area (i.e. within the areas outside the Initial development area);
- (f) new development which is potentially incompatible with urban development is not established in the local plan area where such uses would constrain the efficient expansion of urban development in the future;
- (g) areas currently utilised for primary production continue to be used for this purpose.

Structure planning and place making

- (h) development contributes to an integrated and coordinated community and provides a structure that considers future development, infrastructure provision, land use allocations and defined centres, recreation, living and natural environment.

Economic development and employment

- (i) economic development within the Edmonton industry and business local plan area creates employment, attracts investment and services and enhances the region’s environment, lifestyle and community, encouraging economic sectors that capitalise on regional and sub-regional competitive advantages and specialisations as well as new opportunities for growth. These include:
 - (i) knowledge-based businesses in sectors including professional business services, health and education;
 - (ii) more knowledge intensive applications to existing industries including export-oriented ‘high-tech’ manufacturing, scientific and technical services and research and development in primary industries, mining, environmental management and tropical design and living.
- (j) development contributes to the local plan area being a regional attractor for employment within the Southern growth corridor focusing on manufacturing, service provision and research and development that builds on the focus of regional advantages and specialisations.

Transport and mobility

- (k) communities are serviced by a functional and safe road network with an efficient internal circulation system and connectivity to the Bruce Highway in line with needs and future plans;
- (l) development enables public transport through the provision of an efficient road network.;
- (m) the ultimate intensity and density of development is higher around transit nodes than other areas;
- (n) ensure development does not adversely affect the safety and operational integrity of the North Coast rail line or associated existing or future infrastructure including the open level crossing of Thompson Road;
- (o) transport infrastructure is designed to a standard that meets the needs of the transport based industry.

Community facilities, open space and sport and recreation facilities

- (p) a range of community facilities, open space areas and sport and recreation facilities are provided to respond to local needs, encourage active community participation and hard to locate sporting activities.

Precinct 1 – Business, trades and service employment

- (3) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
 - (a) development complements and support the retail, commercial and community focus of the nearby Edmonton Major centre and supporting District centres;
 - (b) employment uses in this area includes commercial and some retail activities/large format retail activities;
 - (c) development provides a regional economic and employment attractor;
 - (d) development in the precinct incorporates a high standard of urban design and landscaping that creates attractive tropical buildings, streets and spaces;
 - (e) development avoids conflicts with and protects the amenity of adjacent residential areas.

Precinct 2 – Industry employment

- (4) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
 - (a) the structure of the Industry employment precinct is planned and provided with sufficient range of lot sizes and regular shapes to become a regional attractor for employment;
 - (b) a strong focus of land uses is made towards the emergence of new industry activities includes high-technology, low-impact manufacturing, service provision and research and development that builds on the Region's focus on regional and sub-regional advantages and specialisations;
 - (c) development accommodates service, low impact and moderate impact industrial uses requiring larger footprints, primarily of a small-scale, such as; wholesale trade uses, construction industry uses (including fabrication and assembly) and the servicing and maintenance / repair of machinery and equipment (including agricultural and mining equipment);
 - (d) development and structure plans provide for a number of local convenience uses to support employment and which complement the role and function of the Mixed Use Centre Precinct;
 - (e) development in the precinct incorporates a high standard of urban design and landscaping that creates attractive streets and spaces;
 - (f) development avoids conflicts with and protects the amenity of adjacent residential areas.

Precinct 3 – Transport and high impact industries

- (5) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) the Transport and high impact industries precinct is to be sequentially developed from the Bruce Highway, towards the north;
 - (b) the Transport based industry precinct is located on the regional transport network and is to be developed for small to medium scale transport operators, such as couriers, freight forwarders, local small trucking delivery services and small to medium scaled logistics (Note - Logistics includes warehouses);
 - (c) development in the precinct incorporates a high standard of urban design and landscaping;
 - (d) development in the precinct avoids conflicts with and protects the amenity of surrounding residential areas/sensitive land uses.

Precinct 4 – Mixed use centre

- (6) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) development complements and support the retail, commercial and community focus of the nearby Edmonton Major centre and supporting District centres;
 - (b) employment uses in this area includes commercial office activities, service provision, research and development, larger floor area commercial activities such as call centre uses, data processing centres and some retail activities/large format retail activities;
 - (c) development provides for education facilities, child care and hospital, health hubs, and health centre/services, which will provide economic and employment attractor;
 - (d) development in the precinct incorporates a high standard of urban design and landscaping that creates attractive tropical buildings, streets and spaces;
 - (e) development avoids conflicts with and protects the amenity of adjacent residential areas.

Precinct 5 – Existing employment

- (7) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) development in the precinct predominately provides a range of service, light and moderate impact industry uses in conjunction with complementary ancillary uses such as food and drink outlets, indoor sport and recreation and small scale professional businesses.

Precinct 6 – Existing community

- (8) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) the precinct remains a low density residential area within close proximity to the Bruce Highway;
 - (b) development in the precinct is to be complementary to the low scale nature of the precinct, until employment and centre activities provide for renewal opportunities.

Precinct 7 – High impact sports

- (9) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) development consolidates sporting and recreational activities which are difficult to locate within urban environments;
 - (b) development other than sports that are noisy or require a controlled environment to operate within, does not compromise the ability to provide for these difficult to locate sporting and recreational activities.

Precinct 8 – Future investigation

- (10) In addition to 7.2.5.3(2), the overall outcomes sought for the precinct are:
- (a) development is supported by an investigation into the feasibility of the land utility and achieves the following:
 - (i) land use provides for a range of uses that transition between the industry to the west and the High Impact Sports Precinct to the east;
 - (ii) land use is compatible with the nature of impacts associated with the adjacent precincts and the environmentally sensitive receiving environments in its surrounds.

7.2.5.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.5.4.a – Edmonton industry and business local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Structure planning	
<p>PO1 A structure plan is prepared outlining the manner in which the development outcomes have been integrated with respect to the following, including precinct specific outcomes:</p> <ul style="list-style-type: none"> (a) development sequencing (b) structure of communities and place making; (c) economic development and employment; (d) transport and mobility; (e) community facilities and recreation land; (f) infrastructure networks; (g) centres design; (h) overlay outcomes. <p>Note – Planning scheme policy – Structure plans provides guidance on the preparation of a structure plan.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
<p>PO2 Development ensures the purpose and outcomes of the following local plans are not compromised through inefficient use of land within the Edmonton industry and business local plan area:</p> <ul style="list-style-type: none"> (a) Mount peter local plan; (b) Edmonton local plan; (c) Gordonvale local plan. 	<p>AO2.1 Development achieves the minimum employment needs and community infrastructure needs, as outlined within Structure Plans and Table 7.2.5.4.b.</p>

Performance outcomes	Acceptable outcomes
Development sequencing	
<p>PO3 Development occurs within the Initial development area as identified on the Edmonton industry and business local plan maps contained in Schedule 2 to ensure the timely and cost-efficient rollout of infrastructure and employment areas.</p>	<p>AO3.1 Development of land within the Initial development area is consistent with all preliminary approvals, development permits and infrastructure agreements.</p> <hr/> <p>AO3.2 Land outside the Initial development area is not developed for urban purposes until the area within the Initial development area is substantially established and infrastructure is able to service land beyond the edge of the Initial development area;</p> <p>or</p> <p>AO3.3 The provision of infrastructure for future communities, including roads, community facilities, open space, sport and recreation facilities, telecommunications (where underground), water, sewerage, and electricity, is not impeded by the Initial development area.</p> <p>Note - Telecommunication infrastructure in this acceptable outcome does not include high impact telecommunications facilities (e.g. telecommunication towers).</p>
<p>PO4 Development within the Initial development area does not compromise the ability for future precincts to achieve the overall outcomes sought for the local plan.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Non-urban development	
<p>PO5 Non-urban development is only established where it does not constrain the efficient expansion of urban development in the future.</p>	<p>AO5.1 Development does not constrain the efficient expansion of urban development.</p> <hr/> <p>AO5.2 Development is compatible with urban development when it is established on adjacent land.</p>

Performance outcomes	Acceptable outcomes
Interim development forms	
<p>PO6 Development which is not in its ultimate intended form does not compromise the achievement of such desired form.</p>	<p>AO6.1 The structure plan identifies acceptable interim land uses, built form and design outcomes which will not compromise or be incompatible with ultimate intended form for the local plan area and the holding of land for the following land use and infrastructure categories: (a) industry activities; (b) business activities; (c) community facilities; (d) open space and recreation facilities.</p> <p>AO6.2 The use of land, which is inconsistent or incompatible with the ultimate form of development is not established; or</p> <p>AO6.3 The use of land, which is inconsistent or incompatible with the ultimate form of development has a limited life or ceases operation when urban development is established on adjacent land.</p>
Additional requirements for Precinct 3 - Transport and high impact industries	
<p>PO7 Development avoids conflicts with, and protects the amenity of surrounding residential areas and sensitive uses and human health and well-being.</p>	<p>AO7.1 Development involving a High impact industry uses and areas that may be allocated for future High impact industry uses, within 500m of a sensitive use or existing or future residential area, are established only where they are supported by an assessment of potential impact from: (a) emissions; (b) noise; (c) dust and particles; (d) light; (e) odour; (f) traffic; (g) any other matter that may give rise to environmental harm.</p> <p>AO7.2 Where an assessment is required in accordance with AO7.1, the assessment is supported by an environmental management plan and demonstration of the management of the impacts to avoid potential conflicts. Note – Planning scheme policy – Environmental management plans provides guidance on the preparation of an environmental management plan.</p>

Performance outcomes	Acceptable outcomes
	<p>A07.3 Intra-urban breaks are established between Precinct 3 – Transport and high impact industries and Precinct 6 – Existing residential community.</p>

Table 7.2.5.4.b - Indicative community needs to be accommodated within the local plan area.

Community need category	Edmonton industry and business local plan area
Dwelling yield	<p>No additional dwellings are sought within the local plan area. Note – Residential development may be established where it contributes to a mixed use area without compromising the ability to provide for the employment needs of the Southern growth corridor.</p>
Retail	<p>Approximately 2,500m² within Precinct 4 - Mixed use centre. Note – This notes only that needed. Demonstration of need for greater supply of retail floor areas may be requested.</p>
Employment	<p>Approximately 9,450 jobs.</p>
Open space and recreation	<p>Local park(s) and District recreational park(s).</p>

7.2.6 Gordonvale local plan code

7.2.6.1 Application

This code applies to development within the Gordonvale local plan area as shown on the Gordonvale local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.6.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Gordonvale local plan code.

The Gordonvale local plan area is located in the southern part of the Cairns region approximately 23km south of Cairns City along the Bruce Highway. The local plan area includes the town of Gordonvale and its surrounding suburban neighbourhoods. The town services an area beyond the local plan boundary and this is reflected in its identified role as a District centre.

Gordonvale is a small township separate from the city and suburbs of Cairns and is characterised by many distinctive features. Natural features of the area include the Mulgrave River which provides scenic open space and recreation areas for the town, and Walsh's Pyramid which stands at 922m and along with surrounding mountain ranges forms the backdrop to the township. Vast cane fields characterise the Gordonvale area which supports and is supported by the Mulgrave sugar mill in the centre of the town. The Gordonvale railway station is also situated in the town centre and is serviced by the North Coast Railway.

The town of Gordonvale, formerly called Nelson, was surveyed in 1899 after the opening of the Mulgrave Mill in 1896. Prior to this some settlement had occurred along Swan Street. The design of the Gordonvale township was based around the central Norman Park, which is surrounded by the mill and railway, a Government precinct and the commercial, retail and entertainment centre of the town. A grid pattern of traditional sized residential allotments extends to the north and south of the town centre and includes a mix of small scale commercial and community services, some multiple dwellings and dual occupancies, with the balance being detached houses.

One of the major distinguishing features of Gordonvale is its local character and historical cultural significance. The town is an example of a highly intact sugar town from the interwar period with some of its key features being low building heights, intact streetscapes of historical buildings, a majority of intact masonry commercial buildings from the 1920s, the prominence of verandahs and awnings over the footpaths and a sense of spaciousness taking in views across open space areas to the mill, Walsh's Pyramid and surrounding mountain ranges.

Historical laneways running north-south throughout the town centre service the rear of many properties and offer alternative access to residential and commercial areas. The town centre and surrounding residential areas strongly reflect the town's history and conservation value as an early sugar town with a number of places of local significance and neighbourhood character streetscapes of Neighbourhood character places.

The town centre of Gordonvale is surrounded by low density residential living, rural lifestyle areas and productive farm lands. The Gordonvale District centre and associated industrial areas continue to serve these areas and the residents with goods and services. The Bruce Highway separates the town centre from much of the surrounding residential population. Connectivity across this divide is important for the residents and businesses of the town.

Future residential growth in the local plan area will come in the form of increased densities in existing residential areas and the sequential development of land zoned for this purpose. Opportunity exists to provide increased dwelling mix and density around the town centre and in the Gordonvale suburban area. The Maher Road precinct has been identified as the preferred site for future residential expansion. Development will need to consider access to the site and its relationship with the north coast railway and the Bruce Highway. Connectivity with the town centre, protection of natural features and potential impacts of flooding will also be important considerations.

Residential expansion in the Draper Road precinct will be sequenced in accordance with an approved structure plan for the site. The precinct will also contain a range of land uses with a focus on community infrastructure and open space to support the growing residential communities.

The major employment node for the town is the Mulgrave Mill located in the town centre. The operation of the mill will continue to support the town while opportunities exist to improve the cohesion between the mill and the adjacent commercial area. Future needs for industrial and employment land will be facilitated in appropriately zoned areas which will meet the town's low impact and service industry needs. The Riverstone Road precinct will be developed with consideration to significant views and vistas of the Pyramid gained across the site for south bound traffic on the Bruce Highway. The sequencing of development will result in the areas closest to the town being developed first.

Gordonvale possesses significant recreation opportunities and facilities. The sport and recreation land that the Alley Park master plan will deliver will provide regionally significant facilities to complement existing parks and sporting facilities including the racetrack, golf course, AFL grounds and the Johnson Park sporting area. Future sport and community uses should aim to co-locate and make use of multi-purpose facilities. Low key recreation areas, including Green Patch, are also important to the town.

Gordonvale also has a number of specialised health care facilities including the Gordonvale Hospital which serves as a specialist palliative care centre, the Young Lifestyle Care Facility and Day Respite Care Facility provided by St John's Community Care and the Pyramid Retirement Centre. These health care facilities service both Gordonvale and the wider Cairns region.

Development on the south-western corner of the Draper Road and Bruce Highway intersection is subject to a preliminary approval issued on 8 November 2013 and is referenced in Schedule 4.

7.2.6.3 Purpose

- (1) The purpose of the Gordonvale local plan code is to facilitate locally relevant planning outcomes to maintain and enhance the township of Gordonvale to support the local community and surrounding rural areas whilst protecting the significant history, heritage and character values of the town.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development in the Gordonvale local plan area is responsive to the community, character and amenity values of the town;
 - (b) development maintains and enhances the built form, local character, streetscapes and natural elements of the town;
 - (c) significant views and vistas to Walsh's Pyramid and mountain ranges are maintained;
 - (d) development protects the recognisable character and local heritage of Gordonvale;
 - (e) the Gordonvale town centre will continue to be the administrative, commercial and industrial centre for the Gordonvale area;
 - (f) conflicts between different land uses, such as residential, commercial, agricultural and industrial land uses are minimised;

- (g) residential land is developed sequentially to ensure efficient provision of infrastructure; a greater mix and density of dwellings establishes around the town centre and suburban neighbourhoods whilst maintaining the character of Gordonvale;
- (h) connectivity within the local plan area is enhanced providing links between the eastern and western sides of the Bruce Highway;
- (i) co-location of community and sporting infrastructure and facilities is encouraged to create efficient use of land and resources;
- (j) co-location of community and health care facilities is encouraged to create efficient use of land and resources;
- (k) Green Patch remains a low key recreational area with any improvements respectful of the flooding constraints of the site;
- (l) pedestrian and cycle paths are established to provide linkages between the town centre and suburban neighbourhoods particularly enabling access across the Bruce Highway;
- (m) centres are complemented by the establishment of community infrastructure and community-oriented uses and higher residential densities;
- (n) land uses and built form supports public transport infrastructure and facilities.

Precinct 1 – Town centre

- (3) In addition to 7.2.6.3(2), the overall outcomes sought for the precinct are:
 - (a) development in the town centre complements the character, built form, and traditional streetscapes of the precinct;
 - (b) a strong sense of local identity is maintained through the retention and adaptive re-use of the existing buildings;
 - (c) development supports the role and function of Gordonvale as a District centre meeting the needs of the local community and surrounding rural areas;
 - (d) rear laneways are utilised to facilitate a greater density of housing and provide access to car parking for commercial uses;
 - (e) the precinct contains the major retail, commercial, civic and entertainment uses servicing the local plan area.

Precinct 2 – Maher Road

- (4) In addition to 7.2.6.3(2), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for residential development;
 - (b) the precinct is developed in a sequential manner to avoid disconnected development patterns;
 - (c) development is planned with limited access to Maher Road and maximises an internal network of local roads;
 - (d) pedestrian and cycle linkages are established between residential development and Precinct 1 – Town centre;
 - (e) development other than residential development is compatible with the residential amenity of the precinct.

Precinct 3 – Riverstone Road

- (5) In addition to 7.2.6.3(2), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for industry development and other compatible land uses;
 - (b) development protects significant views to Walsh's Pyramid from the Bruce Highway;
 - (c) development accommodates the town and surrounding rural area's industry and service industry needs and provides local employment both in the immediate term and longer term beyond the life of this planning scheme;
 - (d) development and structure plans provide for a number of local convenience uses to support employment and which complement the role of the town centre;
 - (e) industrial development mitigates adverse impacts on sensitive land uses;

- (f) development is sequenced to ensure areas closest to the town centre are established first.

Precinct 4 – Draper Road

- (6) In addition to 7.2.6.3(2), the overall outcomes sought for the precinct are:
 - (a) development provides for a range of land uses, dwelling types and compositions that support the growing residential neighbourhoods;
 - (b) development occurs sequentially north from Draper Road, providing for connections into the Mount Peter local plan area;
 - (c) establishment of centre activities in this precinct does not undermine the role and function of the District centre in Precinct 1 – Town centre;
 - (d) community infrastructure and open space is designed and located as key focal points for the community;
 - (e) impacts of development on existing residential areas are minimised;
 - (f) the precinct is predominantly residential and other uses and activities are of neighbourhood level of activity;
 - (g) the character the rural residential living area (commonly known as Meringa) north of Precinct 4 – Draper Road, is protected from potential adverse impacts of urban development by incorporating mitigation measures in the design and layout of development.

Precinct 5 – Mill

- (7) In addition to 7.2.6.3(2), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for the continued operation of the Mulgrave Mill.
 - (b) allow for the establishment of compatible allied industrial uses where potential impacts on nearby residential and commercial properties can be appropriately mitigated.

7.2.6.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.6.4.a – Gordonvale local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Development in the local plan area generally	
<p>PO1 Development is consistent with the purpose and overall outcomes sought for the Gordonvale local plan area.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
<p>PO2 Development contributes to the establishment of a sense of arrival to Gordonvale.</p>	<p>AO2.1 Development adjacent to a gateway site identified on the Gordonvale local plan maps contained in Schedule 2 incorporates aesthetic treatments, landscaping and other design elements to enhance the sense of arrival into Gordonvale.</p> <p>Note – Refer to the definition of Gateway site contained in Schedule 1.2.</p>

Performance outcomes	Acceptable outcomes
<p>PO3 Buildings and structures complement the height of surrounding development and buildings are limited to two storeys.</p> <p>Note – Where a proposed development exceeds the height stated in AO3.1, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO3.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>
<p>PO4 Development is consistent with and reflects the traditional town character of Gordonvale.</p>	<p>AO4.1 Development provides for the retention and/or adaptive re-use of buildings which have cultural heritage or character streetscape significance.</p>
Centres	
<p>PO5 Centres are complemented by the establishment of community infrastructure and community-oriented uses and higher residential densities.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 1 – Town centre	
<p>PO6 Development provides on-site car parking and vehicular access which does not dominate the streetscape.</p>	<p>AO6.1 On-site car parking is located behind existing or new buildings.</p>
<p>PO7 Where the site has frontage to a laneway: (a) car parking areas are located at the rear; (b) the laneway is utilised to access rear car parking areas.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>PO8 Development in the town centre complements the traditional character and built form of the streetscape.</p>	<p>AO8.1 Development in the town centre: (a) is constructed with a zero metre setback from street frontages and continues the scale of the existing built form and roof form; (b) provides a ground level façade which consists of windows, wall openings or shop fronts; (c) includes windows and balconies on upper levels facing the street; (d) ensures any air conditioning plant is screened from the street frontage and public view by use of architectural features.</p>
<p>PO9 Development enhances pedestrian comfort and connectivity throughout the town centre.</p>	<p>AO9.1 Buildings provide continuous pedestrian weather protection over the footpath which: (a) is non-transparent; (b) is cantilevered from the building or uses non load bearing posts; (c) includes under awning lighting; (d) is consistent with other pedestrian awnings in the precinct.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Precinct 2 – Maher Road	
<p>PO10 Development in the precinct:</p> <ul style="list-style-type: none"> (a) is sequenced to avoid the creation of disconnected pockets of development; (b) has limited access to Maher Road and utilises internal road networks. 	<p>AO10.1 No acceptable outcomes are provided.</p>
<p>PO11 Development incorporates pedestrian and cycle linkages for ease of access to the Town centre.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 3 – Riverstone Road	
<p>PO12 Development in the precinct:</p> <ul style="list-style-type: none"> (a) is of a low scale and does not detract from the scenic backdrop; (b) does not interrupt views to key landmarks; (c) primarily services the needs of the local catchment; (d) is screened from existing and future residential areas by landscaping and provides appropriate buffering. 	<p>AO12.1 No acceptable outcomes are provided.</p>
<p>PO13 Access to the site is via dedicated roadway entrance from Riverstone Road with adequate separation from the Gillies Highway and Bruce Highway intersection.</p>	<p>AO13.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 4 – Draper Road	
<p>PO14 Development in the precinct:</p> <ul style="list-style-type: none"> (a) is sequenced from Draper Road north to Mackey Creek; (b) provides for a range of housing needs; (c) delivers pedestrian, cycle and vehicular connections to surrounding communities; (d) provides community facilities, open space and recreation land as key focal points; (e) delivers integrated infrastructure networks; (f) is designed to meet overlay outcomes. 	<p>AO14.1 A structure plan supports development proposing reconfiguration of land or material change of use and achieves the dwelling yields identified in Table 7.2.6.4 b.</p> <p>Note – Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning.</p>
<p>PO15 Development mitigates adverse impacts on existing rural residential areas to maintain their character, amenity and mix of small scale rural activities.</p>	<p>AO15.1 No acceptable outcomes are provided.</p>

Table 7.2.7.4.b – Dwelling Yields for Precinct 4 – Draper Road

Precinct	Target dwelling yields	Ultimate dwelling yields
Precinct 4 – Draper Road	1170 dwellings	1460 dwellings

7.2.7 Mount Peter local plan code

7.2.7.1 Application

The Mount Peter local plan code applies to assessing development within the Mount Peter local plan area as shown on the Mount Peter local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.7.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Mount Peter local plan code.

Physical attributes

The dominant features of the District are the low lying alluvial plains of the Trinity Inlet Catchment and the steep vegetated ranges to the west and south of the district which form part of the Wet Tropics World Heritage Area. A number of waterways traverse the area including Wrights Creek which traverses the centre of the local plan area and Peterson Creek and Mackey Creek which defines the northern and southern boundaries of the local plan area respectively.

The scenic qualities of Mount Peter contribute significantly to the character, landscape qualities and appeal of the Cairns city as a whole. The local plan area contains significant natural areas which are important to the conservation of biodiversity. Many of these areas are included in the Wet Tropics World Heritage Area. These areas together with the remaining vegetation and riparian corridors should be maintained, enhanced, conserved and appropriately managed as part of the open space network. Similarly, the hillslopes which provide such a dramatic backdrop to the area should be retained in their existing state. Connectivity between the remaining vegetation should be achieved by providing links and corridors between vegetated areas, waterways and the hillslopes.

Urban development

Urban development is intended to occur in areas previously cleared for rural purposes. Mount Peter is proposed to accommodate much of the population growth expected in the Southern growth corridor. The opportunities for residential living extend from lower density and conventional residential living on the western periphery of Mount Peter, and medium to higher density residential living in areas close to centres, community services, facilities and public transport. New residential development should achieve an efficient use of land and should foster the growth of residential communities with recognisable character and a sense of place.

Economic development and employment

Across the local plan area there are opportunities for the integrated development of commercial, retail, business facilities, community and service facilities in and adjacent to centres. The establishment of centres are intended to service the developing residential areas across the local plan and to provide employment opportunities for the local plan and for communities within the adjoining districts. Land to the east of the Bruce Highway (which is located within the Edmonton industry and business local plan) is intended for employment based uses, such as low impact industrial, transport-based industries, business/technology park and complementary mixed use industry based facilities and is intended to play a key role as a major employment node for Mount Peter and the Southern growth corridor. Low intensity tourist activities based on appreciation and enjoyment of the natural environment are considered to be acceptable in the area, provided there are no adverse impacts on natural areas. The extraction of sand, gravel and hard rock, occurring at the south western extent of the Local plan area will continue throughout the development of Mount Peter.

Public and active transport

It is intended that public transport routes be established as development of greenfield sites takes place. The establishment of public transport services provides opportunities for residents, workers and visitors to access the area. Pedestrian and bicycle links provide links between communities, facilities and natural areas.

Desired future community form

Key attributes of the future urban community of the Mount Peter local plan area include:

- (1) A land use structure and form of development that is transit oriented and designed to support the use of public and active transport modes over private vehicle use;
- (2) A network of centres, that complement the hierarchy of centres, and accommodate major employment and other centre functions including retail facilities, community facilities, public transport interchanges, civic and cultural facilities necessary to meet the needs of the Mount Peter urban community and promote high levels of community self-containment;
- (3) An interconnected environmental and urban open space system that frames individual urban villages, provides for the protection of significant natural areas and environmental values and accommodates sport and recreation facilities that promote active living and healthy lifestyles;
- (4) High standards of environmental performance are achieved through the protection, enhancement and management of the community’s significant ecological assets and by designing all development such that it maintains and protects ecological integrity and processes, the physical condition, ecological health and environmental values of natural areas, and surface and ground water systems;
- (5) A diversity of lot sizes and housing types that meet the lifecycle needs of residents and provide opportunities for affordable living, with the highest density of residential development located close to centres and public transport;
- (6) High standards of tropical design and place making that contribute to the establishment of Mount Peter as an attractive, comfortable place to live with a strong sense of community identity;
- (7) Infrastructure and facilities that are provided to residents in a timely, cost effective, sustainable and equitable manner at the desired standard of service.

Strategic outcomes

To achieve the desired future community form for the Mount Peter local plan the following strategic outcomes have been facilitated into the Mount Peter local plan code:

Economic Development and Employment

Mount Peter achieves a prosperous, strong, vibrant and sustainable economy, providing employment across a diversity of interconnected centres with a high proportion of people living and working in Mount Peter.

Biodiversity Conservation

The extent, diversity, condition and connectivity of natural areas are protected, enhanced and appropriately managed to maintain and promote ecological integrity and processes.

Protection of waterways, wetlands and water quality

The physical condition, ecological health, environmental values and water quality of surface water and groundwater systems, including waterways, wetlands and is maintained and protected.

Transport and Mobility

Movement within and to areas beyond the local plan area is sustainable, convenient and safe. The transport system design makes it easier to walk, cycle and access public transport. The public transport system integrates with centres, residential development, education and employment hubs to reduce vehicle dependency. Connected and safe walking and cycling networks also contribute towards reduced car dependency.

Strong and Sustainable Community

Residents enjoy a range of quality services, facilities and community events and feel a strong sense of identity, safety and security. Communities are connected and in addition to high standards of services residents enjoy the physical environment of an urban setting that responds to the climatic environments and mitigates environmental impacts through sensitive and smart urban design.

Community Facilities

The current and future social needs of the Mount Peter community are met through the coordinated planning and provision of a range of community facilities and services (including schools, churches, community centres, libraries, cultural facilities, child care services, health and support services, justice and emergency services).

Cultural Heritage

The history and cultural heritage of Mount Peter is respected. These areas include, and are not limited to, Indigenous cultural heritage and historic sites associated with the former mining, timber and cane growing industries.

Place-making

Mount Peter establishes a sustainable approach to urban development through a considered mix of residential, open space, community and employment uses. Centres within Mount Peter become the focal point of urban life, supported by economic drivers, catalysts and high frequency public transport services. The centres develop to support a variety of needs and integrate with the higher level of service of Edmonton Town Centre and the Gordonvale District Centre.

Housing Types

Housing diversity responds to the needs of the community, through the provision of a diverse and affordable housing choice that is responsive to the changing demographic structure of the Mount Peter population, promoting social diversity and equitable access to goods and services. Housing typologies and densities are achieved through a phased approach to development.

Active and Passive Recreation

Residents in the Mount Peter local plan area are provided with sporting and recreation facilities which promote active living and healthy lifestyles through opportunities for play, sport, walking and cycling. Incidental physical activity is provided for through passive recreation opportunities in local parks, linear open space links and a connected street network.

Integrated Water Cycle Management

Water is managed on a total water cycle basis, balancing the uses of water and its role in the environment and recognising it is a valuable and finite regional resource.

Integrated & Sustainable Infrastructure

The planning and delivery of infrastructure is integrated in a way that maximises self-sufficiency and ensures delivery in a timely, cost effective and equitable manner at the desired standard of service. Infrastructure provision incorporates sustainable urban design principles.

Development assessment

It is recognised that many aspects of these strategic outcomes are integrated across the planning scheme and will be reflected in a number of elements of the planning scheme through the strategic framework, overlay codes, zone codes, use codes, general codes, infrastructure plans and planning scheme policies. A holistic, adaptable and sustainable approach will need to be taken to development assessment processes for structure plans and development activities within the Mount Peter local plan area.

7.2.7.3 Purpose

- (1) The purpose of the Mount Peter local plan code is to facilitate the overall outcomes and precinct specific outcomes of the code through a well-planned, strategic and integrated approach to development of new communities in the Southern growth corridor.
- (2) The purpose of the code will be achieved through the following overall outcomes:

Development sequencing and impacts of current activities

- (a) development in the Mount Peter local plan area is consistent with the overall structure to achieve the indicative community needs specified for each Precinct in Table 7.2.7.4.b;
- (b) development ensures the purpose and overall outcomes of the Edmonton industry and business local plan the Gordonvale local plan and the Edmonton local plan are not compromised through inefficient use of land within the Mount Peter local plan area;
- (c) land is developed sequentially from the north;
- (d) land beyond the Initial development area as identified on the Mount Peter local plan maps contained in Schedule 2, is not developed for urban purposes until the area within the Initial development area is established for urban purposes and infrastructure has been brought to the edge of the Initial development area which is able to service land beyond the Initial development area;
- (e) development within the Initial development area does not compromise the overall outcomes for development of the balance of the local plan area (i.e. within the areas outside the Initial development area);
- (f) new development which is potentially incompatible with urban development is not established in the local plan area where such uses would constrain the efficient expansion of urban development in the future;
- (g) development does not compromise the operation of existing resource extraction activities;
- (h) areas currently utilised for primary production continue to be used for this purpose for the longest extent possible.

Structure planning and place making

- (i) development contributes to an integrated and coordinated community and provides a structure that considers future development, infrastructure provision, land use allocations and defined places of activity, recreation, living and natural environment.

Economic development and employment

- (j) economic development within the Mount Peter local plan area creates employment, attracts investment and services and enhances the region’s environment, lifestyle and community;
- (k) provide for the continuation of extractive industries, poultry farms and aquaculture on an interim basis and for the appropriate use of separation distances and buffer areas;
- (l) new centres within the Mount Peter local plan area are of a scale, and incorporate functions, that are consistent with the role of that centre in the centres hierarchy and occur in an orderly and sequenced manner that does not unreasonably impact upon other existing and planned centres outside of the Mount Peter local plan area.

Housing choice and diversity

- (m) development provides a range of housing forms and styles that can achieve the desired level of self-containment;



- (n) adaptable housing is encouraged to meet the needs of the community through its life cycle.

Transport and mobility

- (o) communities are serviced by a functional and safe road network with an efficient internal circulation system and connectivity to the Bruce Highway;
- (p) a public transport system is enabled by establishing a network of supportive roads and efficient subdivision layouts;
- (q) the ultimate intensity and density of development is higher around transit nodes than other areas.

Community facilities

- (r) A range of community facilities are:
 - (i) provided to respond to local needs, encourage active community participation and healthy lifestyles and help build the life and identity of the community;
 - (ii) established in locations which are convenient and highly accessible to the communities they serve;
 - (iii) located, sized and designed to maximise opportunities for co-location and sharing of land between educational facilities, sport and recreation facilities and other community facilities.

Recreation opportunities

- (s) A range of parks, sport and recreation spaces provide:
 - (i) accessible, functional and appealing open space areas and facilities which promote active living and healthy lifestyles through opportunities for recreation, sport, walking, cycling and play;
 - (ii) a network of open space and sport and recreation land is provided throughout the Mount Peter Local Plan area;
 - (iii) a range of low impact environmental recreation and educational opportunities and outdoor experiences compatible with the protection of ecological values.

Centres

- (t) Centres are established generally in locations identified on the Mount Peter local plan maps contained in Schedule 2, and:
 - (iii) complement and reinforce the role and function of nearby centres and employment nodes, recognising that Edmonton is the Major centre for the Southern growth corridor;
 - (iv) are developed predominantly in the form of active street frontages, as opposed to fully enclosed retail formats;
 - (v) are established with two key precincts; a core and a frame:
 - (A) within the Core precinct, development is predominantly retail, commercial, and civic and community facilities at a high intensity;
 - (B) within the Frame precinct, development is of a lesser intensity and provides for residential (at higher densities), retail and local service and community needs, acting as a transition from centre to residential neighbourhoods.
- (u) local and neighbourhood centres provide for a range of small scale retail and commercial uses and encourage open space and community infrastructure as focal points within communities;
- (v) mixed use centres are developed for major elements of the community facilities infrastructure network not otherwise accommodated within the planned centres;
- (w) integrate public transport infrastructure and facilities.

Precinct 1 - Conservation

- (3) In addition to 7.2.7.3(2), the overall outcomes sought for the precinct are:
- (a) development, other than infrastructure for access corridors, community needs and environmentally compatible uses and activities (i.e. environmental education and interpretive signage, shared use trails and associated amenities, is not established;
 - (b) development is compatible with the purpose of the precinct which provides for the protection and enhancement of important environmental and landscape values and comprises land which is to remain undeveloped for urban purposes.

Precinct 2 - Cooper Road

- (4) In addition to 7.2.7.3(2), the overall outcomes sought for the precinct are:
- (a) development facilitates a Local centre;
 - (b) the centre is sited in s location and supported by infrastructure that is highly accessibility to future public transport routes and facilities, and surrounding communities;
 - (c) the Edmonton Major centre and the Maitland Road District centre are higher order centres than the Cooper Road precinct Local centre;
 - (d) structure plans and subdivision layouts ensures the ultimate form of the local centre is compact and walkable with varying building heights reflecting the ultimate form and intensity of development for the district centre;
 - (e) development achieve the intensity and form desired for the district centre or interim development allows for its ultimate compact form to be achieved over the longer term;
 - (f) development on land identified within structure plans and subdivision layouts to provide for community infrastructure and facilities, open space and sport and recreation activities does not compromise the achievement of its intended land use.

Precinct 3 - Maitland Road

- (5) In addition to 7.2.7.3(2), the overall outcomes sought for the precinct are:
- (a) the precinct is situated outside the Initial development area and is not to be developed within the life of this planning scheme;
 - (b) future development facilitates the district centre to the south of Maitland Road, in the location generally shown on the Mount Peter local plan maps contained in Schedule 2;
 - (c) the centre is in a location that is supported by infrastructure and is highly accessibility to future public transport routes and facilities;
 - (d) the district centre supports the Edmonton Major centre, the Gordonvale district centre and the hierarchy of centres across the region;
 - (e) structure plans and lot layouts ensures the ultimate form of the district centre is compact and walkable with varying building heights reflecting the ultimate form and intensity of development for the district centre core and frame;
 - (f) development achieves the intensity and form desired for the district centre or interim development allows for its ultimate compact form to be achieved;
 - (g) development on land identified within structure plans and subdivision layouts to provide for community infrastructure and facilities, open space and sport and recreation activities does not compromise the achievement of its intended land use.

Precinct 4 - Future urban communities

- (6) In addition to 7.2.7.3(2), the overall outcomes sought for the precinct are:
 - (a) the precinct is situated outside the Initial development area;
 - (b) future development within the precinct is established as a series of interconnected, walkable and transport supportive residential neighbourhoods;
 - (c) development in the precinct provides for a range of residential living environments that accommodate a diversity of lifestyles and recognise the particular character and environmental attributes of different parts of the local plan area;
 - (d) future development in the precinct incorporates transport and open space infrastructure networks that provide a high level of permeability and connectivity between neighbourhoods and key points of economic and community activity.

7.2.7.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.7.4.a – Mount Peter local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Structure planning	
<p>PO1 A structure plan is prepared outlining the manner in which the development outcomes have been integrated with respect to the following, including precinct specific outcomes:</p> <ul style="list-style-type: none"> (a) development sequencing; (b) structure of communities and place making; (c) economic development and employment; (d) housing diversity; (e) transport and mobility; (f) community facilities and recreation land; (g) infrastructure networks; (h) centres design; (i) overlay outcomes. <p>Note – Planning scheme policy – Structure planning provides guidance on the preparation of structure plans.</p>	<p>AO1.1 A structure plan supports development proposing reconfiguration of land or material change of use and meets the needs of the planned community for Mount Peter, as described generally in Table 7.2.7.4.b.</p> <p>Note - Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning.</p>
<p>PO2 Development ensures the purpose and outcomes of the following local plans are not compromised through inefficient use of land within the Mount Peter local plan area:</p> <ul style="list-style-type: none"> (a) Edmonton industry and business local plan; (b) Edmonton local plan; (c) Gordonvale local plan. 	<p>AO2.1 Development achieves the minimum dwelling yields and centre types as outlined within Table 7.2.7.4.b and essential infrastructure requirements.</p>
Development sequencing	
<p>PO3 Development occurs sequentially from the north, within the Initial development area (IDA) identified on the Mount Peter local plan maps contained in Schedule 2.</p>	<p>AO3.1 Land beyond the Initial development area identified on the Mount Peter local plan maps contained in Schedule 2, are not developed for urban purposes until the area within the Initial development area has been brought to the edge of the Initial development area which is</p>

Performance outcomes	Acceptable outcomes
	<p>able to service land beyond the Initial development area;</p> <p>or</p> <p>AO3.2 The provision of infrastructure for future communities, including roads, community facilities, open space, sport and recreation facilities, telecommunications where underground, water, sewerage, and electricity, is not impeded by the Initial development area identified on the Mount Peter local plan maps contained in Schedule 2.</p> <p>Note - Telecommunication infrastructure in this acceptable outcome does not include high impact telecommunications facilities (e.g. telecommunication towers).</p>
<p>PO4 Development within the Initial development area does not compromise the ability for future precincts to achieve the overall outcomes sought for the Local Plan.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>Non-urban development</p>	
<p>PO5 Development which is potentially incompatible with urban development is not established where such uses would constrain the efficient expansion of urban development in the future.</p>	<p>AO5.1 Development does not constrain the efficient expansion of urban settlements.</p> <p>AO5.2 Development is compatible with urban development when it is established on adjacent land.</p>
<p>Interim development forms</p>	
<p>PO6 Development which is not in its ultimate intended form does not compromise the achievement of such desired form.</p>	<p>AO6.1 Recognition of acceptable interim land uses, built form and design outcomes which will not compromise or be incompatible with ultimate intended form for the Local Plan area is given within structure plans and the holding of land for the following land use and infrastructure categories:</p> <ul style="list-style-type: none"> (a) dense residential activities; (b) centres activities; (c) community facilities; (d) open space and recreation facilities. <p>AO6.2 The use of land, which is inconsistent or incompatible with the ultimate form of development is not established;</p> <p>or</p> <p>AO6.3 The use of land, which is inconsistent or incompatible with the ultimate form of development has a limited life or ceases</p>

Performance outcomes	Acceptable outcomes
	operation when urban development is established on adjacent land.

Table 7.2.7.4.b – Mount Peter local plan area indicative community needs to be accommodated within precincts

Precinct	Target dwelling yields	Ultimate dwelling yields	Centre type
Precinct 2 – Cooper Road	4360 dwellings	5450 dwellings	Local centre
Precinct 3 – Maitland Road	4780 dwellings	5975 dwellings	District centre
Precinct 4 – Future urban communities	4385 dwellings	5480 dwellings	Neighbourhood centres in accordance with a structure plan

7.2.8 Smithfield local plan code

7.2.8.1 Application

This code applies to assessing development within the Smithfield local plan area as shown on the Smithfield local plan maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

7.2.8.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Smithfield local plan code.

The Smithfield local plan establishes a community of interest generally from the Kennedy Highway north to Reed Road. This forms part of a greater community commonly known as the Cairns Northern Beaches. The Smithfield Major centre anchors the southern end of the Smithfield local plan area, providing an activity and employment node for the daily and weekly needs of the Cairns Northern Beaches residents.

Major focus of development in the local plan area contributes to infill and renewal development of residential stock around centres and activity focus areas, supporting the vibrancy of centres, community focal points and public transport opportunities. Connectivity is increased between communities, with particular emphasis on convenient and comfortable pedestrian and cycle connections.

A variety of centres are established within the community. This ensures the needs of the community are adequately met (e.g. child care centres, small-scale convenience, business and café style developments). Public spaces and facilities are provided adjacent to, or within activity areas, ensuring the efficient use of land is achieved and will enhance the establishment of 'places'.

Growth in the Smithfield area focusses on supporting increased economic activity to support wider principles of increasing self-containment and local employment opportunities. Mixed use and higher residential densities are encouraged to support local activity and provide a base for growth around centres and supporting future transport networks.

The structure of the growth and activity will revolve around the growth of the James Cook University and future business, local employment and opportunities for residential higher densities along the McGregor Road corridor. James Cook University and the Smithfield Major centre will form the two key activity nodes. Strong connections between, to and through these two nodes is critical to the enhancement of the community's structure and connectivity.

The Smithfield Major centre consists of the shopping centre to the west of the Captain Cook Highway and big box style employment, local convenience and some residential development to the east. The node is generally bound to the north by Stanton Road where existing uses are intended to transition to attractive professional services, residential densities and mixed-use development, supporting east-west road networks, pedestrian and cycle links and transport opportunities. The Smithfield shopping centre remains the dominant focus of retail opportunities for the Cairns Northern Beaches. Small scale and boutique retail markets may be established elsewhere to support local communities and tourist markets, although it is anticipated that these do not occur in significant shopping centre developments.

The Smithfield Shopping Centre site diversifies its economic activity and productivity and challenges traditional shopping centre design by utilising space in a more efficient and innovative manner. Night time activity and entertainment with a pedestrian friendly environment is established. Professional services and business facilities are established in new buildings, providing for a needed market for the Cairns Northern Beaches. Parking is consolidated within multi-level structures which are sleeved and designed for active frontages, and/or pedestrian focussed environments. This allows for the new buildings and changes to the built form to occur. Opportunity exists for a gateway building fronting the Kennedy Highway and Captain Cook Highway, signifying the gateway and arrival to a developing community of interest and economic activity in the Cairns Northern Beaches area.

The James Cook University is a major anchor for growth and business attraction to the Cairns Northern Beaches. While the planning scheme has little influence over the activities on the James Cook University site, the built form outcomes and layout of its future development is encouraged to continually seek a high level of integration with the surrounding community and land uses. Professional services, business and research aligned industries are encouraged to establish on and opposite the university. McGregor Road, Maisel Close and Ardisia Street area encouraged to become activity focused areas supporting these forms of commerce and research. Similarly, Campus Village is encouraged to reorganise and renew its form to evolve into an area of vibrant activity providing a mix of uses and residential environments, supporting alternative modes of transport and connectivity with the university. Infill and renewal developments are encouraged to establish higher residential densities and student accommodation options.

Land between the Smithfield Bypass and the Captain Cook Highway is utilised in its best capacity for employment and business activities. Access is difficult at the northern part of this precinct due to the Smithfield Bypass Road, which requires land to be used efficiently.

Mixed residential densities are provided to the east of the Smithfield Bypass, extending north to Trinity Beach Road. While development approvals may exist in these areas, an opportunity exists to review these development outcomes and establish a community form that has greater significance in the Smithfield area. Residential development should be well setback or buffered from low amenity areas and facilities in the Smithfield local area (such as the industry area on the eastern periphery). Within Low medium density residential zoned areas non-residential uses are established where they serve the local community and do not detract from the residential amenity of the area.

Community focussed design and innovative centre design and development is a particular opportunity for the residential areas east of the Bypass. The Cattana Wetlands should become a significant place of gathering, activity and community focus into the future as more people reside in close proximity to the natural feature.

7.2.8.3 Purpose

- (1) The purpose of the Smithfield local plan code is to facilitate development that contributes to an integrated community consisting of existing and transitioning residential neighbourhoods, a consolidated Major centre, new mixed use development and new employment nodes and the growth and integration of the James Cook University with the wider community.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the structure of the Smithfield local plan establishes a pattern of local activity and an economy, based on two key nodes being the James Cook University at the north and the Smithfield Major centre at the south;
 - (b) economic and employment activity supports local communities and activity, and strengthens self-containment in the suburbs of the Cairns Northern Beaches;
 - (c) an increase in the range of professional business and services;
 - (d) places of activity offer a range of community focal points and functions;
 - (e) expansion of existing centres does not compromise the achievement of balanced demand across the Cairns Northern Beaches for retail floor space and employment activities;
 - (f) a mix of higher residential densities is established to support Local centres, open spaces and future transport networks;
 - (g) appropriately scaled public art and cultural infrastructure is provided;
 - (h) pedestrian, bicycle, public transport and road networks are provided to improve the connectedness of communities within and adjacent to the Smithfield local plan area;
 - (i) the height of buildings and structures emphasises the importance and role of individual Precincts and ensures heights transition down to surrounding residential areas;

- (j) gateway sites are given significance through their use and built form in:
 - (i) the way they address road, pedestrian, transport connections and public spaces;
 - (ii) their height and architectural design.

Precinct 1 – Smithfield Major centre

- (3) In addition to 7.2.8.3(2), the overall outcomes sought for the precinct are:
 - (a) Precinct 1 – Smithfield Major centre contains the following sub-precincts:
 - (i) Sub-precinct 1a- Smithfield Shopping Centre;
 - (ii) Sub-precinct 1b – employment;
 - (b) the Smithfield Major centre represents the focus of employment and economic activity in the Cairns Northern Beaches;
 - (c) Smithfield Shopping Centre is to remain the dominant retail centre for the Cairns Northern Beaches;
 - (d) the use of existing car parking areas transitions to vertical structures and mixed uses, allowing more efficient use of space and lifting the pedestrian appeal of spaces adjacent and between the centre and activity areas;
 - (e) connection between the Smithfield Shopping Centre and adjoining communities is enhanced through built form, active design and infrastructure;
 - (f) development in Precinct 1a - Smithfield Shopping Centre diversifies the activity function of the centre to facilitate the following outcomes over time:
 - (i) predominantly retail and professional service focus with professional businesses and services being located within multi-storey buildings;
 - (ii) entertainment, restaurants and night time activity establishes in a consolidated precinct, diversifying the appeal and duration of the centre's use and effectively managing the impacts of noise and light.
 - (g) expansive open areas of car parking are minimised on employment land to the east of the Captain Cook Highway through more efficient building design and use of land;
 - (h) the provision of a well-planned and high quality public transport station.

Precinct 2 – James Cook University

- (4) In addition to 7.2.8.3(2), the overall outcomes sought for the precinct are:
 - (a) tropical innovation and education development drives the expansion of the university and business attraction;
 - (b) infrastructure and land use align to ensure the university integrates and functions within the community and not as a standalone and isolated facility;
 - (c) opportunities for professional businesses and services, small and fine scale retail and activity establishes adjacent to McGregor Road;
 - (d) residential activities supporting the university and businesses are integrated within facilities as mixed-use living opportunities;
 - (e) land uses, particularly residential activities and community supporting infrastructure, establish adjacent to transport infrastructure;
 - (f) technology, innovative industry and employment establishes, having a mix of smaller and larger building footprints;
 - (g) opportunity for major community infrastructure exists at the gateway site between the Captain Cook Highway and the existing university facilities;
 - (h) the Smithfield Campus Shopping Village to the east of the Captain Cook Highway has opportunity for redevelopment and to establish a mix of business, entertainment and accommodation activities in multi-storey developments;
 - (i) the provision of a well-planned and high quality public transport station.

Precinct 3 – Future employment

- (5) In addition to 7.2.8.3(2), the overall outcomes sought for the precinct are:
 - (a) development is predominantly for professional commercial or industrial uses in the precinct;
 - (b) a mix of retail, professional business, innovative and technology industries establishes in a finer grain model of development;
 - (c) existing mixed business and industry land transitions to professional business and service industries, aligning with the research and expertise development of James Cook University;
 - (d) Precinct 3 – Future employment contains the following sub-precincts:
 - (i) Sub-precinct 3a – Future mixed use area
 - (ii) Sub-precinct 3b –Future retail and commercial area;
 - (e) Development in Sub-precinct 3a – Future mixed use area:
 - (i) establishes a structure plan allowing for a mix of uses, focussed on a range of low impact industry and centre activities along with a range of residential housing opportunities and mixed use developments;
 - (ii) ensures the transition of impacts and uses from the adjacent employment areas to the residential land to the east, considering the impact of infrastructure to be established in the area in line with growth demands.
 - (f) Development in Sub-precinct 3b –Future retail and commercial area:
 - (i) establishes a structure plan allowing for a mix of uses, focussed on centre activities and mixed use developments;
 - (ii) ensures the transition of impacts and uses from the adjacent employment areas to the residential land to the east, considering the impact of infrastructure to be established in the area in line with growth demands.

Precinct 4 – Residential communities

- (6) In addition to 7.2.8.3(2), the overall outcomes sought for the precinct are:
 - (a) higher residential densities establish within comfortable walking distances of centres, public spaces, higher order connecting roads and public transport facilities, through:
 - (i) consolidation of land for higher density residential activities;
 - (ii) infill development.
 - (b) development, other than residential development, establishes at a scale consistent with a Neighbourhood centre and is facilitated adjacent to public spaces and, or public transport routes and infrastructure.

7.2.8.4 Criteria for assessment

Part A - Criteria for assessable development

Table 7.2.8.4.a – Smithfield local plan code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Economic activity	
<p>PO1 Development achieves a consolidated, dominant retail centre on the existing Smithfield shopping centre site and ensures new and additional floor space for the sale and supply of retail goods and services develops in line with the need of the Cairns Northern Beaches communities to 2025.</p>	<p>AO1.1 Development with a cumulative floor area of greater than 2,500m² on any one or adjacent sites, outside Precinct 1 – Smithfield Major centre demonstrates an economic and community need for the development which will not compromise the effective function of the Smithfield shopping centre site.</p>

Performance outcomes	Acceptable outcomes
<p>PO2 Small-scale retail, businesses and restaurants establish to support local communities where they are:</p> <ul style="list-style-type: none"> (a) within a walking distance or catchment of predominantly residential neighbourhoods; (b) adjacent to a higher order road(s); (c) in proximity to public transport routes. 	<p>AO2.1 Land uses in residential areas, other than for residential activities:</p> <ul style="list-style-type: none"> (a) have less than 250m² total gross floor area; (b) are located within 400 metres of existing or future residential land uses; (c) are located on a collector road or sub-arterial road; (d) are located within 400 metres of a public transport route.
Building height and gateway sites	
<p>PO3 The height of buildings or structures:</p> <ul style="list-style-type: none"> (a) reinforces Precinct 1 - Smithfield Major centre as the area accommodating the highest intensity of development; (b) ensures that there is a transition of building form from Precinct 1 – Smithfield Major centre to the surrounding areas; (c) ensures there is variation in scale and architectural detail of development in multi-storey buildings and structures. <p>Note - A visual impact assessment may be required where a proposed development exceeds the height stated in AO4.1. Planning scheme policy – Landscape values provides guidance on undertaking a visual impact assessment.</p> <p>Note – Where a proposed development exceeds the height stated in AO3.1 or AO3.2, the proposed setbacks and site coverage will be assessed in relation to the proposed height.</p>	<p>AO3.1 Buildings or structures have a height:</p> <ul style="list-style-type: none"> (a) up to 14 metres and three storeys in Precinct 1; (b) up to 21 metres and 6 storeys in Precinct 1a; (c) up to 15 metres in Precinct 1b, Precinct 2 and Precinct 3, Precinct 3a and Precinct 3b; (d) up to 14 metres and three storeys in the Precinct 4. <p>or</p> <p>AO3.2 Where on a gateway site, buildings and structures are not more than 21 metres and 6 storeys.</p> <p>Note - Height is inclusive of the roof height.</p> <p>AO3.3 Buildings and structures are set back from property boundaries:</p> <ul style="list-style-type: none"> (a) ½ the height of the building or structure where adjacent a residential zone; or (b) ¼ the height of the building or structure where adjacent any other zone. <p>Note - Height is inclusive of the roof height.</p> <p>Note - Figures 7.2.8.4.a and 7.2.8.4.b provides visual guidance to the setback provisions for buildings greater than four storeys.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p> <p>AO3.4 Ground floors are activated through:</p> <ul style="list-style-type: none"> (a) high quality landscaping affording comfort and meeting or recreating spaces; (b) land uses such as offices, shops or food and drink outlets.

Performance outcomes	Acceptable outcomes
<p>PO4 Development of gateway sites shown on the Smithfield local plan maps contained in Schedule 2 results in memorable architecture and distinctive developments in the local area through:</p> <ul style="list-style-type: none"> (a) land uses that contribute to the creation of the place; (b) active frontages to streets, pedestrian connections, public transport and other public spaces; (c) architectural features that create a distinct or varied built form from buildings around it. 	<p>AO4.1 Development on a gateway site:</p> <ul style="list-style-type: none"> (a) contains land uses that increases self-containment within the Cairns Northern Beaches; (b) provides active frontages; (c) is finished with architectural features such as articulated roof profiles, parapets, awnings and balconies, tropical landscaping, and a range of building materials. <p>Note – Refer to the definition of Gateway site contained in Schedule 1.2.</p>
Connectivity	
<p>PO5 Development delivers pedestrian, cycling and road connections in locations identified on the Smithfield local plan maps contained in Schedule 2.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 1 – Smithfield Major centre	
<p>PO6 Development within Precinct 1 - Smithfield Major centre reinforces:</p> <ul style="list-style-type: none"> (a) its role as the major anchor for employment and economic activity in the Cairns Northern Beaches; (b) Smithfield shopping centre is to remain the dominant retail centre for the Cairns Northern Beaches. 	<p>AO6.1 No acceptable outcomes are provided.</p>
Additional requirements for Sub-precinct 1a – Smithfield Shopping Centre	
<p>PO7 Development on the Smithfield Shopping Centre site ensures:</p> <ul style="list-style-type: none"> (a) the diversification of employment to incorporate professional business and services within buildings up to four storeys, over time in line with demand; (b) the emergence of a dominant entertainment and night time activity precinct; (c) a gateway development is achieved on the south-east corner of the site. (d) active frontages and design for pedestrian and vehicle environments at the outer edges of buildings; (e) consolidation of car parking in multi-storey structures; (f) built form and entry points addresses and enhances connections to existing communities; (g) public transport facilities are integrated into design of future structures. 	<p>AO7.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Sub-precinct 1b – Employment	
<p>PO8 Land to the east of the Captain Cook Highway is used efficiently and consolidates expansive car parking areas for more efficient buildings and use of land without diminishing car parking need.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 2 – James Cook University	
<p>PO9 Development contributes to the achievement of a distinct education, professional service and community infrastructure precinct through the following outcomes: (a) establishment, use or delivery of infrastructure is for use by the wider community; (b) professional businesses, services and small-scale retail and activity uses establish adjacent to McGregor Road; (c) residential and accommodation activities establish in proximity to public transport, education facilities and centres; (d) opportunity for major public infrastructure to establish between the Captain Cook Highway and the University is capitalised upon.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
<p>PO10 Development on the Smithfield Campus Shopping Village Centre capitalises on opportunity for renewal and establishes a mix of business, entertainment and, or accommodation activities in multi-storey developments.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>
Additional requirements for Precinct 3 – Future employment	
<p>PO11 Development the precinct ensures: (a) it meets the employment needs of the Cairns Northern Beaches is facilitated; (b) buildings are not more than four storeys in height; (c) active frontages and design for pedestrian and vehicle environments at the outer edges of buildings; (d) efficient use of space to reduce expansive car parking areas; (e) built form and entry points addresses and enhances connections to existing communities.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Sub-precinct 3a – Future mixed use area	
<p>PO12 Development in Sub-precinct 3a – Future mixed use area:</p> <ul style="list-style-type: none"> (a) establishes a structure plan allowing for a mix of uses, focussed on a range of low-scale industry and commercial activities and a range of residential housing opportunities; (b) ensures the transition of impacts and uses from the adjacent employment areas to the residential land to the east, considering the impact of infrastructure to be established in the area in line with growth demands. 	<p>AO12.1 A structure plan supports development proposing reconfiguration of land or material change of use.</p> <p>Note - Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning.</p>
Additional requirements for Sub-precinct 3b – Future retail and commercial area	
<p>PO13 Development in Sub-precinct 3b – Future retail and commercial area:</p> <ul style="list-style-type: none"> (a) establishes a structure plan allowing for a mix of uses, focussed on shopping, showrooms, low-scale industry and commercial activities; (b) ensures the transition of impacts and uses from the adjacent employment areas to the residential land to the east, considering the impact of infrastructure to be established in the area in line with growth demands. 	<p>AO13.1 A structure plan supports development proposing reconfiguration of land or material change of use.</p> <p>Note - Guidance on preparing a structure plan is provided within Planning scheme policy – Structure planning.</p>
Additional requirements for Precinct 4 – Residential communities	
<p>PO14 Development in Precinct 4 - residential communities provides for higher residential densities.</p>	<p>AO14.1 Development for higher residential densities:</p> <ul style="list-style-type: none"> (a) consolidates parcels of land; or (b) establishes through infill development (e.g. secondary dwellings, dual occupancies, small-scale multiple dwellings where retaining existing buildings).

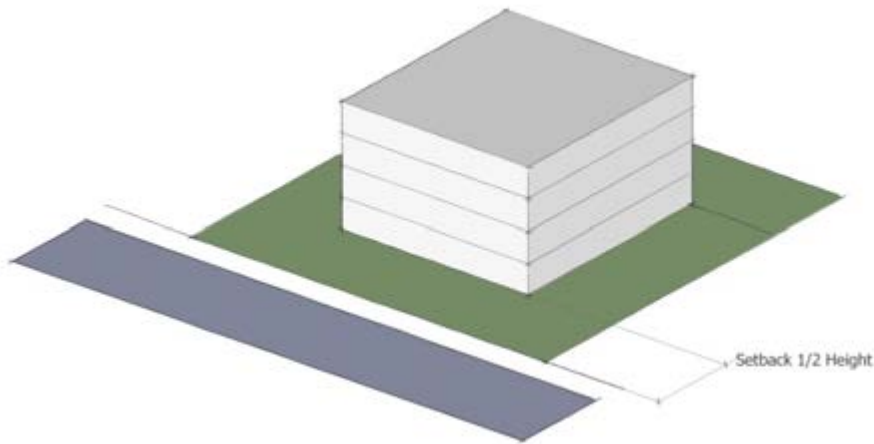


Figure 7.2.8.4.a – Setbacks for buildings greater than four storeys adjacent to a residential zone

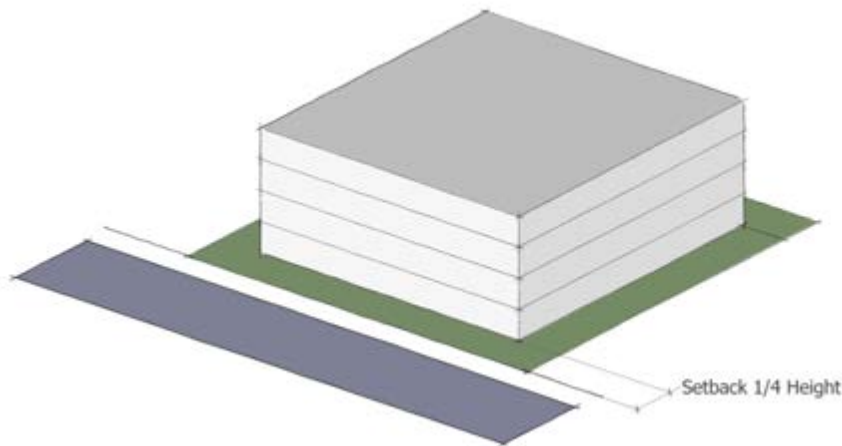


Figure 7.2.8.4.b – Setbacks for buildings greater than four storeys adjacent to a non-residential zone

Part 8 Overlays

8.1 Preliminary

- (1) Overlays identify areas in the planning scheme that reflect state, regional and local level interests and that have one or more of the following characteristics:
 - (a) there is a particular sensitivity to the effects of development;
 - (b) there is a constraint on land use or development outcomes;
 - (c) there is a presence of valuable resources;
 - (d) there are particular opportunities for development.
- (2) Overlays are mapped and included in Schedule 2.
- (3) The changed levels of assessment, if applicable, for development affected by an overlay are in Part 5.
- (4) Assessment criteria for an overlay may be contained in one or more of the following:
 - (a) a map for an overlay;
 - (b) a code for an overlay;
 - (c) a zone code;
 - (d) a local plan code;
 - (e) a development code.
- (5) Where development is proposed on premises partly affected by an overlay, the assessment criteria for the overlay only relates to the part of the premises affected by the overlay.
- (6) Each overlay code identifies the following:
 - (a) the application of the code;
 - (b) the purpose of the code;
 - (c) the overall outcomes that achieve the purpose of the code;
 - (d) the performance outcomes of the code;
 - (e) the acceptable outcomes of the code.
- (7) The overlays for the planning scheme are:
 - (a) 8.2.1 Acid sulfate soils overlay code;
 - (b) 8.2.2 Airport environs overlay code;
 - (c) 8.2.3 Building height overlay code;
 - (d) 8.2.4 Bushfire hazard overlay code;
 - (e) 8.2.5 Coastal processes overlay code;
 - (f) 8.2.6 Extractive resources overlay code;
 - (g) 8.2.7 Flood and inundation hazards overlay code;
 - (h) 8.2.8 Hazardous and explosive facilities overlay code;
 - (i) 8.2.9 Hillslopes overlay code;
 - (j) 8.2.10 Landscape values overlay code;
 - (k) 8.2.11 Natural areas overlay code;
 - (l) 8.2.12 Neighbourhood character overlay code;
 - (m) 8.2.13 Places of significance overlay code;
 - (n) 8.2.14 Potential landslip hazard overlay code;
 - (o) 8.2.15 Transport network overlay code.

8.2 Overlay codes

8.2.1 Acid sulfate soils overlay code

8.2.1.1 Application

This code applies to assessing development within the Acid sulfate soils overlay as shown on the Acid sulfate soils overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

8.2.1.2 Purpose

- (1) The purpose of the Acid sulfate soils overlay code is to ensure that development which occurs on a site containing or potentially containing acid sulfate soils is undertaken so that the potential risks to the natural and built environment or human health associated with disturbing acid sulfate soils are identified and addressed through avoidance or mitigation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the disturbance of acid sulfate soils is avoided;
 - (b) where the disturbance of acid sulfate soils is reasonably necessary, the generation or release of acid and metal contaminants from acid sulfate soils or potential acid sulfate soils does not have adverse impacts on the natural and built environment and human health.

8.2.1.3 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Identification and management of acid sulfate soils	
<p>PO1 The extent and location of acid sulfate soils likely to be disturbed is accurately identified.</p>	<p>AO1.1 No excavation or filling occurs on the site.</p> <p>or</p> <p>AO1.2 An acid sulfate soils investigation is undertaken.</p> <p>Note – Planning scheme policy - Acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.</p>

Performance outcomes	Acceptable outcomes
<p>PO2 Development avoids disturbing acid sulfate soils or is managed to prevent the release of acid and metal contaminants.</p>	<p>AO2.1 The disturbance of acid sulfate soils is avoided by:</p> <ul style="list-style-type: none"> (a) not excavating or otherwise removing soil or sediment identified as containing acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the oxygenation of previously saturated acid sulfate soils; (c) not undertaking filling that results in: <ul style="list-style-type: none"> (i) actual acid sulfate soils being moved below the water table; (ii) previously saturated acid sulfate soils being aerated. <p>or</p> <p>AO2.2 The disturbance of acid sulfate soils is undertaken in accordance with an acid sulphate soils management plan and avoids the release of acid and metal contaminants by:</p> <ul style="list-style-type: none"> (a) neutralising existing acidity and preventing the generation of acid and metal contaminants; (b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment; (c) preventing the in situ oxidation of acid sulfate soils through ground water level management; (d) appropriately treating acid sulphate soils before disposal occurs on or off site; (e) documenting management strategies and reporting requirements in an acid sulfate soils environmental management plan. <p>Note – Planning scheme policy - Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>
<p>PO3 No environmental harm is caused as a result of exposure of acid sulfate soils or potential acid sulfate soils.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

8.2.2 Airport environs overlay code

8.2.2.1 Application

This code applies to assessing development within the Airport environs overlay as shown on the Airport environs overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

Note: Appendix 5 of the State Planning Policy - State Planning Policy Code: Strategic Airports and Aviation Facilities provides further guidance on the referral of development proposal affected by the Airport environs overlay to the airport manager for assessment.

8.2.2.2 Purpose

- (1) The purpose of the Airport environs code is to protect the existing and future safety, efficiency and operational integrity of Cairns Airport and associated aviation facilities.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) conflicts between the Cairns Airport and surrounding land uses are avoided;
 - (b) development does not create incompatible intrusions, or compromise aircraft safety, in operational airspace;
 - (c) development does not adversely affect the functioning of aviation facilities;
 - (d) development avoids increasing risk to public safety in public safety areas;
 - (e) development is compatible with forecast levels of aircraft noise.

8.2.2.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.2.3.a – Airport environs overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Protection of operational air space	
<p>PO1 Development does not create a permanent or temporary physical or transient obstruction in the operational airspace of Cairns Airport.</p>	<p>AO1.1 Buildings and structures (including construction structures and equipment) do not encroach into the: (a) obstacle limitation surface as identified on the Airport environs overlay maps contained in Schedule 2; or (b) PANS-OPS for the Cairns Airport identified on the Airport environs overlay maps contained in Schedule 2.</p>
	<p>AO1.2 Landscaping does not include vegetation that at maturity will encroach into the airport's operational airspace.</p>
	<p>AO1.3 Transient activities associated with development such as parachuting, hot air ballooning and hang-gliding will not occur within the airport's operational airspace.</p>

Performance outcomes	Acceptable outcomes
Lighting	
<p>PO2 Development does not impact on the operational aspects of the Cairns Airport with regard to light emission and reflective surfaces.</p>	<p>AO2.1 Development within the lighting buffer zone as identified on the Airport environs light intensity overlay maps contained in Schedule 2, does not emit light that will exceed the maximum light intensity specified for the area.</p> <p>Note – Maximum light intensity of Light Sources measured at 3 degrees above the horizontal.</p> <p>AO2.2 Development within the lighting buffer zone identified on the Airport environs light intensity overlay maps contained in Schedule 2 does not include any of the following types of outdoor lighting:</p> <ul style="list-style-type: none"> (a) straight parallel lines of lighting 500 m to 1000 m long; (b) flare plume; (c) upward shining lights; (d) flashing lights; (e) laser lights; (f) sodium light; (g) reflective surfaces.
Airport public safety area	
<p>PO3 Development in the public safety areas does not increase the risk to life or property.</p>	<p>AO3.1 Development in the public safety areas shown on the Airport environs overlay maps contained in Schedule 2; does not involve:</p> <ul style="list-style-type: none"> (a) an increase in the number of people living, working or congregating in the public safety area; or (b) the manufacture, use or storage of flammable, explosive, hazardous or noxious materials.
Acoustic treatment for noise exposure	
<p>PO4 Development involving a sensitive land use is appropriately located and designed to prevent adverse impacts from aircraft noise.</p>	<p>AO4.1 Development within the 20->35 ANEF contour radius shown on the Airport environs overlay maps contained in Schedule 2 is consistent with Table 8.2.2.3.b.</p> <p>AO4.2 Development within the 20->35 ANEF contour radius shown on the Airport environs overlay maps contained in Schedule 2 is designed and constructed to attenuate aircraft noise by achieving the indoor design sound levels specified in Table 8.2.2.3.c.</p>

Performance outcomes	Acceptable outcomes
Emissions	
<p>PO5 Emissions do not affect air turbulence, visibility or engine operation in the operational airspace of Cairns Airport.</p>	<p>AO5.1 Development does not emit smoke, dust, ash or steam into the Cairns Airport’s operational airspace.</p>
	<p>AO5.2 Development does not emit a gaseous plume into the Cairns Airport’s operational airspace at a velocity exceeding 4.3 m per second.</p>
Function of aviation facilities	
<p>PO6 Development located within the building restricted area for an aviation facility is designed and constructed to mitigate adverse impacts on the function of the facility.</p> <p>Note – SPP Guideline – Strategic airports and aviation facilities provides guidance on meeting the outcomes.</p>	<p>AO6.1 Development located within the building restricted area for an aviation facility does not create:</p> <ul style="list-style-type: none"> (a) permanent or temporary physical obstructions in the line of sight between antennas; (b) an electrical or electromagnetic field that will interfere with signals transmitted by the facility; (c) reflective surfaces that could deflect or interfere with signals transmitted by the facility.
	<p>AO6.2 Development located within the building restricted area for an aviation facility is designed and constructed to mitigate adverse impacts on the function of the facility.</p>
For assessable development	
Wildlife hazards	
<p>PO7 Development does not cause wildlife to create a safety hazard in the operational airspace of Cairns Airport.</p>	<p>AO7.1 Development located within the 3km Wildlife hazard Zone as shown on the Airport environs overlay maps contained in Schedule 2 does not involve uses listed in column 1 of Table 8.2.2.3.d.</p>
	<p>AO7.2 Development located within the 3km Wildlife hazard Zone shown on the Airport environs overlay maps contained in Schedule 2 involving a use listed in column 2 of Table 8.2.2.3.d, includes measures to reduce the potential to attract birds and bats.</p>
	<p>AO7.3 Development located within the 3km and 8km Wildlife hazard Zone shown on the Airport environs overlay maps contained in Schedule 2 involving a use listed in column 1 or column 2 of Table 8.2.2.3.d includes measures to reduce the potential to attract birds and bats.</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.4 Development located within the 8km and 13km Wildlife hazard Zone shown on the Airport environs overlay maps contained in Schedule 2 involving a use listed in column 1 or column 2 of Table 8.2.2.3.d does not increase the potential to attract birds and bats.</p>

Table 8.2.2.3.b — Compatible and incompatible land uses within ANEF contours ^{1, 2}

Land use	Compatible	Compatible subject to conditions	Incompatible
Ÿ Caretaker's accommodation Ÿ Community residence Ÿ Dual occupancy Ÿ Dwelling house Ÿ Dwelling unit Ÿ Multiple dwelling Ÿ Nature-based tourism Ÿ Non-resident workforce accommodation Ÿ Relocatable home park Ÿ Residential care facility Ÿ Retirement facility Ÿ Rural workers' accommodation Ÿ Tourist park	Less than 20 ANEF	20 to 25 ANEF	Greater than 25 ANEF
Ÿ Short-term accommodation Ÿ Hotel Ÿ Resort complex Ÿ Rooming accommodation	Less than 25 ANEF	25–30 ANEF	Greater than 30 ANEF
Ÿ Educational establishment Ÿ Child care centre	Less than 20 ANEF	20–25 ANEF	Greater than 25 ANEF
Ÿ Hospital Ÿ Health care services	Less than 20 ANEF	20–25 ANEF	Greater than 25 ANEF
Ÿ Community use Ÿ Place of worship	Less than 20 ANEF	20–30 ANEF	Greater than 30 ANEF
Ÿ Office	Less than 25 ANEF	25–35 ANEF	Greater than 35 ANEF

¹ Table 8.2.2.3.b excludes consideration of aircraft noise impacts on outdoor spaces specifically. However, the table does reflect the extent/frequency of outdoor space use associated with particular uses.

² AS 2021 should be referred to by those seeking information / background on the basis for Table 8.2.2.3.b.

Table 8.2.2.3.c — Desirable indoor design sound levels for sensitive land uses

Land use	Location within development	Indoor design sound level dB(A)	
Ĩ Caretaker's accommodation Ĩ Community residence Ĩ Dual occupancy Ĩ Dwelling house Ĩ Dwelling unit Ĩ Home based business Ĩ Multiple dwelling Ĩ Nature-based tourism Ĩ Non-resident workforce accommodation Ĩ Relocatable home park Ĩ Residential care facility Ĩ Retirement facility Ĩ Rooming accommodation Ĩ Rural workers' accommodation Ĩ Short-term accommodation Ĩ Tourist park	Ĩ Sleeping areas	50	
	Ĩ Other habitable areas	55	
	Ĩ Short-term accommodation	Ĩ Sleeping areas	55
	Ĩ Hotel		
	Ĩ Resort complex		
	Ĩ Rooming accommodation		
	Ĩ Educational establishment Ĩ Child care centre	Ĩ Libraries	50
		Ĩ Classrooms	
		Ĩ Study areas	
		Ĩ Sleeping areas	
		Ĩ Teaching areas	55
		Ĩ Assembly areas	
	Ĩ Hospital Ĩ Health care services	Ĩ Wards	50
		Ĩ Theatres	
		Ĩ Treatment and consulting rooms	
		Ĩ Laboratories	65
Ĩ Community use Ĩ Place of worship	Ĩ All indoor areas	50	
Ĩ Office	Ĩ Private offices	55	
	Ĩ Conference rooms		
	Ĩ Open offices	65	

Table 8.2.2.3.d — Land uses associated with increases in wildlife strikes and hazards

Column 1 High Risk	Column 2 Moderate Risk
<ul style="list-style-type: none"> Y Aquaculture (fish processing/packing plant); Y Conservation estate (e.g. wetland); Y Cropping (turf farm, fruit tree farm); Y High-impact industry (food processing plant more than 200 tonnes per annum); Y Intensive animal industry (piggery); Y Low impact industry (food processing plant); Y Major sport, recreation and entertainment facility (showground); Y Medium-impact industry (food processing plant less than 200 tonnes per annum); Y Utility installation (Food / organic waste facility, Putrescible waste facility (e.g. landfill, transfer station). 	<ul style="list-style-type: none"> Y Animal husbandry (cattle/dairy farm); Y Conservation estate (all other); Y Intensive animal industry (poultry farm); Y Major sport, recreation and entertainment facility (all other); Y Outdoor sport and recreation; Y Park; Y Utility installation (Sewage/wastewater treatment facility, Non-putrescible waste facility e.g. landfill, transfer station).

8.2.3 Building height overlay code

8.2.3.1 Application

This code applies to assessing development within the Building height overlay as shown on the Building height overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

8.2.3.2 Purpose

- (1) The purpose of the Building height overlay code is to enable increased building height and development opportunities and ensure tropical urbanism and high quality design outcomes are achieved.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development achieves building height and design variety for the precincts identified on the Building height overlay map contained in Schedule 2;
 - (b) development provides a transition in height and development intensity from the Cairns city centre to surrounding areas;
 - (c) development provides for an appropriate interface to surrounding areas. The Cairns city centre contains the highest and most intense form of development within the region;
 - (d) development is set back from street frontages and property boundaries to:
 - (i) maintain the character and amenity of the streetscape and surrounding area;
 - (ii) maintain view lines and vistas to the mountains and the ocean along streets, from public places, and between developments;
 - (iii) achieve tropical urbanism outcomes through design and siting;
 - (iv) provide appropriate separation between buildings for privacy and amenity, and to allow for the penetration of breezes and sunlight;
 - (v) provide for active streetscapes, where appropriate for the zone;
 - (vi) provide a pleasant pedestrian environment and passive surveillance of the street;
 - (vii) provide for deep landscaping;
 - (viii) maintain appropriate spaces between buildings on the same site or adjoining sites;
 - (e) development demonstrates tropical urbanism through:
 - (i) providing a high standard of design reflective of the qualities of good urban places;
 - (ii) buildings and structures by their design and setting reflect the concept of a 'city in a rainforest';
 - (iii) appropriate use of materials and landscaping;
 - (iv) provision of shading to all building facades to improve the amenity for residents and occupants of the building and the appearance of the building;
 - (f) development provides appropriate space between buildings on the same site and adjoining sites to:
 - (i) avoid the impression and appearance of a wall of buildings;
 - (ii) avoid oppressive relationships between buildings;
 - (iii) facilitate deep landscaping and reflect the concept of a 'city in a rainforest';
 - (iv) maintain view lines and vistas to the mountains and ocean along streets, from public places, and between developments;
 - (v) provide privacy and a high standard of amenity for residents and occupants;
 - (vi) allow for the penetration of breezes and sunlight;
 - (vii) achieve tropical urbanism outcomes through design and siting;

- (g) development is designed and sited to avoid duplication or repetition of façade treatments or design elements for buildings on the same site or on adjoining sites;
- (h) development is designed to respect:
 - (i) the cultural heritage significance of adjoining or nearby Places of local significance or State heritage places;
 - (ii) the transitional nature of the area from low residential densities to medium and higher densities;
- (i) Car parking structures and access points are designed and situated to:
 - (i) ensure they are not visually dominant the streetscape;
 - (ii) maintain and protect pedestrian safety and amenity;
- (j) development in residential areas is of a scale, use, type and orientation that does not adversely affect the amenity of the area;
- (k) development maintains and protects the operational integrity of the Cairns Airport;
- (l) development provides landscaping in both the horizontal and vertical plane to:
 - (i) achieve the concept of a 'city in a rainforest';
 - (ii) enhance the visual quality, amenity and identity of the area.

Precinct 1 – Eastern precinct

- (3) In addition to 8.2.3.2(2), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for the highest form of development within the building height overlay area;
 - (b) the height of development does not exceed the height of the corresponding Obstacle limitation surface as identified on the Airport environs overlay map contained in Schedule 2;
 - (c) development achieves an appropriate interface and transition to surrounding areas within and outside the Building height overlay area;
 - (d) development by its design, form and orientation recognises the importance of the Esplanade parklands to the landscape character of the region;
 - (e) Where within the Specialised centre zone Precinct 1 – hospitals and allied medical, development supports the overall outcomes sought for the zone precinct, whilst ensuring that the overall outcomes sought for the Building height overlay code are achieved.

Precinct 2 – Central precinct

- (4) In addition to 8.2.3.2(2), the overall outcomes sought for the precinct are:
 - (a) the precinct provides for the transition in height across the Building height overlay area, with the highest development in Precinct 1 and the lowest development in Precinct 3;
 - (b) development by design, form and siting responds to the city gateway function of Sheridan Street by:
 - (i) maintaining and protecting the view lines and vistas to the mountain ranges;
 - (ii) ensuring there is appropriate separation between buildings and variety in façade treatments to avoid the appearance of a wall of buildings;
 - (c) Where within the Mixed use zone development provides for active frontages.

Precinct 3 – Western precinct

- (5) In addition to 8.2.3.2(2), the overall outcomes sought for the precinct are:
 - (a) Precinct 3 – Western precinct contains the following sub-precinct:
 - (i) Sub-precinct 3a – McLeod / Minnie Street
 - (b) the precinct provides for buildings of the lowest height within the Building height overlay area to complete transition in height across the Building height overlay area;
 - (c) development achieves an appropriate interface and transition to surrounding areas within and outside the Building height overlay area;

- (d) development by design, form and siting responds to the city gateway function of Sheridan Street by:
 - (ii) maintaining and protecting the view lines and vistas to the mountain ranges;
 - (iii) ensuring there is appropriate separation between buildings and variety in façade treatments to avoid the appearance of a wall of buildings;
- (e) Where within the Mixed use zone, development provides for active frontages.

Note – Planning scheme policy – Tropical urbanism provides guidance on the implementation of these overall outcomes and the criteria for assessment set out within Table 8.2.3.3.a below.

8.2.3.3 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.3.3.a – Building height overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
<p>PO1 Development is consistent with the purpose and overall outcomes sought for the overlay area.</p>	<p>AO1.1 No acceptable outcomes are provided</p>
Site requirements	
<p>PO2 The site is of suitable area, dimensions and shape to ensure that the development:</p> <ul style="list-style-type: none"> (a) maintains the character and amenity of the streetscape and surrounding area; (b) achieves appropriate separation from property boundaries and buildings on site or adjoining sites; (c) provides for appropriate landscaping; (d) provides for appropriate car parking, access and manoeuvring; (e) provides appropriate recreation areas for residents. (f) provides for appropriate infrastructure and services. 	<p>AO2.1 No acceptable outcomes are provided.</p>
Height	
<p>PO3 The height of buildings and structures is compatible with the character of the area and:</p> <ul style="list-style-type: none"> (a) does not adversely affect the amenity of the area; (b) maintains the primacy of the Cairns city centre as the area accommodating the highest and most intense form of development in the region; (c) ensures that there is an appropriate transition of building height within and outside the overlay area; (d) provides for access to natural light and ventilation for development and to adjoining developments and sites; (e) maintains and protects the operational aspects of the Cairns Airport; (f) is consistent with the purpose and overall 	<p>AO3.1 In Precinct 1, the height of any building or structure is not more than the height of the corresponding Obstacle limitation surface as identified on the Airport environs overlay map contained in Schedule 2.</p> <p>Note – Height is inclusive of the roof height.</p>
	<p>AO3.2 In Precinct 2, the height of any building or structure is not more than 28 metres and 9 storeys.</p> <p>Note – Height is inclusive of the roof height.</p> <p>Note – If the height within the Obstacle limitation surface as shown on the Airport environs overlay maps contained in Schedule 2 is less than AO3.2, the height specified within the Obstacle limitation surface is the maximum</p>

Performance outcomes	Acceptable outcomes
<p>outcomes sought for the overlay and each precinct.</p> <p>Note – The Obstacle limitation surface is shown on the Airport environs overlay maps contained in Schedule 2.</p>	<p>allowable height.</p> <p>AO3.3 In Precinct 3, the height of any building or structure is not more than 20 metres and 5 storeys.</p> <p>or</p> <p>AO3.4 In Sub-precinct 3a, the height of any building or structure is not more than 30 metres and 10 storeys.</p> <p>Note – Height is inclusive of the roof height</p> <p>Note – If the height within the Obstacle limitation surface as shown on the Airport environs overlay maps contained in Schedule 2 is less than AO3.3, the height specified within the Obstacle limitation surface is the maximum allowable height.</p>
Site coverage	
<p>PO4 Development ensures that on-site there is sufficient space outside of, and around the building to:</p> <ul style="list-style-type: none"> (a) maintain view lines and vistas to the mountains, the Esplanade and ocean along streets, between developments and from public places; (b) provide appropriate areas for deep landscaping to reflect and contribute to the concept of a ‘city in a rainforest’; (c) maintain privacy and amenity for occupants of the site and adjoining sites; (d) provide for adequate access to sunlight and ventilation for development on the site and on adjoining sites; (e) provide adequate separation between buildings on the site and adjoining sites; (f) ensure buildings maintain a moderate overall width. 	<p>AO4.1 The site coverage is not more than 40%.</p>
<p>PO5 Where development is within the Mixed use zone or the Specialised centre zone, the site coverage ensures that there is sufficient spaces outside of, and around the building to provide for:</p> <ul style="list-style-type: none"> (a) maintain view lines and vistas to the mountains, the Esplanade and ocean along streets, between developments and from public places; (b) provide appropriate areas for deep landscaping to reflect and contribute to the concept of a ‘city in a rainforest’; (c) maintain privacy and amenity for occupants of the site and adjoining sites; (d) provide for adequate access to sunlight and ventilation for development on the 	<p>AO5.1 Where development is within the Mixed use zone or the Specialised centre zone, the site coverage is not more than:</p> <ul style="list-style-type: none"> (a) 80% for the first 2 storeys; (b) 40% for development above 2 storeys.

Performance outcomes	Acceptable outcomes
<p>site and on adjoining sites;</p> <p>(e) provide adequate separation between buildings on the site and adjoining sites;</p> <p>(f) ensure buildings maintain a moderate overall width.</p>	
Setbacks	
<p>PO6 Development is set back from all site boundaries to:</p> <p>(a) maintain the character and amenity of the streetscape and surrounding area;</p> <p>(b) maintain view lines and vistas to the mountains, the Esplanade and ocean along streets, between developments and from public places;</p> <p>(c) maintain privacy and amenity for residents and occupants;</p> <p>(d) maximise the availability of light and ventilation to development, adjoining sites and public places;</p> <p>(e) avoid a visually over bearing built form;</p> <p>(f) provide for appropriate landscaping to reflect and contribute to the concept of a 'city in a rainforest';</p> <p>(g) achieve tropical urbanism outcomes.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO6.1 Where within Precinct 1 – Eastern precinct and not within the Specialised centre zone development including car parking other than where basement car parking wholly located below ground, is set back a minimum of:</p> <p>(a) 6 metres from street frontage(s), other than the Esplanade;</p> <p>(b) 15 metres from the Esplanade;</p> <p>(c) ¼ of the height of the building above ground level or 3 metres, whichever is the greater, from the side and rear boundaries.</p> <p>AO6.2 Where within Precinct 1 – Eastern precinct and within the Specialised centre zone, development is set back a minimum of:</p> <p>(a) no acceptable outcome is provided for street frontage(s), other than the esplanade;</p> <p>(b) 15 metres from the Esplanade;</p> <p>(c) 0 metres from side and rear boundaries for the first 2 storeys where adjacent another property within the Specialised centre zone;</p> <p>(d) ¼ of the height of the building above ground level or 3 metres, whichever is the greater from the side and rear boundaries where for development above the first two storeys;</p> <p>(e) ¼ of the height of the building above ground level or 3 metres, whichever is the greater, from the side and rear boundaries, where the boundary adjoins a site within a zone other than the Specialised centre zone.</p> <p>Note – where development is for a basement car parking structure located wholly below ground, development must still comply with landscaping and deep landscaping requirements.</p> <p>AO6.3 Where within Precinct 1 – Eastern precinct, basement car parking structures located wholly below ground, are set back a minimum of:</p> <p>(a) 6 metres from all street frontages;</p> <p>(b) 0 metres from the side and rear boundaries.</p> <p>Note – where development is for a basement car parking</p>

Performance outcomes	Acceptable outcomes
	<p>structure located wholly below ground, development must still comply with landscaping and deep landscaping requirements.</p> <p>AO6.4 Where within Precinct 2 – Central precinct or Precinct 3 – Western precinct, development including car parking other than where basement car parking wholly located below ground, is set back a minimum of: (a) 6 metres from street frontage(s); (b) ¼ of the height of the building above ground level or 3 metres, whichever is the greater, from the side and rear boundaries.</p> <p>AO6.5 Where within Precinct 2 – Central precinct or Precinct 3 – Western precinct and within the Mixed use zone, development is set back in accordance with the setback provisions of the Mixed use zone code for the first 2 storeys.</p> <p>AO6.6 Where within Precinct 2 – Central precinct or Precinct 3 – Western precinct and within the Mixed use zone, development greater than 2 storeys is set back ¼ of the height of the building above ground level or 3 metres, whichever is the greater from the side and rear boundaries.</p> <p>AO6.7 Where within Precinct 2 – Central precinct or Precinct 3 – Western precinct, basement car parking structures located wholly below ground, are set back a minimum of: (a) 6 metres from all street frontages; (b) 0 metres from the side and rear boundaries.</p> <p>Note – where development is for a basement car parking structure located wholly below ground, development must still comply with landscaping and deep landscaping requirements.</p>
Built form	
<p>PO7 Development is designed to respect development on adjoining sites and the transitional nature of the overlay area as it shifts to medium and higher residential densities</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
<p>PO8 Development is designed and sited to ensure that: (a) buildings are moderate in width and avoid a visually overbearing built form; (b) development does not result in the appearance of a wall of buildings when</p>	<p>AO8.1 The maximum width of any building elevation, in any plane is 30 metres.</p> <p>AO8.2 The separation between towers on a single site or from towers on adjoining sites is not</p>

Performance outcomes	Acceptable outcomes
<p>viewed from streets and public places;</p> <p>(c) view lines and vistas are maintained to the mountains, the Esplanade and ocean along streets, between developments and from public places;</p> <p>(d) privacy and amenity for residents and occupants on the site and adjoining sites is maintained;</p> <p>(d) the availability of light and ventilation to development, adjoining sites and public places is maximised.</p>	<p>less than 16 metres.</p>
<p>PO9 Development is designed to provide variety in built form and building facade treatments to avoid the appearance of continuous bulk when viewed from adjoining sites, streets and public places.</p>	<p>AO9.1 No acceptable outcomes are provided</p>
<p>PO10 Development is designed and sited to ensure balconies and habitable rooms are oriented to the street frontage and the rear of the site, to maintain privacy and residential amenity between adjoining developments and sites and to discourage overlooking.</p>	<p>AO10.1 Habitable rooms and balconies are to be oriented to the street frontage(s) and the rear of the site, unless the building (including balconies) is setback a minimum of 8 metres from the corresponding side boundary.</p>
<p>PO11 Development provides for an appropriate, accessible and functional communal recreation area for the benefit of residents and occupants.</p>	<p>AO11.1 Development is designed to provide a minimum 12 metre x 12 metre communal recreation area.</p> <p>Note – the space can include the space required to meet minimum landscaping requirements.</p>
<p>PO12 Development is designed to ensure vehicle access points comply with the requirements of the Parking and access code and do not dominate the streetscape.</p>	<p>AO12.1 Vehicle access points are designed to:</p> <ul style="list-style-type: none"> (a) comply with the requirements of the Parking and access code; (b) maximise street front landscaping; (c) not dominate the street frontage. <p>AO12.2 Where development has frontage to more than one street, vehicle access is gained from the secondary street;</p> <p>or</p> <p>AO12.3 Where development fronts the Esplanade and another street, vehicle access is not gained from the Esplanade.</p>
<p>PO13 Development is designed to ensure that car parking is not a visible feature from the street or public places.</p>	<p>AO13.1 Car parking is located within the building;</p> <p>or</p> <p>AO13.2</p>

Performance outcomes	Acceptable outcomes
	Car parking is located behind the building and screened from view from the street or public places by the built form or by landscaping.
<p>PO14 Development is designed to ensure that building plant and equipment, including street based infrastructure, including but not limited to; air conditioning units, electricity pad mounts, refuse storage areas, hydrants & switchboards, is part of the architectural form of the development and is not a visible when viewed from adjoining sites, streets or public places.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>
Tropical urbanism	
<p>PO15 Development provides a high standard of design that:</p> <ul style="list-style-type: none"> (a) achieves tropical urbanism outcomes; (b) positively contributes to the image of the region and provides a visually appealing and interesting skyline when viewed from surrounding areas including but not limited to the coral sea; (c) displays the qualities of good urban places; (d) reflects the concept of a 'city in a rainforest'; (d) uses appropriate materials; (e) provides high quality landscaping. <p>Note – Planning scheme policy – Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO15.1 No acceptable outcomes are provided.</p>
<p>PO16 Development is designed and sited to provide articulation and relief in the façade through design and practical features.</p>	<p>AO16.1 Building facades are to be articulated and provide contrast between light and shadow.</p>
<p>PO17 Visible walls are provided with architectural treatments to provide relief through depth, texture, colour, light and shade.</p>	<p>AO17.1 Where a wall is greater than 3 metres high and more than 6 metres wide, architectural relief is provided in the form of windows, penetrations or other design features including through the use of depth, texture, colour, light and shade.</p> <p>AO17.2 Treatments of facades along street frontages are to be 'returned' on side or rear elevations (where visible from a public place) for a distance of 10 metres.</p>
<p>PO18 Development achieves tropical urbanism through responding to the tropical climate and providing a comfortable environment for residents and occupants.</p>	<p>AO18.1 Building facades are to be articulated and designed to facilitate 50% shading to each façade.</p> <p>AO18.2 Buildings are orientated to exclude summer</p>

Performance outcomes	Acceptable outcomes
	<p>sun from living areas and utilise prevailing breezes.</p> <p>AO18.3 Buildings, materials and external surfaces are light in colour to assist in reducing internal temperatures.</p>
<p>PO19 Development is designed and sited to reflect tropical urbanism through the use of:</p> <ul style="list-style-type: none"> (a) balconies and shading devices; (b) light coloured surfaces; (d) vegetation to shade surfaces; (e) large openings; (f) orientation that minimises summer sun in living areas and maximises prevailing breezes. 	<p>AO19.1 No acceptable outcomes are provided</p>
<p>PO20 Development occurring mid-block and with frontage to two parallel north-south streets improves local pedestrian connectivity.</p>	<p>AO20.1 Where a development is mid-block and has a frontage of 60m or greater, a through block link is to be provided affording public access through the site between the two street frontages.</p>
Landscaping	
<p>PO21 Development is landscaped both horizontally on the site and structures, and vertically to provide a meaningful contribution to reflect the concept of a 'city in a rainforest'.</p> <p>Note – Planning scheme policy – Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO21.1 Development is designed to provide the following:</p> <ul style="list-style-type: none"> (a) deep planting areas with a minimum dimension of 5 metres x 5 metres is provided at each corner of the site; (b) deep planting is provided along the full frontage of the site with a minimum dimension of 2 metres, and a total area of 50m² or 5% of the total site area, whichever is the greater; (c) a minimum of 25% of the horizontal plane of the site is landscaped; (d) buildings and structures are vertically landscaped for a minimum of 15% of the surface area of each façade, for the full height of the development. <p>Note – compliance with the vertical landscaping requirements can be achieved through mature vegetation projecting out of the horizontal plane.</p>

8.2.4 Bushfire hazard overlay code

8.2.4.1 Application

This code applies to assessing material change of use, reconfiguring a lot or operational works within the Medium, High or Very high bushfire hazard area identified on the Bushfire hazard overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

Note – The bushfire hazard buffer areas shown on the Bushfire hazard overlay maps contained in Schedule 2 are 100m buffers for the purposes of Building works triggers and referrals.

Note – The Bushfire hazard overlay code does not apply to Building Works applications. Building works are assessable under the relevant Building Assessment Provisions and not this planning scheme. Refer also to section 1.6 of this planning scheme.

Note – For the purposes of the Building Code of Australia and AS3959 Construction of Buildings in Bushfire-Prone Areas the land identified within the Bushfire overlay is designated as a bushfire prone area.

8.2.4.2 Purpose

- (1) The purpose of the Bushfire hazard overlay code is to ensure that development minimises the potential adverse impacts of bushfire on people, property and the environment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is protected from bushfire hazards and maintains the safety of people and property;
 - (b) development avoids medium, high and very high bushfire risk areas;
 - (c) development has suitable access to water for fire fighting purposes;
 - (d) development does not increase the risk of fire hazards;
 - (e) community infrastructure is able to function effectively during and immediately after bushfire events.

8.2.4.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.4.3.a – Bushfire hazard overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Safety of people, property and the environment	
<p>PO1 Development maintains the safety of people and property by:</p> <ol style="list-style-type: none"> (a) avoiding areas of Medium, High or Very high bushfire hazard; or (b) mitigating the risk through: <ol style="list-style-type: none"> (i) the siting of development; (ii) including firebreaks that provide adequate: <ol style="list-style-type: none"> (A) setbacks between lots/buildings/structures and hazardous vegetation; (B) access for firefighting/other emergency vehicles. (iii) adequate road access for 	<p>AO1.1 Development is not located in a Medium, High or Very high bushfire hazard area.</p>

Performance outcomes	Acceptable outcomes
<p>firefighting/other emergency vehicles and safe evacuation;</p> <p>(iv) adequate and accessible water supply for firefighting purposes.</p> <p>Note – The preparation of a Bushfire Management Plan may be required to demonstrate achievement of the Outcome. Planning scheme policy - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	
<p>For assessable development</p>	
<p>Safety of people, property and the environment</p>	
<p>PO2 Development maintains the safety of people and property by:</p> <p>(a) avoiding areas of Medium, High or Very high bushfire hazard; or</p> <p>(b) mitigating the risk through:</p> <p>(i) lot design and the siting of development;</p> <p>(ii) including firebreaks that provide adequate:</p> <p>(A) setbacks between buildings/structures and hazardous vegetation;</p> <p>(B) Access for firefighting/other emergency vehicles.</p> <p>(iii) provide adequate road access for firefighting/other emergency vehicles and safe evacuation;</p> <p>(iv) providing adequate and accessible water supply for firefighting purposes.</p> <p>Note – The preparation of a Bushfire Management Plan may be required to demonstrate achievement of the Outcome. Planning scheme policy - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	<p>AO2.1 Lots are designed so that their size and shape allow for efficient emergency access to buildings for fire-fighting appliances (e.g. by avoiding long narrow lots with long access driveways to buildings).</p> <p>AO2.2 Development (including the potential for future buildings or structures) on lots:</p> <p>(a) are sited in locations of lowest hazard within the lot;</p> <p>(b) provide a minimum building setback from hazardous vegetation of 20 metres or the distance required to achieve a Bushfire Attack Level BAL-29 (as identified in AS3959-2009), whichever is the greater.</p> <p>AO2.3 Firebreaks are provided by:</p> <p>(a) a perimeter road that separates lots from areas of bushfire hazard and that road has :</p> <p>(i) a minimum cleared width of 20 metres;</p> <p>(ii) a constructed road width and weather standard complying with Planning scheme policy – FNQROC Regional Development Manual;</p> <p>or</p> <p>(b) a fire maintenance trail/s located as close as possible to the boundaries of the lots and the adjoining bushfire hazard, and:</p> <p>(i) have a minimum cleared width of 6 metres;</p> <p>(ii) have a minimum formed width of 4 metres;</p> <p>(iii) have a gradient that does not exceed 25%;</p> <p>(iv) have a cross slope that does not exceed 5%;</p> <p>(v) connect to roadways at each end and have passing bays at least every 200m, with access points at least every 400m - where possible.</p> <p>or</p>

Performance outcomes	Acceptable outcomes
	<p>(c) sufficient cleared breaks of 6 metres minimum width in retained bushland within the development (e.g. creek corridors and other retained vegetation) to allow burning of sections and access for bushfire response.</p> <p>AO2.4 Roads are designed and constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual; (a) have a maximum gradient of 12.5%; (b) exclude cul-de-sacs, except where a perimeter road isolates the development from hazardous vegetation or the cul-de-sac are provided with an alternative access linking the cul-de-sac to other through roads.</p> <p>Note – Figure 8.2.4.3.a provides guidance on meeting the outcomes.</p> <p>AO2.5 For uses involving new or existing buildings with a gross floor area greater than 50m², each lot has a reliable reticulated water supply that has sufficient flow and pressure characteristics for firefighting purposes at all times being a minimum pressure and flow is 10 litres a second at 200 kPa.</p>
<p>PO3 Development does not materially intensify the use of bushfire hazard areas.</p>	<p>AO3.1 Development does not result in a high concentration of people living or working in an area at risk from bushfire (e.g. accommodation activities, business activities, centre activities, community activities, entertainment activities, industry activities or involve institutional uses where evacuating people may be particularly difficult (e.g. Child care centre, Residential care facility and Detention facility).</p> <p>AO3.2 Development within High or Very high bushfire hazard areas complies with a Bushfire Management Plan for the premises.</p> <p>AO3.3 Bushfire hazard is minimised with planting of bushfire resistant species near Medium, High and Very high Bushfire Hazard areas identified on the Bushfire hazard overlay maps contained in Schedule 2.</p> <p>Note – Planning scheme policy – Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>

Performance outcomes	Acceptable outcomes
<p>PO4 Community infrastructure is able to function effectively during and immediately after bushfire events.</p>	<p>AO4.1 Development complies with a Bushfire Management Plan for the premises.</p> <p>Note – Planning scheme policy – Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>
<p>PO5 Public safety and the environment are not adversely affected by the detrimental impacts of bushfire on hazardous materials manufactured or stored in bulk.</p>	<p>AO5.1 Uses that include manufacturing or storage of hazardous materials do not occur or are adequately separated from the hazard area and the development complies with a Bushfire Management Plan for the premises.</p> <p>Note – Planning scheme policy – Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>
<p>Scenic amenity</p>	
<p>PO6 Bushfire management measures do not have a detrimental impact on scenic amenity values.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
<p>Natural areas</p>	
<p>PO7 Bushfire management measures are designed, located and managed to minimise impacts on natural areas.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

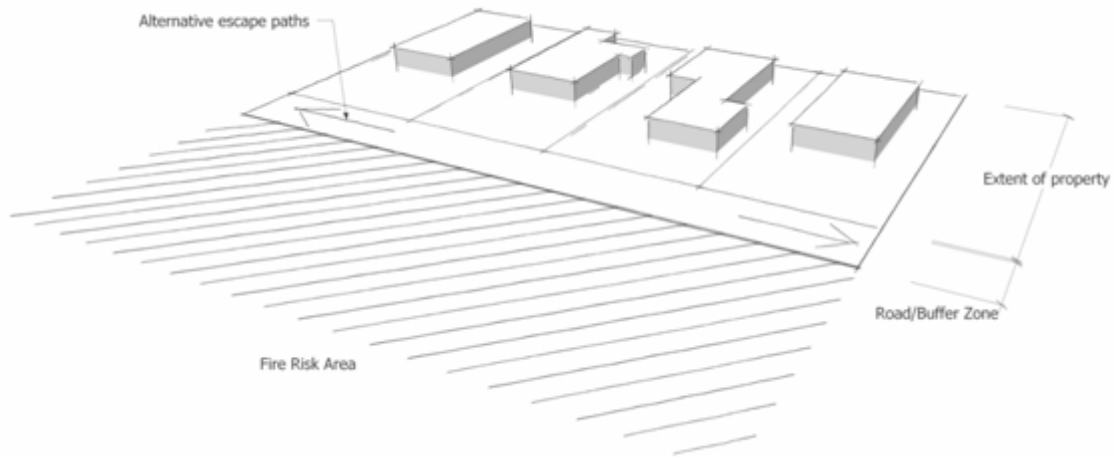


Figure 8.2.4.3.a – Buffer zones for bushfire risk areas

8.2.5 Coastal processes overlay code

8.2.5.1 Application

This code applies to assessing development within the Coastal processes overlay as shown on the Coastal processes overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

Editor's note – As referenced in Part 1, this planning scheme does not appropriately integrate the Coastal hazards – Erosion prone areas aspect of the State Planning Policy. Therefore, the State Planning Policy prevails over all mapping and assessment criteria relating to Coastal hazards - Erosion prone areas within this planning scheme. Refer to the State Planning Policy mapping and Part E Interim Development Assessment Provisions for Coastal hazards - Erosion prone areas.

8.2.5.2 Purpose

- (1) The purpose of the Coastal processes overlay code is to:
 - (a) reduce risk to people and property from coastal processes;
 - (b) allow coastal processes to occur naturally;
 - (c) ensure that development takes into account the predicted changes in sea level rise as a consequence of climate change.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development minimises exposure of people and property to unacceptable coastal hazards, and maximises their ongoing safety;
 - (b) development allows for natural coastal processes, including as a result of sea level rise, to occur without interference;
 - (c) coastal protection works are only undertaken as a mitigation action where erosion within an erosion prone area poses an imminent threat to public safety and property outside the erosion prone area;
 - (d) development within the Erosion prone area minimises the intensification of existing uses or structures other than for existing community infrastructure;
 - (e) development preserves the integrity of the coastal building line as the defined seaward boundary for building work and other development;
 - (f) community access to the foreshore or public use of coastal waters is maintained and where appropriate, increased.

8.2.5.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.5.3.a – Coastal processes overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Coastal building lines	
<p>PO1 Development adjacent to the coast or a reserve for a coastal resource with a defined coastal building line does not extend seaward of the coastal building line.</p>	<p>AO1.1 Development (where for buildings and other permanent structures such as swimming pools and retaining walls) does not extend seaward of a coastal building line except for uncovered and unenclosed cantilevered balconies where:</p> <ol style="list-style-type: none"> (a) not extending greater than 3 metres seaward of the coastal building line; (b) set back not less than 6 metres from the seaward boundary of the lot.

Performance outcomes	Acceptable outcomes
	<p>Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection.</p>
<p>PO2 Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast development is set back to maintain the amenity and use of the coastal resource.</p>	<p>AO2.1 Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development (including all buildings and other permanent structures such as swimming pools and retaining walls are set back not less than 6 metres from the seaward boundary of the lot.</p>
For assessable development	
Coastal access	
<p>PO3 Development ensures public access to the coast and coastal waters is provided to a safe and serviceable standard and is not impeded by private use of the coastal resource.</p>	<p>AO3.1 Development incorporates public access to the coast and coastal waters where: (a) adjacent to a reserve; or (b) has direct frontage to the coastline.</p> <p>AO3.2 Where adjacent to the coast, development improves the standard and number of public access points to the coast.</p>
Coastal processes	
<p>PO4 Development allows for natural fluctuations of the coast to occur, including appropriate allowance for climate change and sea level rise.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Erosion prone areas	
<p>PO5 Development is located, designed and managed to:</p> <ul style="list-style-type: none"> (a) allow natural coastal processes to occur; (b) protect people and property from coastal erosion risks; (c) avoid the use of coastal protection works, as far as practical. <p>Note – For the purposes of PO5 Coastal protection work means any permanent or periodic work undertaken primarily to manage the impacts of coastal hazards, including altering physical coastal processes such as sediment transport.</p>	<p>AO5.1 Development is not located in the Erosion prone area within the Coastal management district shown on the Coastal processes overlay maps contained in Schedule 2, unless:</p> <ul style="list-style-type: none"> (a) the development cannot be feasibly located elsewhere; (b) it is coastal-dependent development, or is temporary, readily relocatable or able to be abandoned development. <p>Note – Coastal –dependant development is defined in Schedule 1.2.</p> <p>Note – For the purposes of AO5.1, Temporary, readily relocatable or able to be abandoned development means a land use or structure that, if threatened by adverse coastal hazard impacts, will be relocated, or discontinued and removed rather than protected from the impacts because:</p> <ul style="list-style-type: none"> (1) it is not anticipated to remain in place for more than 10 years and/or is capable of being disassembled or easily removed (2) there will be negligible adverse economic or social consequences associated with its relocation, or from it being discontinued or removed.

Performance outcomes	Acceptable outcomes
	<p>AO5.2 Development that is for the redevelopment of existing permanent buildings or structures is located on a part of the site that is not within the Erosion prone area shown on the Coastal processes overlay maps contained in Schedule 2;</p> <p>or</p> <p>AO5.3 Where it is not feasible to locate the redevelopment outside an Erosion prone area, the redevelopment:</p> <ul style="list-style-type: none"> (a) is located: <ul style="list-style-type: none"> (i) as far landward from the seaward property boundary as possible, or (ii) landward of the seaward alignment of the neighbouring buildings; (b) provides space seaward of the development within the premises to allow for the future construction of erosion control structures. <p>Note – For the purposes of AO5.2 and AO5.3 Redevelopment means development that affects permanent built structures on an already developed site. Redevelopment includes the expansion of a building footprint or addition of a structure, reconstruction or remodelling an exterior, demolition and replacement of existing structures, or the establishment of an alternative type of use and associated land disturbing activities</p> <p>AO5.4 Development that involves coastal protection work (excluding beach nourishment) only occurs as a last resort where coastal erosion presents an imminent threat to public safety or existing buildings and structures, and all of the following apply:</p> <ul style="list-style-type: none"> (a) the property and use cannot reasonably be relocated or abandoned, and (b) any coastal protection works to protect private property is located as far landward as practicable and on the lot containing the property to the maximum extent reasonable, and (c) the coastal protection work mitigates any increase in coastal hazard risk for adjacent areas. <p>Note – For the purposes of AO5.4 Coastal protection work means any permanent or periodic work undertaken primarily to manage the impacts of coastal hazards, including altering physical coastal processes such as sediment transport.</p>

8.2.6 Extractive resources overlay code

8.2.6.1 Application

This code applies to assessing development within the Extractive resources overlay as shown on the Extractive resources overlay maps contained in Schedule 2.

When using this code, reference should be made to Part 5.

8.2.6.2 Purpose

- (1) The purpose of the Extractive resources overlay code is to protect resource processing areas and associated haulage routes and separation areas, and to ensure development is compatible with the nature and long term availability of the resource.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development associated with resource extraction is located within the identified resource processing areas;
 - (b) the development of sensitive land uses does not occur within the resource processing and separation areas;
 - (c) development within a resource separation area or haulage route separation area mitigates any existing or potential impacts caused by extractive industry activities.

8.2.6.3 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.6.3.a – Extractive resources overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Development in the resource processing areas	
PO1 Development does not constrain or prevent the long term availability of the resource.	AO1.1 Development is for extractive industry, or directly associated with extractive industry.
	AO1.2 Development is for a use or temporary use that would not constrain existing or future extractive industry.
Development in the resource separation areas and haulage route separation areas	
PO2 The development of sensitive land uses does not occur within the resource separation areas.	AO2.1 No acceptable measures identified.
PO3 Development located within a resource separation area or haulage route separation area is designed to mitigate the potential adverse impacts from an existing or future extractive industry.	AO3.1 Development is designed to mitigate the potential adverse impacts from existing or future extractive industry activities to acceptable levels by: <ol style="list-style-type: none"> (a) locating buildings and structures the greatest distance practicable from the extractive resource processing area and associated haulage route; (b) designing buildings so that habitable rooms are furthestmost from the resource processing area and associated haulage

Performance outcomes	Acceptable outcomes
	route; (c) minimising openings in walls closest to the haulage route; (d) providing mechanical ventilation to habitable rooms; (e) use of appropriate construction methods and materials including insulation and glazing materials; (f) providing private outdoor recreation space adjacent to a building façade shielded from the haulage route, extractive industry and/or resource processing area.
<p>PO4 Development within a haulage route separation area does not adversely affect the safe and efficient operation of vehicles transporting extractive materials.</p>	<p>AO4.1 The number of access points to a haulage route is not increased.</p>

8.2.7 Flood and inundation hazards overlay code

8.2.7.1 Application

This code applies to assessing development within the Flood and inundation hazards overlay as shown on the Flood and inundation hazards overlay maps contained in Schedule 2 or development for:

- (a) Emergency services (if for a police station); or
- (b) Industry activities (if including components which store, treat or use hazardous materials);
or
- (c) Substation; or
- (d) Utility installation; or
- (e) Emergency services; or
- (f) Hospital; or
- (g) Major electricity infrastructure; or
- (h) Special industry.

When using this code, reference should be made to Part 5.

Note – The Flood and Inundation hazards overlay maps contained in Schedule 2 identify areas (flood and inundation areas) where flood and storm tide inundation modelling has been undertaken by Council. Other areas not identified by the Flood and inundation hazards overlay maps contained in Schedule 2 may also be subject to a Flood or inundation event.

The mapping data source for the Floodplain assessment precinct is very broad and is a high level default mapping product required by State policy to be reflected in areas where the inundation level of the defined hazard event has not been determined through appropriate flood studies. The map is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed in these areas.

8.2.7.2 Purpose

- (1) The purpose of the Flood and inundation hazards overlay code is to ensure that development:
 - (a) protects the safety of people and minimises damage to property and the environment;
 - (b) does not adversely interfere with the function of drainage catchments and coastal processes or require complex engineering solutions to do so;
 - (c) minimises impacts from flood hazards and storm tide inundation hazards on the community in relation to infrastructure function, environmental values and economic productivity, and improves the resilience of the community to the impacts of climate change.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development maintains the safety of people and property from flood and storm tide inundation hazards;
 - (b) development minimises the exposure of people and property to unacceptable risk from flood and storm tide inundation hazards;
 - (c) development is designed, located and operated to minimise damage to property, disruption to building function and the re-establishment time after a flood or storm tide event;
 - (d) development ensures evacuation routes and emergency services are not impeded;
 - (e) development does not directly or cumulatively cause or increase adverse impacts of flood or storm tide inundation on other properties or require complex engineering solutions to mitigate adverse impacts;
 - (f) hazardous materials are not handled or stored in bulk where it would adversely impact on public safety and the environment as a result of the impacts of flood or storm tide inundation hazard events;

- (g) development involving essential community infrastructure ensures it remains functional during and immediately after flood and storm tide inundation events;
- (h) development does not adversely impact on ecological functions of waterways, drainage paths and coastal processes.

Precinct 1 – Barron River Delta

- (3) In addition to 8.2.7.2(2), the overall outcomes sought for the precinct are:
 - (a) maintain the characteristics of the floodplain, including its storage capacity, water flow paths and velocities, and environmental qualities;
 - (b) protect the scenic amenity of this major inter-urban break.

Precinct 2 – Mount Peter

- (4) In addition to 8.2.7.2(2), the overall outcomes sought for the precinct are:
 - (a) the extent of filling is limited to Sub-precinct 2a - Low-medium hazard areas only;
 - (b) an efficient drainage network is provided to mitigate loss of natural floodplain storage.

Precinct 3 – CBD and environs

- (5) In addition to 8.2.7.2(2), the overall outcomes sought for the precinct are:
 - (a) development in the precinct ensures development results in no loss of planned floodplain storage.

Precinct 4 – Floodplain assessment

- (6) In addition to 8.2.7.2(2), the overall outcomes sought for the precinct are:
 - (a) defines the flood event;
 - (b) ensures development is compatible with the impact of the flood event.

8.2.7.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.7.3.a – Flood and inundation hazards overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Safety of people and property	
<p>PO1 Development is located and designed to:</p> <ul style="list-style-type: none"> (a) ensure the safety of all persons; (b) minimise damages to the development and contents of buildings; (c) provide suitable amenity; (d) minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events. 	<p>AO1.1 Development is sited on parts of the land that is not within the Defined inundation event area as shown on the Flood and inundation hazards overlay maps contained in Schedule 2;</p> <p>or</p> <p>AO1.2 Development is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.7.3.b plus a freeboard of 300mm.</p>
Additional requirements for Precinct 2 – Mount Peter	
<p>PO2 The extent of future filling to support development is limited to areas of medium and low hazard as identified in Precinct 2 on the Flood and inundation hazards overlay maps contained in Schedule 2.</p>	<p>AO2.1 Filling of land to achieve immunity to the 1% AEP event occurs only in Sub-precinct 2a – Low-medium hazard area shown in Precinct 2 on the Flood and inundation hazards overlay maps contained in Schedule 2.</p>

Performance outcomes	Acceptable outcomes
	<p>AO2.2 Filling of land does not occur within Sub-precinct 2b – High-extreme hazard area shown in Precinct 2 on the Flood and inundation hazards overlay maps contained in Schedule 2.</p>
Additional requirements for Precinct 3 – CBD and Environs	
<p>PO3 Development in Precinct 3 – CBD and environs ensures filling is not more than the planned loss of flood storage capacity.</p>	<p>AO3.1 Development involving filling of land within the zones shown in Precinct 3 on the Flood and inundation hazards overlay maps contained in Schedule 2 is not more than the following planned levels: (a) 100% of the flood storage capacity of the site in Sub-precinct Zone 1; (b) 60% of the flood storage capacity of the site in Sub-precinct Zone 2;</p>
	<p>AO3.2 Where development in Sub-precinct Zone 1 necessitates a finished floor level for ground level tenancies above the height of the existing footpath level any ramp, stairs or other features utilised to bridge the variation in floor level are contained wholly within the curtilage of the building.</p>
Hazardous materials and chemicals	
<p>PO4 Hazardous materials and chemicals are located and stored to ensure the public and environment are protected from adverse impacts of inundation waters being contaminated.</p>	<p>AO4.1 Hazardous materials and chemicals are stored above the defined inundation event.</p>
	<p>AO4.2 Structures used to store hazardous materials and chemicals are designed to prevent intrusion of flood and storm tide inundation.</p>
For assessable development	
Safety of people and property	
<p>PO5 Development minimises the exposure of people and property to unacceptable risk from flooding and storm tide inundation.</p> <p>Note – Planning Scheme Policy – Natural hazards provides guidance on preparing a Flood and inundation hazard assessment.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
	<p>AO6.1 No acceptable outcomes are provided.</p>
<p>PO6 Development is designed, located and operated to minimise damage to property, disruption to building function and the re-establishment time after a flood or storm tide hazard event.</p>	
Cumulative impacts of developments	
<p>PO7 Development does not directly or cumulatively</p>	<p>AO7.1 Development ensures there is no adverse</p>

Performance outcomes	Acceptable outcomes
<p>cause or increase adverse impacts from flood or storm tide inundation on:</p> <ul style="list-style-type: none"> (a) properties or land; (b) ecological functions of waterways or other drainage paths, including water quality or their hydraulic capacity; (c) natural coastal processes. 	<p>change to the profile of flood or storm tide hazard events or its behaviour over land that is upstream, downstream or adjacent to the development site.</p> <p>A07.2 Works do not involve any physical alteration (including vegetation clearing) to:</p> <ul style="list-style-type: none"> (a) a watercourse; (b) drainage path; (c) the coastline; (d) tidal waters and land; or (e) wetlands. <p>A07.3 Development:</p> <ul style="list-style-type: none"> (a) avoid any reductions of on-site flood storage capacity and storm tide inundation, and contain within the subject site any changes to depth/duration/velocity of flood or storm tide hazards up to and including the 1% AEP Event; or (b) do not change the flood or storm tide characteristics at the Defined Inundation Event outside the site in ways that result in: <ul style="list-style-type: none"> (i) loss of flood storage capacity; (ii) loss of/changes to flow paths; (iii) acceleration or retardation of flows; (iv) any reduction in warning times elsewhere; <p>or</p> <p>A07.4 The development is supported by a Inundation Hazard management plan that outlines the manner in which impacts of any changes to the flood or storm tide behaviour are mitigated to maintain the safety of people and property and the ecological function of the coast and tidal waters, flood plains, waterways and wetlands.</p>
<p>PO8 Development provides an efficient drainage network which:</p> <ul style="list-style-type: none"> (a) provides capacity for stormwater discharge; (b) minimises flooding from major rainfall events; (c) does not result in loss of floodplain storage; (d) does not result in adverse impacts upstream or downstream; (e) does not result in an unacceptable increase in peak flood levels and flows. 	<p>A08.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Community infrastructure	
<p>PO9 Community infrastructure is designed to remain functional during and immediately after flood and storm tide hazard events.</p>	<p>AO9.1 Any components of the development that are likely to fail to function or may result in contamination when inundated (e.g. electrical switch gear and motors, water supply pipeline air valves) are: (a) located above the Defined inundation event; or (b) designed and constructed to tolerate inundation.</p> <p>AO9.2 Infrastructure is designed and constructed to withstand the impacts of flood and storm tide hazard events.</p> <p>AO9.3 Community infrastructure which is located below the Defined Inundation Event level: (a) is designed to function effectively during and immediately after the flood or storm tide event; (b) has an emergency rescue area above the Defined Inundation Event level if it is for emergency services or hospitals.</p>
Additional requirements for development within the Rural zone or Emerging community zone	
Evacuation routes and emergency services	
<p>PO10 Development ensures evacuation routes and emergency services are not impeded or otherwise plans for the prospect and impact of isolation or hindered evacuation during a flood or storm tide hazard event.</p>	<p>AO10.1 Development provides an effective evacuation route that remains passable, with sufficient flood or storm surge warning time, to enable people to progressively evacuate to areas above the Defined Inundation Event areas shown on the Flood and inundation hazards overlay maps contained in Schedule 2 in the lead up time to the event.</p>
Additional requirements for Precinct 1 – Barron River Delta	
<p>PO11 Development in Precinct 1 – Barron River Delta maintains the characteristics and values of the floodplain, including its storage capacity, water flow paths and velocities, and environmental qualities.</p> <p>Note – Planning Scheme Policy – Natural hazards provides guidance on preparing a Flood and inundation hazards assessment.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
<p>PO12 Development in Precinct 1 – Barron River Delta protects the scenic amenity of this major inter-urban break.</p>	<p>AO12.1 Development in the precinct does not result in an adverse impact on the amenity and landscape character of the area to achieve the required level of immunity.</p>

Performance outcomes	Acceptable outcomes
	<p>Note – The Landscape values overlay code provides further guidance on meeting the outcomes of this Acceptable outcome.</p>
<p>Additional requirements for Precinct 4 – Floodplain assessment</p>	
<p>PO13 Development in Precinct 4 – floodplain assessment ensures siting and layout responds to the flooding potential and maintains personal safety at all times.</p>	<p>AO13.1 Development on land partially affected by Precinct 4 - floodplain assessment is located outside the affected part of the site;</p> <p>or</p> <p>AO13.2 Development defines the flood event based on: (a) the highest known flood event and flood behaviours over land; or (b) the tolerable level of risk to people and property in the design, layout and mitigation measures; or (c) a Flood and inundation hazards assessment.</p> <p>Note – State Planning Policy – State interest guideline – Natural hazards, risk and resilience provides further guidance on Tolerable risk.</p> <p>AO13.3 Development that is for an urban purpose, reconfiguration of a lot (other than for a non-urban purpose), or Community infrastructure, is supported by a detailed Flood and inundation hazards assessment and all necessary measures are implemented to minimise the risk to people and property.</p> <p>Note – Planning Scheme Policy – Natural hazards provides guidance on preparing a Flood and inundation hazards assessment.</p>
<p>PO14 Development is compatible with the potential nature of the flood event defined for the site.</p>	<p>AO14.1 Development is located, designed, operated and managed to be compatible with the defined flood event.</p> <p>Note – The defined flood event in relation to this acceptable outcome is as identified in response to PO14. Where development is not supported by a flood hazard assessment, a risk assessment should provide an indication to the type of use and the level of immunity that would ordinarily be required and the consequence of the event occurring on that particular development.</p>

Table 8.2.7.3.b — Minimum immunity (floor levels) for development in the flood and inundation risk category

Minimum immunity to be achieved (floor levels)	Uses and elements of activities acceptable in the event
20% AEP level	<ul style="list-style-type: none"> • Parks and open space.
5% AEP level	<ul style="list-style-type: none"> • Car parking facilities (including car parking associated with use of land).
1% AEP level	<ul style="list-style-type: none"> • All development (where not otherwise requiring an alternate level of minimum immunity).
0.5% AEP level	<ul style="list-style-type: none"> • Emergency services (if for a police station); • Industry activities (if including components which store, treat or use hazardous materials); • Substation; • Utility installation.
0.2% AEP level	<ul style="list-style-type: none"> • Emergency services; • Hospital; • Major electricity infrastructure; • Special industry.

8.2.8 Hazardous and explosive facilities overlay code

8.2.8.1 Application

This code applies to assessing development within the Hazardous and explosive facilities overlay.

When using this code, reference should be made to Part 5.

8.2.8.2 Purpose

- (1) The purpose of the Hazardous and explosive facilities overlay code is to ensure that development:
 - (a) does not adversely affect the safety, efficiency or operational integrity of hazardous or explosive facilities;
 - (b) manages the risk the operation of a hazardous or explosive facility may pose to people and property.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (c) Development is located, designed and operated to not adversely impact the safety, efficiency and operational integrity of hazardous or explosive facilities;
 - (d) Development manages the number and operations of people living, working and congregating in proximity to hazardous or explosive facilities to reduce the risk to public safety;
 - (e) Development mitigates the potential adverse effects of noise, dust, ground vibration or blast overpressure to ensure safety of people and property in proximity to a hazardous or explosive facility.

8.2.8.3 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.8.3.a – Hazardous and explosive facilities overlay code – Assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
All development	
PO1 Development does not compromise the continued safety, efficiency and operational integrity of a hazardous or explosive facility.	AO1.1 No acceptable outcomes are provided.
PO2 Development is located, designed and operated to mitigate the potential adverse impacts arising from a hazardous or explosive facility.	AO2.1 No acceptable outcomes are provided.
Explosive facility area	
PO3 Development avoids uses that are vulnerable to the direct effects of blast, radiant heat and projectiles.	AO3.1 Unless there is a pre-existing development commitment, development does not: <ol style="list-style-type: none"> (a) include a new vulnerable land use; (b) intensify an existing vulnerable land use.

Performance outcomes	Acceptable outcomes
<p>PO4 Development is located, designed and operated to ensure that potential adverse impacts from noise, dust, ground vibration or air blast overpressure are minimised to the greatest extent practicable.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>Major hazard facility area</p>	
<p>PO5 Development is compatible with the risk associated with a major hazard facility.</p>	<p>AO5.1 Development within a Major hazard facility area 'A' does not result in the establishment or expansion of a vulnerable land use, sensitive land use or commercial land use.</p>
	<p>AO5.2 Development within a Major hazard facility area 'B' does not result in the expansion or establishment of a vulnerable land use.</p>



8.2.9 Hillslopes overlay code

8.2.9.1 Application

This code applies to assessing development within the Hillslopes overlay.

When using this code, reference should be made to Part 5.

Note – For self-assessable development, building work triggered by 1.8(1) must be referred to the local government as a concurrence agency and will be assessed against the criteria within Table 1.8.a.

8.2.9.2 Purpose

- (1) The purpose of the Hillslopes overlay code is to ensure that development on hillslopes maintains the scenic backdrop to the region and ensures the safety of people, property and the environment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development on hillslopes is safe, serviceable and accessible;
 - (b) the ecological values, landscape character and scenic amenity of the Hillslopes are protected from development so as to retain the scenic backdrop to the region;
 - (c) development on hillslopes is appropriate, having regard to the topographic constraints and environmental characteristics of the land;
 - (d) development responds to the constraints of the site including gradient and slope stability;
 - (e) works do not involve complex engineering solutions.

8.2.9.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.9.3.a – Hillslopes overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
PO1 The landscape character and scenic amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO1.1 Excavation and filling does not exceed 50m ³ .
	AO1.2 No vegetation damage occurs. Note – refer to the definition of Vegetation damage contained in Schedule 1.2.
	AO1.3 Development is undertaken within 50m of the front boundary of the site.
	AO1.4 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%).
PO2 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through: <ol style="list-style-type: none"> (a) loss of privacy; (b) loss of access to sunlight; (c) intrusion of visual or overbearing impacts; 	AO2.1 Excavation or fill: <ol style="list-style-type: none"> (a) is not more than 1.8 metres in height for each batter or retaining wall; (b) is set back a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in

Performance outcomes	Acceptable outcomes
(d) complex engineering solutions.	<p>accordance with the requirements of Planning scheme policy - Landscaping;</p> <p>(d) does not exceed a maximum of 2 batters and 2 berms (i.e. not greater than 3.6 metres in total height) on any one lot.</p> <p>Note – Planning Scheme Policy - FNQROC Regional Development Manual provides guidance for excavation and filling associated with batters and retaining walls.</p>
For assessable development	
Scenic amenity and landscape character	
<p>PO3 The landscape character and scenic amenity quality of the hillslopes areas are retained and remain the scenic backdrop to the region.</p>	<p>AO3.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p>AO3.2 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting; (c) provided with erosion control measures.</p> <p>AO3.3 Development does not require the clearing or disturbance of vegetation.</p> <p>AO3.4 Building Work: (a) is finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) is not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces; (c) exterior colour schemes do not result in the use of a single colour on large surface areas or broad expanses.</p> <p>AO3.5 Roofs on buildings or structures are: (a) non reflective and finished in a low contrast colour that blends with the surrounding vegetation and landscape; (b) not finished in terracotta colours, reds, yellows, shades of white, beige or light grey.</p>

Performance outcomes	Acceptable outcomes
	<p>AO3.6 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p>
Lot reconfiguration	
<p>PO4 For development that involves reconfiguring a lot, lot layout and design is responsive to the natural constraints of the land and each lot is capable of being used for its intended purpose.</p>	<p>AO4.1 The frontage and depth of all lots is of sufficient width to:</p> <ul style="list-style-type: none"> (a) allow driveways to follow the natural contours of the site and not exceed a gradient of 1 in 6 (16.6%); (b) accommodate any changes in gradient between the road and lot within the lot boundary and not within the road reserve. <p>AO4.2 Development does not create new lots containing land of greater than 1 in 4 (25%), except where a rectangular area of land of lesser grade and a nominated driveway/access arrangement is contained within the new lots to accommodate the intended land use, with the balance left in their natural state to the greatest extent possible.</p> <p>Note – The size of rectangular areas is outlined within the lot reconfiguration outcomes identified in each zone code</p> <p>AO4.3 Development does not alter ridgelines.</p> <p>AO4.4 Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.</p>

8.2.10 Landscape values overlay code

8.2.10.1 Application

This code applies to assessing development within the Landscape values overlay.

When using this code, reference should be made to Part 5.

8.2.10.2 Context

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992*.

The Cairns region is internationally renowned for its outstanding scenery, from the Great Barrier Reef and Wet Tropics World Heritage Areas to the forested hillslopes, rainforests, stunning seascapes, freshwater scenery and canefields. The region's landscapes and natural areas also have important cultural significance for the region's indigenous communities.

The Cairns region coastline is one of the few places in the world where two extensive natural World Heritage Areas meet. The Great Barrier Reef is the world's largest World Heritage Area and the most extensive coral reef system, of exceptional natural beauty. The Wet Tropics rainforest are also world-renowned for their biodiversity and natural beauty. Protection and enhancement of these World Heritage Areas and their biodiversity are aims of the Far North Queensland Regional Plan 2009-2031.

Within the Cairns region are large national park areas where steep mountain ranges with tropical rainforests and waterways meet the Coral Sea along a coastal interface of sandy beaches and rocky headlands. The steep hillslopes behind the generally narrow coastal plain are signature landscape features of the city of Cairns and the region generally, creating a dramatic backdrop of rich green vegetation, frequently with cloud capped ridges and peaks. Views to these natural forested hillslopes contribute significantly to the tourist image of Cairns, especially where viewed in combination with canefields, waterways and the coastline.

The coastline of the Cairns region includes many picturesque sandy beaches, attractive bays and visually prominent headlands, where scenic routes provide opportunities for views of the dramatic and largely natural combination of forested mountains and shoreline. Waterways of high scenic value include rivers and creeks, gorges, waterfalls, rockpools and a lake. Fed by the region's high rain rainfall, freshwater creeks and waterfalls flow from mountainous regions through attractive semi-secluded valleys, into gorges and drain into the major river catchments.

Between the coast and the mountains the rural landscape is characterised by distinctive patterns of canefields and other rural production areas, and this rural character is an important part of the region's scenic landscape values.

Numerous lookout and scenic route opportunities in the Cairns region offer view to attractive landscape features, the coastline, Coral Sea and offshore islands. Panoramic or long-distance view corridors are available across a diversity of landscape patterns, including extensive views across canefields and lowlands to distant mountains. The shoreline and seascape scenery is also unusually diverse, ranging from the distinctive Trinity Inlet mudflats and mangroves, to rocky headlands and the azure waters of sandy beaches and islands. The distinctive tropical character and scenic amenity value of these beaches and islands are irreplaceable, and face long term threats from the potential impacts of sea level rise.

Within this scenic context, the Cairns region is also characterised by the distribution and scale of urban areas, and their close visual relationship to the mountains and coastline. Cairns City is the principal centre, with wide streets, large canopied tropical streets and park trees, plus taller buildings and an urban esplanade overlooking the mudflats of Trinity Inlet. The Cairns region is also characterised by its coastal towns and villages and hinterland settlements, each with their own distinct character. There are many attractive places and available views within these settlements such as scenic watercourses, historic buildings, monuments, views and rainforest and water, with many towns framed by a skyline of forested ranges visible from within or from the edges of towns.

The Cairns region is an extensive area of scenic beauty comprised of many natural and rural landscape elements enjoyed by residents and visitors, within close proximity to (and accessible from) the urban area and major routes. Population growth pressures present a challenge to maintain the landscape values that underpin the liveability, cultural significance, tourist image and prosperity of the Cairns region.

8.2.10.3 Purpose

- (1) The purpose of the Landscape values overlay code is to ensure that development protects, maintains and enhances the landscape values within the Cairns region.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas of High landscape value are protected, retained and enhanced;
 - (b) areas of Medium landscape value are managed to integrate and limit the visual impact of development;
 - (c) the landscape values of the Coastal scenery zone are managed to integrate and limit the visual impact of development;
 - (d) development maintains and enhances the significant landscape elements and features which contribute to the cultural significance and distinctive character and identify of the Cairns region;
 - (e) ridges and vegetated hillslopes are not developed in a way that adversely impacts on landscape values;
 - (f) inland watercourses, forested mountains and coastal landscape character types remain predominantly natural in appearance in order to maintain the region's diverse character and distinctive tropical image, in particular:
 - (i) areas in the coastal landscape character type which are predominantly natural and undeveloped in appearance retain this natural landscape character;
 - (ii) inland watercourses which are predominantly natural and undeveloped in appearance retain this natural landscape character;
 - (iii) the rural character of canfields, grassy hillsides and lowlands landscape character types which are predominantly rural or natural in appearance are maintained.
 - (g) landscape values are maintained when viewed from:
 - (i) lookouts;
 - (ii) scenic routes;
 - (iii) gateways;
 - (iv) public places.
 - (h) view towards High landscape value areas and the Coral Sea are not diminished;
 - (i) development is consistent with the prevailing landscape character of its setting, and is neither visually dominant nor visually intrusive;
 - (j) advertising devices do not detract from the landscape values, character types or amenity of an area.

8.2.10.4 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.10.4.a – Landscape values overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Development within the High landscape value area	
<p>PO1 Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;</p> <p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p> <p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided or screened from view.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy – Landscape values in satisfaction of a performance outcome</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p>
	<p>AO1.2 Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p>
	<p>AO1.3 Development is screened from view from roads or other public places by an existing natural landform or a native vegetation buffer.</p>
	<p>AO1.4 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p>
	<p>AO1.5 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note – Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>
	<p>AO1.6 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p>
	<p>AO1.7 Where for accommodation activities or reconfiguration of a lot involving 5 or more dwellings or 5 or more new lots in a High landscape value area development demonstrates that the height, design, scale, position on site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note – A visual impact assessment undertaken in accordance with Planning scheme policy – Landscape values may be required.</p>
	<p>AO1.8 Advertising devices do not occur.</p>

Performance outcomes	Acceptable outcomes
Development within the Medium landscape value area	
<p>PO2 Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> (a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation; (b) Is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction; (c) Retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements; (d) Incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality; (e) Avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure; (f) Avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure; (g) Extractive industry operations are avoided or screened from view. <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy – Landscape values in satisfaction of performance outcomes.</p>	<p>AO2.1 Buildings and structures are not more than 8.5 metres and 2 storeys in height.</p> <p>Note – Height is inclusive of the roof height.</p> <p>AO2.2 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p>AO2.3 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p>AO2.4 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note – Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p>AO2.5 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p> <p>AO2.6 Advertising devices do not occur.</p>
Development within the coastal scenery zone	
<p>PO3 The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrate and limit the visual impact of development.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy – Landscape values in satisfaction of a performance outcomes</p>	<p>AO3.1 The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p>AO3.2 Where located adjacent to the foreshore buildings and structures are setback:</p> <ul style="list-style-type: none"> (a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is

Performance outcomes	Acceptable outcomes
	<p>landscaped with a native vegetation buffer that has a minimum width of 10 metres; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10m from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the landscaping code but may allow areas for pedestrian and vehicle access.</p> <hr/> <p>AO3.3 Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land, esplanade or other public open space), buildings and structures area setback:</p> <p>(a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscape in accordance with the requirements of the landscaping code but may allow for areas for pedestrian and vehicle access; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining . The setback area is landscaped in accordance with the requirements of the landscaping code.</p>
<p>PO4 Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters where practicable.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy – Landscape values in satisfaction of a performance outcomes</p>	<p>AO4.1 No clearing of native vegetation is undertaken within a Coastal scenic area, except for vegetation damage undertaken in accordance with the Vegetation management code.</p>

8.2.11 Natural areas overlay code

8.2.11.1 Application

This code applies to assessing development within the Natural areas overlay.

When using this code, reference should be made to Part 5.

8.2.11.2 Purpose

- (1) The purpose of the Natural areas overlay is to protect the natural areas of the region through:
 - (a) avoiding development within biodiversity areas, waterways and waterway corridors, wetlands and declared fish habitat areas;
 - (b) minimising adverse direct and indirect impacts of development on natural areas;
 - (c) minimising adverse impacts on sensitive receiving environments;
 - (d) encouraging expansion of habitat and ecological connectivity and restoration of terrestrial and aquatic ecosystems.

- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is avoided within:
 - (i) Biodiversity areas;
 - (ii) Wetlands;
 - (iii) Waterways and waterway corridors;
 - (iv) Declared fish habitat areas;
 - (b) where development cannot be avoided, development:
 - (i) Protects and enhances areas of environmental significance;
 - (ii) Provides appropriate buffers to areas of environmental significance;
 - (iii) Protects known populations and supporting habitat of rare and threatened flora and fauna species, as listed in relevant State and Commonwealth legislation;
 - (iv) Ensures that adverse direct or indirect impacts on areas of environmental significance are minimised through design, siting, operation, management and mitigation measures;
 - (v) Does not cause adverse impacts on integrity and quality of water in upstream or downstream catchments, including declared fish habitat areas and the Great Barrier Reef World Heritage Area;
 - (vi) Protects and maintains ecological and hydrological functions of waterways, wetlands, waterway corridors and declared fish habitat areas;
 - (vii) Enhances connectivity across barriers for aquatic species and habitats;
 - (viii) Rehabilitates degraded areas to provide improved habitat condition, connectivity, function and extent;
 - (ix) Protects areas of environmental significance from weeds, pests and invasive species;
 - (c) strategic rehabilitation is directed to areas on or off site where it is possible to achieve expanded habitats and increased connectivity.

8.2.11.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.11.3.a – Natural areas overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Waterways and waterway corridor areas for Urban waterways A or Non-urban waterways	
<p>PO1 Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and instream habitat values and connectivity; (f) instream migration 	<p>AO1.1 Development does not occur on the part of the lot affected by the waterway corridor.</p> <p>Note – Waterway corridors are identified within Table 8.2.11.3.b.</p>
Waterways and waterway corridor areas for Urban waterways B	
<p>PO2 Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and instream habitat values and connectivity; (f) instream migration 	<p>AO2.1 Where a waterway is contained within an easement or reserve for the purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p>AO2.2 Development does not occur on the part of the lot affected by the waterway corridor.</p> <p>Note – Waterway corridors are identified within Table 8.2.11.3.b.</p>
For assessable development	
Biodiversity areas	
<p>PO3 Development does not cause adverse direct or indirect impacts on biodiversity values.</p> <p>Note – An ecological assessment report may demonstrate compliance with the performance outcome. Planning scheme policy – Natural environment provides guidance on preparing an ecological assessment report.</p>	<p>AO3.1 Development within a biodiversity area is avoided;</p> <p>or</p> <p>AO3.2 Where development cannot be avoided, development ensures adverse impacts on biodiversity values do not occur by:</p> <ul style="list-style-type: none"> (a) designing, siting, operating and managing development to: <ul style="list-style-type: none"> (i) be situated within existing cleared areas, including necessary fire management infrastructure and fire breaks; (ii) ensure unrestricted fauna movement; (iii) retain and restore habitat corridors and biodiversity values; (iv) provide appropriate buffers to biodiversity areas;

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (v) minimise light and noise emission into biodiversity areas; (vi) manage domestic animal movements, through adequate containment. (b) protecting and maintaining the values of biodiversity areas; (c) providing for strategic rehabilitation of vegetation species and coverage, and habitat connectivity; (d) protecting undeveloped areas of biodiversity through appropriate land tenure; (e) rehabilitating degraded areas to improve habitat condition, function and extent.
Water quality and integrity	
<p>PO4 Development does not cause adverse impacts on the quality and integrity of water in upstream or down-stream catchments, including the Great Barrier Reef Marine Park.</p>	<p>A04.1 No acceptable outcomes are provided.</p> <p>Note – An ecological assessment report may demonstrate compliance with the performance outcome. Planning scheme policy – Natural environment provides guidance on preparing an ecological assessment report.</p>
Declared fish habitat areas and fish habitat buffer areas	
<p>PO5 Development does not cause adverse impacts on fish habitat values.</p> <p>Note – An ecological assessment report may demonstrate compliance with the performance outcome. Planning scheme policy – Natural environment provides guidance on preparing an ecological assessment report</p>	<p>A05.1 Development ensures adverse impacts on fish habitat values are avoided by designing, siting, operating and managing development to:</p> <ul style="list-style-type: none"> (a) contribute to the protection of fish habitat values; (b) maintain the quality and integrity of declared fish habitat areas and water entering them.
Wetlands and wetland buffer areas	
<p>PO6 Development does not occur within a wetland.</p>	<p>A06.1 No acceptable outcomes are provided.</p>
<p>PO7 Development is set back from wetlands to maintain water quality, ecological and hydrological functions and values of wetlands and their receiving waters.</p> <p>Note – Planning scheme policy – Natural environment is applicable.</p>	<p>A07.1 Development is set back from wetlands in accordance with Table 8.2.11.3.c;</p> <p>or</p> <p>A07.2 Where an alternative buffer is proposed, the width of the alternative buffer is supported by an evaluation of the environmental values, functioning and threats to the wetland.</p>
<p>PO8 Wetlands and wetland buffer areas are maintained, protected and restored.</p> <p>Note – Wetland buffer areas are identified within Table 8.2.11.3.c.</p>	<p>A08.1 Native vegetation within wetlands and wetland buffer areas is retained.</p> <p>A08.2 Degraded sections of wetlands and wetland buffer areas are revegetated with native plants</p>

Performance outcomes	Acceptable outcomes
	in patterns and densities which emulate the relevant regional ecosystem.
Waterways and waterway buffer areas	
<p>PO9 Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and instream habitat values and connectivity; (f) instream migration. <p>Note – Planning scheme policy – Natural environment is applicable.</p>	<p>AO9.1 Waterway corridors are provided adjacent to waterways in accordance with the requirements of Table 8.2.11.3.b.</p> <p>or</p> <p>AO9.2 Where a waterway corridor of an alternative width is proposed, the alternative width is supported by an evaluation of the waterway to ensure the protection and maintenance of:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) opportunities for instream migration; (d) ecological processes; (e) riparian and instream habitat values and connectivity; (f) biodiversity values. <p>AO9.3 Development, other than Community infrastructure or open space is not located within a waterway or waterway corridor.</p>
Additional requirements for Urban waterway A and Non-urban waterway	
<p>PO10 Waterways and waterway corridors are protected, and degraded areas are restored and waterways and waterway corridors transferred to public ownership.</p>	<p>AO10.1 Native vegetation within waterways and waterway corridors is retained.</p> <p>AO10.2 Waterway corridors are:</p> <ul style="list-style-type: none"> (a) transferred to public ownership for an appropriate reserve purpose; or (b) protected through an Environmental Covenant. <p>AO10.3 Degraded sections of waterways and waterway corridors are revegetated with endemic plant species in patterns and densities which emulate the natural state of waterway corridors within the area.</p> <p>AO10.4 The lowest intensity of development is located adjacent to the waterway corridor.</p>

Table 8.2.11.3.b – Widths of waterway corridors for waterways

Waterway classification	Waterway corridor width
Urban waterway A	10 metres, measured perpendicular from the top of the high bank.
Urban waterway B	5 metres, measured perpendicular from the top of the high bank.
Non-urban waterway	25 metres, measured perpendicular from the top of the high bank.

Note – Waterway classifications are identified on the Natural areas overlay mapping contained in Schedule 2 and defined in Schedule 1.2.

Table 8.2.11.3.c — Setbacks and buffer areas for wetlands

Wetland classification	Setback and buffer area
Urban wetland	50 metres from the edge of the wetland.
Non-urban wetland	100 metres from the edge of the wetland.

8.2.12 Neighbourhood character overlay code

8.2.12.1 Application

This code applies to assessing development within the Neighbourhood character overlay.

When using this code, reference should be made to Part 5.

8.2.12.2 Purpose

- (1) The purpose of the neighbourhood character overlay code is to maintain neighbourhood character places and the existing character elements which contribute to the character of the area and to promote development that is consistent with and sympathetic to the character of the streetscape and neighbourhood character area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) neighbourhood character places and existing character elements which contribute to the streetscape and neighbourhood character are retained;
 - (b) the architectural style, height, roof style, building materials, building form and layout, setbacks and orientation of new development is compatible with the existing character elements of the neighbourhood character streetscape and area;
 - (c) extensions or alterations to a neighbourhood character place do not detract from the existing character of the neighbourhood character place or streetscape.

8.2.12.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.12.3.a – Neighbourhood character overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Design and setting	
<p>PO1 When viewed from a public place garages, carports, patios, verandahs, balconies and sheds and other ancillary buildings:</p> <ol style="list-style-type: none"> (a) are subservient to neighbourhood character place; (b) are consistent with the neighbourhood character streetscape; (c) do not detract from the appearance of existing buildings and neighbourhood character elements. 	<p>AO1.1 Garages, carports, patios, verandahs, balconies, sheds and other ancillary buildings are located in area A on Figure 8.2.12.3.a;</p> <p>or</p> <p>AO1.2 Garages and carports are located wholly under or within an existing building and any associated building works comply with AO3.1;</p> <p>or</p> <p>AO1.3 A carport may be located in area B on Figure 8.2.12.3.a where:</p> <ol style="list-style-type: none"> (a) a single vehicle carport no greater than 3m in width and height; (b) it does not have a door to the street frontage. <p>Note – Height is inclusive of the roof height.</p>

Performance outcomes	Acceptable outcomes
<p>PO2 Fences and driveways complement the traditional building and enhance the overall appearance of the neighbourhood character streetscape.</p>	<p>AO2.1 Fences to road frontages are not more than: (a) 1.2 metres in height if solid; or (b) 1.5 metres if partially transparent.</p> <p>AO2.2 Vehicle access crossovers are not more than 3 metres wide.</p>
Raising, relocating or repositioning of buildings within a site	
<p>PO3 Development involving the enclosure of the under storey area of a building: (a) preserves the dominant visual form of the upper storey; (b) does not detract from the overall character of the place or the neighbourhood character streetscape.</p> <p>Note – Planning scheme policy - Neighbourhood character provides guidance on meeting the Performance outcome.</p>	<p>AO3.1 Development of a lower storey is recessed behind the front façade of the upper storey by not less than 1 metre.</p>
<p>PO4 Development involving the raising of buildings on a site: (a) balances the proportions of the upper and lower storeys; (b) maintains the streetscape pattern; (c) does not detract from the character or amenity of the streetscape character.</p>	<p>AO4.1 Development involving the raising of buildings on a site does not reduce the existing front or side boundary setback.</p> <p>AO4.2 Raising of buildings does not: (a) increase the height of the lower storey floor level by more than 0.5 metres from ground level; (b) result in the floor level of the upper storey being more than 3.5 metres from the existing ground level.</p>
For assessable development	
Design	
<p>PO5 Development on a neighbourhood character place: (a) does not diminish its character values; (b) utilises materials that are consistent with the fabric of the neighbourhood character place; (c) is not obtrusive in the neighbourhood character streetscape; (d) is consistent with the existing elements of the neighbourhood character area.</p> <p>Note – Planning scheme policy - Neighbourhood character provides guidance on meeting the Performance outcome.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Infill development	
<p>PO6 The form, scale and design of development is consistent with, and sympathetic to, the neighbourhood character streetscape and neighbourhood character area, having regard to:</p> <ul style="list-style-type: none"> (a) architectural style; (b) building form and layout; (c) building orientation; (d) building alignment; (e) building materials; (f) roof style; (g) building height and scale; (h) side and rear boundary setbacks; (i) width (at street frontage); (j) vertical and horizontal patterning. 	<p>AO6.1 Development is consistent with the desired outcomes of the Neighbourhood character area as identified in Planning scheme policy - Neighbourhood Character and is demonstrated through a site assessment and design response.</p> <p>Note – Planning scheme policy- Neighbourhood character gives guidance on the desired character outcomes and preparing a site assessment and design response.</p>
<p>PO7 Buildings relocated onto a site are of a style and character that is compatible with the neighbourhood character streetscape.</p>	<p>AO7.1 No acceptable outcomes provided.</p>
Demolition or removals	
<p>PO8 Development involving demolition or removal of a neighbourhood character place does not occur to retain the streetscape character.</p>	<p>AO8.1 No acceptable outcomes provided.</p>

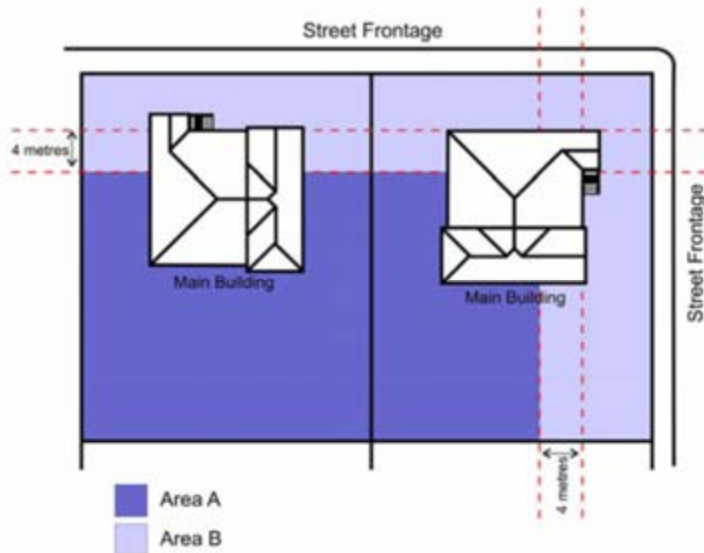


Figure 8.2.12.3.a – Consistent design solutions for carports, sheds and outbuildings

8.2.13 Places of significance overlay code

8.2.13.1 Application

This code applies to assessing development within the Places of significance overlay.

Note - Land in the places of significance overlay is identified on the Places of significance overlay maps contained in Schedule 2 and includes Places of local significance, State heritage places and premises adjoining a state heritage place.

Note - Statements of significance for places of local significance are contained in Planning scheme policy – Places of significance.

When using this code, reference should be made to Part 5.

8.2.13.2 Purpose

- (1) The purpose of the Places of significance overlay code is to ensure places of local significance are conserved and development is compatible with the cultural significance of the place. Development on premises adjoining a state heritage place protects the cultural significance of the place and its setting.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development does not result in the demolition or removal of a place of local significance, unless there is no prudent and feasible alternative to the demolition or removal. In considering whether there is no prudent and feasible alternative to the demolition or removal of a place of local significance, the Council will have regard to:
 - (i) safety, health, structural and economic considerations;
 - (ii) any other matters the Council considers relevant;
 - (b) development is compatible with the cultural significance of the place of local significance;
 - (c) the adaptive reuse of a place of local significance is encouraged so that the cultural significance is retained;
 - (d) the fabric and setting of a place of local significance is conserved and any changes are managed, documented and interpreted;
 - (e) development does not have a detrimental impact on archaeological values;
 - (f) development on premises adjoining a state heritage place is sympathetic to the cultural significance and setting of the state heritage place.

8.2.13.3 Criteria for assessment

Part A – Criteria for assessable development

Table 8.2.13.3.a – Places of significance overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Demolition or removal of a place of local significance	
<p>PO1 Development does not result in the demolition or removal of a place of local significance.</p> <p>Note – Guidance on meeting the performance outcome is provided within Planning scheme policy – Places of significance.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
For assessable development	
<p>PO2 Development is compatible with the conservation and management of the cultural significance of the place.</p> <p>Note – Guidance on meeting the performance outcome is provided within Planning scheme policy – Places of significance.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
Building work or operational work involving a place of local significance	
<p>PO3 Development conserves the features and values of a place of local significance that contribute to its cultural significance.</p> <p>Note – Guidance on meeting the performance outcome is provided within Planning scheme policy – Places of significance.</p>	<p>AO3.1 Development does not alter, remove or conceal significant features of a place of local significance.</p>
<p>PO4 Changes to a place of local significance are appropriately managed, documented and interpreted.</p> <p>Note – Guidance on meeting the performance outcome is provided within Planning scheme policy – Places of significance.</p>	<p>AO4.1 Development is compatible with a conservation management plan prepared in accordance with the Australia ICOMOS Charter for Places of Cultural Heritage Significance.</p>
	<p>AO4.2 An archival record is prepared to document the changes.</p>
	<p>AO4.3 Development includes interpretation that explains the cultural significance of the place and the changes.</p>
<p>PO5 Development does not adversely affect the character, setting or appearance of the place of local significance, including removal of vegetation that contributes to the cultural heritage significance of the place.</p> <p>Note – Guidance on meeting the performance criteria is provided within Planning scheme policy – Places of significance.</p>	<p>AO5.1 The scale, location and design of the development are compatible with the character, setting and appearance of the place of local significance.</p>
	<p>AO5.2 The development is unobtrusive and cannot readily be seen from surrounding streets or other public places.</p>
	<p>AO5.3 Existing vegetation that forms part of the place is retained and incorporated into the design and layout of development.</p>
<p>PO6 Excavation or other earthworks do not have a detrimental impact on archaeological values.</p> <p>Note – Guidance on meeting the performance criteria is provided within Planning scheme policy – Places of significance.</p>	<p>AO6.1 The impact of excavation is minor and limited to parts of the place of local significance that have been disturbed by previous excavation.</p>
	<p>AO6.2 An archaeological management plan is prepared for development involving subsurface disturbance.</p>

Performance outcomes	Acceptable outcomes
Advertising devices	
<p>PO7 Advertising devices located on or premises adjoining a state heritage place or place of local significance are sited and designed so as to:</p> <ul style="list-style-type: none"> (a) be compatible with the cultural significance of the state heritage place or place of local significance; (b) not obscure the appearance or prominence of the state heritage place or place of local significance when viewed from the street or other public places; (c) not alter or conceal significant features of the state heritage place or place of local significance. 	<p>AO7.1 No acceptable outcomes are provided.</p>
Development on premises adjoining a state heritage place	
<p>PO8 Where on a premises adjoining a state heritage place or place of local significance, development is designed and constructed so as:</p> <ul style="list-style-type: none"> (a) not to obscure the appearance or prominence of the state heritage place from surrounding streets or public places; (b) not to intrude into important vistas of the state heritage place; (c) not to site buildings and structures between a state heritage place and its primary or secondary street frontage; (d) to ensure new buildings or structures are setback from the primary street frontage and are of a height, bulk and scale which retains the visual prominence and values of the state heritage place; (e) to minimise disturbance to the original fabric of the state heritage place; (f) to retain, where intact, the significant or original siting and context of the state heritage place. <p>Note – Guidance on meeting the performance criteria is provided within Planning scheme policy – Places of significance.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>

Editor’s Note - All proposed development on sites of indigenous cultural heritage significance is required to be carried out in accordance with the most current version of the Aboriginal Cultural Heritage Act 2003 - Duty of Care Provisions.

Editor’s Note - Development on a state heritage place is to be carried out in accordance with the most current version of the Queensland Heritage Act 1992. Development on premises adjoining a state heritage place is regulated by the places of significance overlay code.

8.2.14 Potential landslip hazard overlay code

8.2.14.1 Application

This code applies to assessing development within the Potential landslip hazard overlay.

When using this code, reference should be made to Part 5.

Note - The Potential landslip hazard overlay shows modelled areas where the factors contributing to landslide potential accumulate to provide a moderate or higher risk if certain factors are exacerbated (e.g. factors include significant vegetation clearing, cutting and filling, changes to soil characteristics, changes to overland water flow, or changes to sub-surface water flow). It shows areas that the Council has identified where landslides may occur and where land may be impacted by a landslide but does not mean that landslides will occur or that the land will be impacted by a landslide. Other areas not contained within the potential landslip hazard overlay may sustain landslides or be impacted by landslides and consideration should be given to this issue where appropriate.

8.2.14.2 Purpose

- (1) The purpose of the Potential landslip hazard overlay code is to ensure that development protects the safety of people, property and the environment by avoiding the potential risk of a landslide event occurring.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is located, designed and constructed to not put at risk the safety of people, property and the environment
 - (b) development is not at risk from and does not pose a risk to adjacent and nearby sites from landslide;
 - (c) ensures that Community infrastructure is protected from the effects of potential landslides;
 - (d) ensures that vegetation clearing, stormwater management and filling and/or excavation does not create a landslide hazard and/or rectifies potential pre-existing landslide risks;
 - (e) development does not occur where works to provide a solution for safety of people, property or the environment involves complex engineering solutions to overcome risk, or would result in a built form that causes an adverse visual impact on the Hillslopes or Landscape values of the Cairns region.

8.2.14.3 Criteria for assessment

Part A – Criteria for self-assessable and assessable development

Table 8.2.14.3.a – Potential landslip hazard overlay code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Safety of people, property and environment	
<p>PO1 The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through:</p> <ol style="list-style-type: none"> (a) building design; (b) increased slope; (c) removal of vegetation; (d) stability of soil; (e) earthworks; 	<p>AO1.1 Development is located on the part of the site that is not affected by the Potential landslip hazard overlay.</p> <p>or</p> <p>AO1.2 Development is on an existing benched site and requires no further earthworks.</p>

Performance outcomes	Acceptable outcomes
<p>(f) alteration of existing ground water or surface water paths;</p> <p>(g) waste water disposal areas.</p>	<p>or</p> <p>AO1.3 A competent person certifies that:</p> <ul style="list-style-type: none"> (a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development; (b) development of the site will not increase the risk of landslide activity on other land, including land above the site; (c) the site is not subject to the risk of landslide activity on other land; (d) any measures identified in a site-specific geotechnical report for stabilising the site or development have been fully implemented; (e) development does not concentrate existing ground water and surface water paths; (f) development does not incorporate on-site waste water disposal. <p>Note – Planning scheme policy – Natural hazards provides guidance on preparing a site specific geotechnical assessment.</p> <p>Note – development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure its final disbursement is as per pre-developed conditions. Consideration for location, velocity, volume, and quality should be given.</p> <p>AO1.4 Ancillary and recreational or ornamental features (including tennis courts, ponds and swimming pools):</p> <ul style="list-style-type: none"> (a) do not occur on land with a gradient more than 1 in 4 (25%); (b) are designed and sited to respond to the natural constraints of the land to avoid the need for earthworks.
<p>PO2 The siting and design of necessary retaining structures does not cause an adverse visual impact on the landscape character or scenic amenity quality of the hillslopes areas.</p>	<p>AO2.1 Excavation or fill:</p> <ul style="list-style-type: none"> (a) is not more than 1.8 metres in height for each batter or retaining wall; (b) is set back a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with the requirements of Planning scheme policy - Landscaping; (d) does not exceed a maximum of 2 batters and 2 berms (i.e. not greater than 3.6 metres in total height) on any one lot. <p>Note – Planning Scheme Policy – FNQROC Regional Development Manual provides for excavation and filling associated with batters and retaining walls.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for Community infrastructure	
<p>PO3 Development for Community infrastructure:</p> <ul style="list-style-type: none"> (a) is not at risk from the landslide hazards; (b) will function without impediment from a landslide; (c) provides access to the infrastructure without impediment from the effects of a landslide; (d) does not contribute to elevated risk of landslide to adjoining properties. 	<p>AO3.1 Development is designed in accordance with the recommendations of a site specific geotechnical assessment which makes reference to the Community infrastructure and its needs and function.</p> <p>Note – A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy – Natural hazards provides guidance on preparing a site specific geotechnical assessment.</p>

8.2.15 Transport network overlay code

8.2.15.1 Application

This code applies to assessing development identified in Part 5 as requiring assessment against the Transport network overlay code.

When using this code, reference should be made to Part 5.

8.2.15.2 Purpose

- (1) The purpose of the Transport network overlay code is to ensure that development provides transport infrastructure that supports a safe, efficient transport network, including the active transport network.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development provides for transport infrastructure (including active transport infrastructure);
 - (b) development contributes to a safe and efficient transport network;
 - (c) development supports the existing and future role and function of the transport network;
 - (d) development does not compromise the safety and efficiency of major transport infrastructure and facilities.

8.2.15.3 Criteria for assessment

Part A – Criteria assessable development

Table 8.2.15.3.a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Road hierarchy	
<p>PO1 Development supports the road hierarchy for the region.</p> <p>Note – A Traffic impact assessment report prepared in accordance with Planning scheme policy - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO1.1 Development is compatible with the intended role and function of the existing and future transport network as identified on the Transport network overlay maps contained in Schedule 2.</p>
	<p>AO1.2 Development does not compromise the safety and efficiency of the transport network.</p>
	<p>AO1.3 Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>
Transport infrastructure provision	
<p>PO2 Transport infrastructure is provided in an integrated and timely manner.</p> <p>Note – A Traffic impact assessment report prepared in accordance with Planning scheme policy - Parking and access is one way to demonstrate achievement of the Performance</p>	<p>AO2.1 Development provides infrastructure (including improvements to existing infrastructure) in accordance with:</p> <ol style="list-style-type: none"> (a) the Transport network overlay maps contained in Schedule 2; (b) a Local Plan.

Performance outcomes	Acceptable outcomes
Outcomes.	Note – The TransLink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.
Major transport corridors	
<p>PO3 Development involving sensitive land uses within a major transport corridor buffer area identified in the Transport network overlay maps contained in Schedule 2; is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p>AO3.1 No acceptable outcomes are provided.</p> <p>Note - Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p> <p>Note - Department of Transport and Main Roads Policy Position Statement: Development on Land Affected by Environmental Emissions from Transport and Transport Infrastructure (Environmental Emissions Policy), Version 2.0 dated 10 May 2013 provides requirements for non-residential building design in a designated transport noise corridor.</p>
<p>PO4 Development does not compromise intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO4.1 Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p>AO4.2 Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p>AO4.3 Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) a Local Plan.</p> <p>Note – Access points to State Controlled roads may require approval under the Transport Infrastructure Act 1994.</p> <p>AO4.4 The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>
<p>PO5 Development retains and enhances existing vegetation between the development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Pedestrian and cycle movement network	
<p>PO6 Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.</p>	<p>AO6.1 Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle movement network is incorporated in the design of the lot layout.</p>

Performance outcomes	Acceptable outcomes
	<p>AO6.2 The element of the pedestrian and cycle movement network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy – FNQROC Regional Development Manual.</p>

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Part 9 Development codes

9.1 Preliminary

- (1) Development codes are codes for assessment where identified as an applicable code in Part 5.
- (2) Statewide codes are included in all Queensland planning schemes.
- (3) Use codes and other development codes are specific to each planning scheme area.
- (4) Each development code identifies the following:
 - (a) the application of the code;
 - (b) the purpose of the code;
 - (c) the overall outcomes that achieve the purpose of the code;
 - (d) the performance outcomes of the code;
 - (e) the acceptable outcomes of the code.
- (5) The following are the statewide codes for the planning scheme:
 - (a) 9.2.1 Community residence code;
 - (b) 9.2.2 Forestry for wood production code;
 - (c) 9.2.3 Reconfiguring a lot (subdividing one lot into two lots) and associated operational works code.
- (6) The following are the use codes for the planning scheme:
 - (a) 9.3.1 Animal keeping code;
 - (b) 9.3.2 Aquaculture and intensive animal industry code;
 - (c) 9.3.3 Brothel code;
 - (d) 9.3.4 Bulky goods and outdoor sales code;
 - (e) 9.3.5 Caretaker's accommodation code;
 - (f) 9.3.6 Child care centre code;
 - (g) 9.3.7 Community activities code;
 - (h) 9.3.8 Community care centre code;
 - (i) 9.3.9 Dual occupancy code;
 - (j) 9.3.10 Dwelling house code;
 - (k) 9.3.11 Dwelling unit code;
 - (l) 9.3.12 Extractive industry code;
 - (m) 9.3.13 Home based business code;
 - (n) 9.3.14 Market code;
 - (o) 9.3.15 Multiple dwelling and short-term accommodation code;
 - (p) 9.3.16 Parking station code;
 - (q) 9.3.17 Relocatable home park and tourist park code;
 - (r) 9.3.18 Retirement facility and residential care facility code;
 - (s) 9.3.19 Roadside stall code;
 - (t) 9.3.20 Rooming accommodation code;
 - (u) 9.3.21 Sales office code;
 - (v) 9.3.22 Service station and car wash code;
 - (w) 9.3.23 Sport and recreation activities code;
 - (x) 9.3.24 Telecommunications facility code;
 - (y) 9.3.25 Veterinary services code.

- (7) The following are the other development codes for the planning scheme:
- (a) 9.4.1 Advertising devices code;
 - (b) 9.4.2 Centre design code;
 - (c) 9.4.3 Environmental performance code;
 - (d) 9.4.4 Excavation and filling code;
 - (e) 9.4.5 Industry design code;
 - (f) 9.4.6 Infrastructure works code;
 - (g) 9.4.7 Landscaping code;
 - (h) 9.4.8 Parking and access code;
 - (i) 9.4.9 Reconfiguring a lot code;
 - (j) 9.4.10 Vegetation management code.

9.2 Statewide codes

9.2.1 Community residence code

9.2.1.1 Application

- (1) This code applies to assessing development for a Community residence.
- (2) When using this code, reference should be made to Part 5.

9.2.1.2 Purpose

- (1) The purpose of the community residence code is for assessing material change of use for a community residence.

9.2.1.3 Criteria for assessment

Part A - Criteria for self-assessable development

Table 9.2.1.3.a – Community residence code - self-assessable development

Acceptable outcomes (AO)	
AO1	The maximum number of residents is six.
AO2	One support worker is permitted to reside on the premises at any time.
AO3	The maximum number of support workers attending any daytime activity shall not exceed seven people over a 24 hour period.
AO4	Resident and visitor parking is provided on site for a minimum of 2 vehicles. One vehicle space must be dedicated for parking for support services.

9.2.2 Forestry for wood production code

9.2.2.1 Application

- (1) This code applies to assessing a material change of use for development involving cropping (where involving forestry for wood production) within the Rural zone.
- (2) When using this code, reference should be made to Part 5.

9.2.2.2 Purpose

- (1) The purpose of the code is to ensure forestry for wood production is assessed with equal regard to other forms of cropping, to guarantee long-term harvest and minimise impacts.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the use is appropriately located and setback from areas of environmental interest and existing infrastructure;
 - (b) the impacts on adjoining land uses are minimised;
 - (c) the risk of fire is minimised;
 - (d) expected harvest cycles, volumes, timescales and haulage routes, plus proposed wildfire management and the location of supportive infrastructure are known by local government, where development is assessable.

9.2.2.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.2.2.3.a – Forestry and wood production code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Setbacks	
<p>PO1 The establishment of the forest for wood production is located to minimise impacts (such as shading and falling trees) on infrastructure and areas of environmental interest.</p>	<p>AO1.1 The establishment of the forest for wood production is set back from existing infrastructure and areas of environmental interest in accordance with Table 9.2.2.3.b – Forestry for wood production setback distances.</p>
	<p>AO1.2 No cultivation and planting for wood production is to occur in the setback areas identified in Table 9.2.2.3.b. Road and track establishment and maintenance can occur.</p>
	<p>AO1.3 Self-propagated seedlings (wildlings) generated from the forest for wood production are eradicated from the setback areas identified in Table 9.2.2.3.b.</p>
Impacts on soil structure, fertility and stability	
<p>PO2 The impacts of the forest for wood production on soil structure, fertility and stability are minimised through appropriate management of the site.</p>	<p>AO2.1 The establishment and maintenance (including associated tracks and roads) of the forest for wood production utilises one or more of the following methods:</p>

Performance outcomes	Acceptable outcomes
	<p>(a) mechanical strip cultivation on the contour, spot cultivation or manual cultivation is used for establishment on slopes greater than 10 per cent and less than 25 per cent;</p> <p>(b) either spot cultivation or manual cultivation is used for establishment on slopes equal to or greater than 25 per cent;</p> <p>(c) tracks and roads are established away from natural drainage features and areas that are subject to erosion and landslips.</p> <p>AO2.2 Any part of a track or road established and maintained as part of the forest for wood production is appropriately drained and adopts the following measures:</p> <p>(a) establish and maintain a suitable surface;</p> <p>(b) drain the track or road with crossfall drainage (preferably with a slope greater than 4 per cent) or by shaping the track or road to a crown so that water drains to both of its sides;</p> <p>(c) establish and maintain drainage structures to convey water away from the track or road formation (for example, crossdrains, mitre drains, turnouts and diversion drains or relief culverts).</p> <p>AO2.3 Drainage water from tracks and roads established and maintained as part of the forest for wood production is directed away from exposed soils, unstable areas, and towards undisturbed ground and areas with stable surfaces.</p>
Fire risks	
<p>PO3 The risk of fire to adjoining premises and infrastructure is minimised through the provision of firebreaks and fire tracks and roads.</p>	<p>AO3.1 Firebreaks are established and maintained:</p> <p>(a) between the forest for wood production, adjoining premises and existing infrastructure;</p> <p>(b) at a minimum width from the base of the outside trees in accordance with Table 9.2.2.3.c Forestry for wood production fire break distances;</p> <p>(c) that are free of flammable material that is greater than 1 metre high;</p> <p>(d) to be accessible and trafficable for fire suppression vehicles.</p> <p>AO3.2 Fire access tracks and roads are established and maintained:</p> <p>(a) to a minimum width of 6 metres;</p> <p>(b) that are accessible;</p> <p>(c) that ensure no part of a plantation is more than 250 metres from a fire access</p>

Performance outcomes	Acceptable outcomes
	track or road.
For assessable development	
Cropping harvest, haulage and wildfire management	
<p>PO4 The local government is informed of the expected cropping harvest cycles, volumes, timescales and haulage routes, plus proposed wildfire management and location of supportive infrastructure.</p>	<p>AO4.1 When the forest for wood production area is greater than 10 hectares a management report is attached to the development application that contains the following information:</p> <ul style="list-style-type: none"> (a) expected harvest cycles and estimated harvest timescales; (b) an estimated haulage route plan identify likely local roads for transporting the harvest to the primary destination/s; (c) proposed methods and supporting infrastructure location for managing wild fire (including an area map of the property location, adjacent roads and tracks, property entrances, location of fire access tracks and turnarounds on the property and location of water points in the area).

Table 9.2.2.3.b – Forestry for wood production setback distances

Aspect	Distance (measured from the base of the tree)
Areas of environmental interest	
Top of a defined bank of streams (gully, creek or river) that are represented on the 1:100 000 topographic map series in accordance with the stream order classification system.	Stream order 1 to 2: 5 metres; or Stream order 3 to 5: 10 metres; or Stream order 6: 20 metres.
State-owned protected areas and forest reserves under the <i>Nature Conservation Act 1992</i> .	10 metres
Protected vegetation under the <i>Vegetation Management Act 1999</i> .	10 metres
Infrastructure	
Dwellings	100 metres or such distance that ensures the dwelling is consistent with the requirements of AS3959-2009 and the Building Code of Australia.
Machinery sheds	25 metres or 1.5 times the maximum anticipated height of the tree at harvest, whichever is the greater.
Transmission lines and above-ground pipelines (excluding infrastructure servicing only the farm) not subject to an easement	25 metres or 1.5 times the maximum anticipated height of the tree at harvest, whichever is the greater.

Table 9.2.2.3.c – Forestry for wood production firebreak distances

Firebreaks	
Forestry for wood production activities less than 40 hectares	7 metres
Forestry for wood production of 40 hectares to 100 hectares	10 metres
Forestry for wood production greater than 100 hectares	20 metres, or a 10 metre break that is free of flammable material that is greater than 1 metre high followed by a 10 meter fuel reduction area where forestry for wood production trees are pruned up to a minimum height of 5 metres, commencing once trees are greater than 10 meters in height.

9.2.3 Reconfiguration of a lot (subdividing one lot into two lots) and associated operational work code

9.2.3.1 Application

- (1) This code applies to assessing a Reconfiguration of a lot for subdividing one lot into two lots and associated operational works in accordance with Schedule 18 of the Regulation.

Note – Development on a premises affected by an overlay does not comply with Schedule 18 of the Regulation and a development application for assessable development must be made to the local government.

- (2) When using this code, reference should be made to Part 5.

9.2.3.2 Purpose

- (1) The purpose of the reconfiguring a lot (subdividing one lot into two lots) and associated operational work code is for assessing requests for compliance assessment for development for reconfiguring a lot that requires compliance assessment as prescribed in Part 5, section 5.5.

Note – Development subject to compliance assessment must be able to achieve compliance with the compliance outcomes for a compliance permit to be issued,

Note – If compliance with the code is not possible, the development cannot be considered for compliance assessment and a development application for assessable development must be made to the local government as outlined in Schedule 18 of the Regulation.

9.2.3.3 Criteria for assessment

Part A - Criteria for compliance development

Table 9.2.3.3.a – Reconfiguration of a lot (subdividing one lot into two lots) and associated operational work code – compliance assessment

Compliance outcomes (CO)	
Lot design	
CO1	Each lot is to comply with the minimum road frontage requirements in Table 9.2.3.3.b for the relevant zone.
CO2	Each lot is to comply with the minimum lot size requirements in Table 9.2.3.3.b for the relevant zone.
CO3	There are no building envelope requirements for reconfiguring a lot (subdividing one lot into two lots) and associated operational work.
CO4	No rear lots are created.
CO5	The reconfiguration ensures that any existing or proposed buildings and structures are set back to any new property boundary in accordance with the setback requirements in Table 9.2.3.3.b.
CO6	The reconfiguration enables proposed buildings and structures to avoid easements, such as easements for trunk sewer lines. No new lots are created where proposed buildings and structures cannot be constructed due to existing or planned underground or above ground infrastructure.
CO7	The reconfiguration does not involve premises affected by an overlay identified on the overlay maps contained in Schedule 2.
Infrastructure	
CO8	Each lot is connected to Council’s reticulated water supply system in

Compliance outcomes (CO)	
	accordance with the Design Guidelines set out in Section D6 of Planning scheme policy – FNQROC Regional Development Manual.
CO9	Each lot is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of Planning scheme policy – FNQROC Regional Development Manual.
CO10	Each lot is connected to an electricity supply network.
CO11	Each lot is connected to a telecommunications network.
CO12	Infrastructure (water supply, sewerage, roads, stormwater quality and quantity, recreational parks, land only for community purposes) is designed and constructed to service the lots in accordance with Planning scheme policy – FNQROC Regional Development Manual.
CO13	An infrastructure charge or contribution is paid for the provision of trunk infrastructure (water supply, sewerage, roads, stormwater, recreational parks, land only for community purposes) for the demand generated by the additional lot in accordance with the requirements in Part 4.
Access	
CO14	Each lot has lawful, safe and practical access to the existing road network via a direct road frontage.
CO19	Access to each lot is limited to one existing vehicular access crossover; or Access to each lot is limited to one vehicular access crossover constructed in accordance with Design Guidelines set out in D1 and D3 of Planning scheme policy – FNQROC Regional Development Manual.
Stormwater	
CO20	Onsite erosion and the release of sediment-laden stormwater from the premises is minimised at all times including during construction and complies with Planning scheme policy – FNQROC Regional Development Manual.
CO21	Filling or excavation on the premises does not exceed a maximum of one metre vertical change in natural ground level at any point.
CO22	Filling or excavation does not cause ponding on the premises or adjoining land in accordance with Planning scheme policy – FNQROC Regional Development Manual.

Table 9.2.3.3.b – Lot reconfiguration outcomes

Zone	Minimum lot size	Minimum width and dimension ¹	Setbacks
High impact industry	2000m ²	40 metres	0 metres from the side or rear boundary; or not less than 3 metres from the side or rear boundary.
Low density residential	600m ²	15 metres	In accordance with the setback requirements of the <i>Queensland Development Code</i>
Low impact industry	800m ²	20 metres	0 metres from the side or rear boundary; or not less than 3 metres from the side or rear boundary.
Low-medium residential	450m ²	12 metres	In accordance with the setback requirements of the <i>Queensland Development Code</i>
Medium density residential	600m ²	15 metres	In accordance with the setback requirements of the <i>Queensland Development Code</i>
Medium impact industry	1000m ²	20 metres	0 metres from the side or rear boundary; or not less than 3 metres from the side or rear boundary.
Tourist accommodation	800m ²	20 metres	In accordance with the setback requirements of the <i>Queensland Development Code</i>
Waterfront and marine industry	1000m ²	20 metres	0 metres from the side or rear boundary; or not less than 3 metres from the side or rear boundary.

¹ This is the minimum width of the lot measured at any point and the minimum dimension of any boundary. This excludes access strips.



9.3 Use codes

9.3.1 Animal keeping code

9.3.1.1 Application

- (1) This code applies to assessing development for Animal keeping.
- (2) When using this code, reference should be made to Part 5.

9.3.1.2 Purpose

- (1) The purpose of the Animal keeping code is to establish animal keeping activities in appropriate locations while maintaining the amenity of its location, adjoining sensitive land uses and environmental areas and ensuring the safety of animals being accommodated or trained.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sites are of a size and configuration capable of accommodating the use;
 - (b) the amenity of the locality and adjoining sensitive land uses is maintained;
 - (c) animals are protected from vermin, wind, rain, sun and extreme weather conditions;
 - (d) adequate facilities are provided for the collection and disposal of animal waste.

9.3.1.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.1.3.a – Animal keeping code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO1 The site has sufficient area to accommodate:</p> <ul style="list-style-type: none"> (a) the number and type of animals to be kept; (b) buildings and structures; (c) setbacks; (d) access, parking, manoeuvring and circulation; (e) pedestrian access; (f) landscaping; (g) the keeping of animals consistent with the amenity of adjoining and nearby properties; (h) servicing requirements such as waste and recyclable material storage facilities and collection areas; (i) adequate separation between buildings, pens, waste disposal areas and other service facilities from wells or bores, and adjoining sensitive receiving environments. 	<p>AO1.1 The use is located on a lot with a minimum area of:</p> <ul style="list-style-type: none"> (a) 1 hectare for a kennel; (b) 1 hectare for a cattery; (c) 2 hectares for a stable; (d) all others – lot size is determined on the number and type of animals to be kept.

Performance outcomes	Acceptable outcomes
Setbacks	
<p>PO2 Setbacks from all external boundaries:</p> <ul style="list-style-type: none"> (a) ensures the efficient use of the site; (b) maintains the visual character of the locality; (c) protects the amenity of nearby sensitive land uses and environments. 	<p>AO2.1 The use is set back in accordance with Table 9.3.1.3.b - Minimum setback requirements for animal keeping.</p>
	<p>AO2.2 Animals are kept in enclosures, inside buildings at all times between the hours of 6.00pm and 7.00am.</p>
	<p>AO2.3 A person who is responsible for the supervision of the operation of the development is accommodated on the site at all times.</p>
Amenity	
<p>PO3 Noise and odour levels generated by the use are compatible with that experienced in the locality.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 The use:</p> <ul style="list-style-type: none"> (a) does not have openings that face adjoining sensitive land uses; (b) ensures facilities that house animals incorporate noise attenuating measures; (c) ensures buildings are ventilated to minimise potential for odour nuisance. 	<p>AO4.1 No acceptable outcomes are provided.</p>
Animal safety	
<p>PO5 The use:</p> <ul style="list-style-type: none"> (a) ensures the safe, humane and hygienic keeping, breeding, training and care of animals; (b) ensures protection of animals from wind, rain, sun, extreme weather conditions and vermin. 	<p>AO5.1 The use:</p> <ul style="list-style-type: none"> (a) ensures buildings used to house animals are roofed; (b) provides facilities that are available for the isolation of animals suspected of having an infectious condition; (c) provides floors that are impermeable to assist cleaning and drainage; (d) provides animal-proof fencing immediately surrounding kennels and catteries, including pens and runs, that: <ul style="list-style-type: none"> (i) are a minimum of 2 metres high; (ii) are constructed of mesh, chain or similar materials; (iii) prevent animal escape through climbing, jumping or digging.
Environmental quality	
<p>PO6 The collection and disposal of animal waste:</p> <ul style="list-style-type: none"> (a) does not adversely impact on the quality of receiving waters; (b) minimises odour impacts on nearby 	<p>AO6.1 The use:</p> <ul style="list-style-type: none"> (a) ensures solid wastes are collected and placed in weather, fly and vermin proof receptacles and disposed of by a licensed disposal service;

Performance outcomes	Acceptable outcomes
sensitive receiving environments.	(b) ensures drainage and disposal of liquid waste is diverted to: <ul style="list-style-type: none"> (i) Council's sewerage system under the conditions of a Trade Waste Permit; or (ii) an appropriate wastewater treatment system; or (iii) a holding tank for collection by a licensed liquid waste transporter.
PO7 Stormwater is managed to ensure contaminants are diverted away from buildings, structures and areas used for the keeping or washing of animals and waste disposal areas.	AO7.1 No acceptable outcomes are provided.

Table 9.3.1.3.b – Minimum setback requirements for animal keeping

Boundary	Kennel	Cattery	Stable	All other
Road frontages	50 metres	50 metres	30 metres	Dependant on the number and type of animals to be kept
Side and rear boundaries	15 metres	15 metres	15 metres	
Where having a common boundary with a sensitive land use, land within the Environmental management zone or land within the Conservation zone.	100 metres	100 metres	30 metres	

9.3.2 Aquaculture and intensive animal industry code

9.3.2.1 Application

- (1) This code applies to assessing development for:
 - (a) aquaculture; or
 - (b) intensive animal industry.
- (2) When using this code, reference should be made to Part 5.

9.3.2.2 Purpose

- (1) The purpose of the Aquaculture and intensive animal industry code is to ensure that:
 - (a) aquaculture and intensive animal industry is facilitated on suitable sites;
 - (b) aquaculture, intensive animal industry and associated activities do not adversely affect the amenity of sensitive land uses;
 - (c) aquaculture and intensive animal industry do not have adverse impacts on the environment, including scenic amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) aquaculture and intensive animal industry facilities are located to avoid or minimise adverse impacts on natural environmental values;
 - (b) aquaculture and intensive animal industry facilities are sited to minimise adverse impacts on scenic amenity;
 - (c) aquaculture and intensive animal industry facilities are managed so that significant environmental impacts are contained within the site;
 - (d) noise, odour, waste and waste water are managed and treated to mitigate impacts on health, amenity and the environment.

9.3.2.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.2.3.a – Aquaculture and intensive animal industry code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
PO1 The use is located outside areas of environmental significance.	AO1.1 No acceptable outcomes are provided.
PO2 The use is located and designed so as not to detract, or diminish the scenic amenity of the surroundings area, scenic routes, landmarks, lookouts and vistas.	AO2.1 Buildings, yards, ponds and associated facilities are not readily visible from urban development or from major roads.
	AO2.2 The height, scale and density of buildings are consistent with the maintenance of a rural setting.
PO3 The site has sufficient area to accommodate the aquaculture or intensive animal industry and to provide appropriate setbacks.	AO3.1 No acceptable outcomes are provided.

Performance outcomes	Acceptable outcomes
<p>PO4 The establishment of aquaculture or intensive animal industry does not interfere with coastal processes.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>PO5 The establishment of aquaculture or intensive animal industry does not result in the alienation of rural land unless there is a lack of alternative sites and an overriding need for the development.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
<p>PO6 The topography of the site is suitable for the intended use.</p>	<p>AO6.1 The area of the site containing the aquaculture or intensive animal industry facility has a slope of less than 1 in 10 (10%).</p>
	<p>AO6.2 The area of the site containing the aquaculture or intensive animal industry facility is located above 1% AEP inundation level.</p>
<p>PO7 The site is provided with a high standard of access so that the use may operate effectively and efficiently.</p>	<p>AO7.1 Access to the aquaculture or intensive animal industry facility is provided via a Collector or Rural Collector road constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual.</p>
<p>PO8 Development does not adversely affect the amenity of existing or planned urban areas.</p> <p>Note – Compliance with the outcomes of the Environmental performance code will assist in compliance with this Performance outcome.</p>	<p>AO8.1 For Intensive animal industry, the site is not less than:</p> <ul style="list-style-type: none"> (a) 2000 metres from the boundary of any land within a Residential zone or Emerging community zone; (b) 1000 metres from the boundary of any land within a Rural residential zone; (c) 1000 metres from any use involving accommodation activities, such as a dwelling house or home based business; (d) 1000 metres from any community facilities where people gather, such as community halls or schools. <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2</p>
	<p>AO8.2 For Aquaculture, the site is not less than 300 metres from the boundary of any land within a Residential zone, Emerging community zone or Rural residential zone or any community facility where people gather such as community halls or schools.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>

Performance outcomes	Acceptable outcomes
Operations	
<p>PO9 Buildings, pens, other structures, ponds and waste disposal areas are sited, constructed and managed so that the maximum number of animals intended to be kept on site can be accommodated without having any significant adverse environmental impacts outside the site.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
Amenity	
<p>PO10 Buildings/structures, ponds and waste disposal areas are designed and sited so that the aquaculture or intensive animal industry facility does not impact on the amenity of the area and does not have significant environmental impacts outside the site.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>
Collection, treatment and disposal of waste	
<p>PO11 The collection, treatment and disposal of waste and waste water ensures: (a) no on-site or off-site soil contamination; (b) no detrimental impacts on the quality of receiving waters; (c) no odour impacts on nearby uses.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>

9.3.3 Brothel code

9.3.3.1 Application

- (1) This code applies to assessing development for a Brothel.
- (2) When using this code, reference should be made to Part 5.

9.3.3.2 Purpose

- (1) The purpose of the Brothel code is to ensure that Brothels are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a licensed brothel is compatible with the form, function and amenity of the locality in which it is located;
 - (b) the safety and security of staff of a licensed brothel is ensured.

9.3.3.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.3.3.a – Brothel code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Design	
<p>PO1 The brothel is located, designed and operated in a way that is compatible with the character or intended character of the locality.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
<p>PO2 The brothel is unobtrusive in appearance.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Signage for the brothel is compatible with the amenity of the locality.</p>	<p>AO3.1 Signage complies with each of the following requirements: (a) only 1 sign is displayed for the brothel; (b) the surface area of the sign is not more than 1m²; (c) the sign displays only the name of the licensee and the registered business name of the brothel; (d) the sign does not display words or images that are sexually explicit, lewd or otherwise offensive; (e) the sign is affixed to the brothel.</p>
<p>PO4 External lighting for the brothel is designed to ensure the safety and security of brothel staff and clients without adversely affecting the amenity of adjoining premises.</p>	<p>AO4.1 External lighting is provided that: (a) is static; (b) has no characteristic indicating the development is used for a brothel; (c) facilitates surveillance; (d) is hooded and directed downwards.</p>

Performance outcomes	Acceptable outcomes
<p>PO5 The vicinity of each staff or client entrance to the brothel is safe and secure.</p>	<p>AO5.1 Staff and client entrances to the brothel are located in positions that facilitate surveillance.</p>
<p>PO6 The clients entrance to the brothel is clearly identified.</p>	<p>AO6.1 The client entrance to the brothel makes it clear to clients where to enter.</p>
<p>PO7 The design of the brothel discourages loitering outside the premises.</p>	<p>AO7.1 An internal reception or waiting area is provided for use by brothel clients.</p>
<p>Safety</p>	
<p>PO8 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>

9.3.4 Bulky goods and outdoor sales code

9.3.4.1 Application

- (1) This code applies to assessing development for:
 - (a) agricultural supplies store; or
 - (b) bulk landscape supplies; or
 - (c) hardware and trade supplies; or
 - (d) outdoor sales.
- (2) When using this code, reference should be made to Part 5.

9.3.4.2 Purpose

- (1) The purpose of the Bulky goods and outdoor sales code is to ensure that development is appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) uses are established in locations that complement the hierarchy of activity centres;
 - (b) the scale and use of the development contributes to a high standard of amenity of the locality;
 - (c) landscaping contributes to maintaining or establishing attractive streetscapes;
 - (d) potential offsite nuisance impacts associated with the use are minimised and there is no nuisance caused to sensitive land uses.

9.3.4.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.4.3.a – Bulky goods and outdoor sales code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
PO1 The site has sufficient area to accommodate: <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping. 	AO1.1 The site has a minimum area of 1,000m ² .
PO2 The site is conveniently accessible to vehicular traffic.	AO2.1 The site has access to a higher order road.
Design	
PO3 The siting of buildings and structures on the site does not adversely impact on the amenity of adjoining premises and the locality.	AO3.1 Buildings and structures are set back not less than 6 metres from the road frontage/s.
	AO3.2 Development is integrated with existing streetscapes and/or adjoining compatible developments to create an attractive character and functional layout.
	AO3.3

Performance outcomes	Acceptable outcomes
	Loading areas, waste and recyclable material storage and other service areas are screened from street view.
<p>PO4 The design and scale of buildings and structures is compatible with the surrounding area.</p>	<p>AO4.1 Buildings have articulated and textured facades to provide visual interest, incorporating windowed facades, awnings, eaves or similar design elements.</p> <p>AO4.2 The main entry to the building can be identified from the street and is directly accessible to and from on-site car parking areas.</p>
Safety	
<p>PO5 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Landscaping	
<p>PO6 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity.</p>	<p>AO6.1 A minimum of 10% of the site is landscaped in accordance with the Landscaping code.</p> <p>AO6.2 A solid fence not more than 2 metres high is provided and maintained along the boundary adjoining land in any Residential zone or Community facilities zone or sensitive land uses.</p> <p>Note – Refer to the definition of Residential zones and Sensitive land use contained in Schedule 1.2.</p> <p>AO6.3 A landscaped area not less than 2 metres wide is provided and maintained within the site along the boundary adjoining land in any Residential zone.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>
Amenity	
<p>PO7 Development does not result in a lower standard of amenity as a result of air, noise or odour emissions to properties surrounding the development.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>

9.3.5 Caretaker’s accommodation code

9.3.5.1 Application

- (1) This code applies to assessing development for Caretaker’s accommodation.
- (2) When using this code, reference should be made to Part 5.

9.3.5.2 Purpose

- (1) The purpose of the Caretaker’s accommodation code is to ensure that Caretakers accommodation is appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) caretaker’s accommodation is used for genuine caretaking or property management purposes;
 - (b) an acceptable level of amenity is provided to the caretaker, while maintaining the integrity of the relevant zone.

9.3.5.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.5.3.a – Caretaker’s accommodation code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Design and operation	
<p>PO1 The caretaker’s accommodation is associated with, and is subordinate to the primary use of the site.</p>	<p>AO1.1 The GFA of the caretaker’s accommodation is not greater than 120m².</p>
	<p>AO1.2 Only one caretaker’s accommodation is established per site.</p>
	<p>AO1.3 The caretaker’s accommodation is occupied only by the proprietor, manager or caretaker of the primary use established on the site, together with any immediate family of that person.</p>
	<p>AO1.4 Where in the Rural zone: (a) the site has a minimum area of 4.0ha; (b) the caretaker’s accommodation is located within 100 metres of the primary use.</p>
	<p>AO1.5 The caretaker’s accommodation is located on the same lot as the primary use.</p>
<p>PO2 The caretaker’s accommodation is provided with appropriate recreation and service facilities.</p>	<p>AO2.1 The caretaker’s accommodation is provided with a patio, balcony, verandah or deck, with an area of not less than 15m² with a minimum horizontal dimension of at least 2.5 metres.</p>
	<p>AO2.2</p>

Performance outcomes	Acceptable outcomes
	<p>The caretaker's accommodation is provided with:</p> <ul style="list-style-type: none"> (a) an area for general storage; (b) an area for the storage of a garbage receptacle.

9.3.6 Child care centre code

9.3.6.1 Application

- (1) This code applies to assessing development for a Child care centre.
- (2) When using this code, reference should be made to Part 5.

9.3.6.2 Purpose

- (1) The purpose of the Child care centre code is to ensure child care centres:
 - (a) are accessible to the communities they serve;
 - (b) provide an attractive and safe environment;
 - (c) are compatible with the surrounding zone.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Child care centres are established:
 - (i) in accessible locations and co-locate with community services and infrastructure;
 - (ii) in a way that avoids impacts on traffic networks;
 - (iii) on sites that have capacity to accommodate the use in an attractive and functional layout and design.
 - (b) Child care centres are designed to maintain the amenity of adjoining premises, contribute to an attractive streetscape, integrate with the neighbourhood setting and provide a safe environment.

9.3.6.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.6.3.a – Child care centre code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO1 The Child care centre is:</p> <ul style="list-style-type: none"> (a) in an accessible location; (b) co-located with residential and community focal points such as centres, community facilities, open space, education facilities or the like. 	<p>AO1.1 The Child care centre is located in:</p> <ul style="list-style-type: none"> (a) a Centre zone; or (b) the Mixed use zone Precinct 1; or (c) the Mixed use zone Precinct 3; or (d) a Residential zone that is adjacent to a school, library or a cluster of community uses (e.g. community hall, open space, park) to contribute to the cluster of such uses. <p>Note – Refer to the definitions of Centre zone and Residential zones contained in Schedule 1.2</p>
<p>PO2 The location of the use does not:</p> <ul style="list-style-type: none"> (a) adversely impact on external traffic movement; or (b) introduce non-local traffic into local residential streets. 	<p>AO2.1 The Child care centre is located with access to a collector or sub-arterial road as identified on the Transport network overlay maps contained in Schedule 2.</p>

Performance outcomes	Acceptable outcomes
<p>PO3 The site has sufficient area and frontage to accommodate:</p> <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping; (f) adequate provision for both external play areas and internal activity areas, including sleep areas; (g) waste and recyclable material management and other service functions. 	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Development is located, designed and operated to ensure that users are not exposed to unacceptable levels of contaminants.</p>	<p>AO4.1 Development is located where soils are not contaminated by pollutants which represent a health or safety risk to users.</p>
Design	
<p>PO5 Site layout and building design:</p> <ul style="list-style-type: none"> (a) maintains the amenity of adjoining properties and the locality; (b) contributes to an attractive streetscape; (c) is compatible with the character of the locality; (d) provides a safe environment; (e) minimises adverse impacts on adjoining properties from service vehicles and waste and recyclable material storage facilities. 	<p>AO5.1 Buildings, structures, car parking and vehicle manoeuvring areas: have a minimum landscaped setback of 3 metres from all road frontages.</p> <p>AO5.2 Fencing to screen and attenuate the use is established to side and rear boundaries.</p> <p>AO5.3 The setback areas from the road frontage/s and side and rear boundaries are landscaped in accordance with the Landscaping code.</p>
Safety	
<p>PO6 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Operation	
<p>PO7 Development ensures that the hours of operation are consistent with reasonable community expectations for the use and do not impact on the amenity of nearby sensitive land uses.</p>	<p>AO7.1 Where adjoining land in a Residential zone the hours of operation are limited to 6.30am to 7.30pm.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>

9.3.7 Community activities code

9.3.7.1 Application

- (1) This code applies to assessing development for:
 - (a) club (small scale); or
 - (b) community use; or
 - (c) place of worship.

Note – Refer to the definition of Club (small scale) contained in Schedule 1.2.

- (2) When using this code, reference should be made to Part 5.

9.3.7.2 Purpose

- (1) The purpose of the Community activities use code is to ensure that development is appropriately located, designed and operated to meet the needs of users and maintain the amenity of surrounding areas.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the use is appropriately located according to the type of proposed use and surrounding existing and planned uses;
 - (b) the use is designed and operated in a manner which:
 - (i) maximises user and community benefit;
 - (ii) mitigates adverse impacts;
 - (iii) ensures a safe environment is provided;
 - (iv) maintains the predominant built form, character and amenity of the surrounding area;
 - (c) where practicable, community activities are co-located and designed to create a multifunctional hub.

9.3.7.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.7.3.a – Community activities code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Site requirements	
<p>PO1 Development is located conveniently to the population that it is intended to serve.</p>	<p>AO1.1 Where for a place of worship, development is located within an existing building in the Community facilities zone;</p> <p>or</p> <p>AO1.2 Where for a club (small scale), development is located within an existing building in the Community facilities zone, Sport and recreation zone, or Open space zone;</p> <p>or</p> <p>AO1.3 Where for a Community use, development is located within an existing building in the Principal centre zone, Major centre zone, District centre zone, Local centre zone, Township zone or Community facilities zone;</p>

Performance outcomes	Acceptable outcomes
	or AO1.4 Development is located within an existing building on a site including or adjacent to a site containing an existing lawfully established community activity use.
PO2 Development is located to minimise the introduction of non-local traffic into residential streets.	AO2.1 The site has frontage to a road other than an access road as identified on the Transport network overlay maps contained in Schedule 2.
PO3 Development is located, designed and operated to ensure that users are not exposed to unacceptable levels of contaminants.	AO3.1 Development is located where soils are not contaminated by pollutants which represent a health or safety risk to users.
Amenity	
PO4 Development is designed to protect nearby sensitive land uses from adverse impacts on the existing levels of amenity, including by way of light, noise, odour or other nuisance.	AO4.1 Where on a site adjoining a sensitive land use and located within 20 metres from the common boundary a minimum 1.8 metre high solid acoustic fence is provided for the full length of the common boundary.
	AO4.2 Development does not involve amplification devices and does not generate noise that is a nuisance to nearby sensitive land uses.
	AO4.3 Development provides outdoor lighting which is installed and operated in compliance with the requirements of AS4282-1997 Control of the obtrusive effects of outdoor lighting.
Operation	
PO5 Development ensures that the hours of operation are consistent with reasonable community expectations for the use and do not impact on the amenity of nearby sensitive land uses.	AO5.1 Hours of operation are limited to 7.00am to 6.00pm; or AO5.2 Where for a club (small scale) associated with a lawfully established Sport and recreation use, the hours of operation are limited to 7.00am to 9.00pm.
Ancillary uses	
PO6 The provision of food and drink is ancillary to the use. Note – Where development does not satisfy the	AO6.1 The provision of food and drink is an ancillary and subservient use to a Club (small scale) or a Community use and only serves club members, visitors or staff.

Performance outcomes	Acceptable outcomes
acceptable outcome, separate approval for a food and drink outlet will be required.	
For assessable development	
Site requirements	
<p>PO7 The site has sufficient area and frontage to accommodate:</p> <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping. 	<p>AO7.1 No acceptable outcomes are provided.</p>
Design	
<p>PO8 Where development involves a new building, development is designed to be consistent with the built form of development on surrounding sites.</p>	<p>AO8.1 Development is of a scale and bulk that is not greater than that of surrounding development.</p>
<p>PO9 Where development involves a new building, development is designed to be adaptable and capable of multiple community activities, services and functions.</p>	<p>AO9.1 The use is designed to be adaptable and cater to a range of community activity uses.</p>
Safety	
<p>PO10 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>
Landscaping	
<p>PO11 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
Parking and access	
<p>PO12 Vehicle parking and access is designed and located:</p> <ul style="list-style-type: none"> (a) to be conveniently accessed from the street; (b) where they do not dominate the street frontage. 	<p>AO12.1 No acceptable outcomes are provided.</p>

9.3.8 Community care centre code

9.3.8.1 Application

- (1) This code applies to development for a Community care centre.
- (2) When using this code, reference should be made to Part 5.

9.3.8.2 Purpose

- (1) The purpose of the Community care centre code is to ensure that community care centres are appropriately located, and are designed in a manner which meets the needs of users and maintains the amenity of surrounding areas.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the use is located, designed and operated in a manner which maximises user and community benefit, while mitigating adverse impacts;
 - (b) where practicable, community care centres are co-located;
 - (c) buildings and structures are designed and operated to ensure the character and amenity of its surrounding area is maintained and to ensure a safe environment is provided.

9.3.8.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.8.3.a – Community care centre code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Operation	
<p>PO1 Development ensures that the hours of operation are consistent with reasonable community expectation for the use and do not impact on the amenity of nearby sensitive land uses.</p>	<p>AO1.1 Development ensures that the hours of operation, including for delivery vehicles, are restricted to 7.00am to 6.00pm.</p>
For assessable development	
Site requirements	
<p>PO2 The site has sufficient area and frontage to accommodate:</p> <ol style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping. 	<p>AO2.1 No acceptable outcomes are provided.</p>
Design	
<p>PO3 Where development involves a new building, development is designed and managed to maintain the amenity of the surrounding area.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>PO4 Where development involves a new building, development is designed to be adaptable and capable of accommodating multiple community activities, services or functions.</p>	<p>AO4.1 Development is adaptable and contains a range of internal facilities to meet the needs of its users.</p>
Safety	
<p>PO5 The safety of users of the development and the surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
Parking and access	
<p>PO6 Vehicle parking and access is designed and located to:</p> <ul style="list-style-type: none"> (a) be conveniently accessed from the street; (b) not dominate the street frontage. 	<p>AO6.1 No acceptable outcomes are provided.</p>

9.3.9 Dual occupancy code

9.3.9.1 Application

- (1) This code applies to assessing development for a Dual occupancy.
- (2) When using this code, reference should be made to Part 5.

9.3.9.2 Purpose

- (1) The purpose of the Dual occupancy code is to promote a variety of housing choice to cater for a range of housing needs and affordability.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the scale and character of development is consistent with the existing desired residential character and streetscape pattern;
 - (b) design gives a sense of individual ownership to residents;
 - (c) dual occupancies do not detrimentally affect the function of the road network and its infrastructure design requirements.

9.3.9.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.9.3.a – Dual occupancy code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Site requirements	
<p>PO1 The site has sufficient area to accommodate:</p> <ol style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) landscaping; (e) recreational and outdoor living areas. 	<p>AO1.1 The dual occupancy is established on land with a minimum area of:</p> <ol style="list-style-type: none"> (a) 600m² within the Low-medium density residential zone, Medium density residential zone or Mixed use zone precinct 3; or (b) 800m² within all other zones.
Design	
<p>PO2 Buildings and structures are setback from property boundaries such that:</p> <ol style="list-style-type: none"> (a) the setback from the street frontages reflects the positive attributes of the streetscape; (b) the setback from side and rear boundaries retains daylight access and privacy for adjoining properties; (c) the setback from all boundaries is sufficient to allow areas of deep planting; (d) the setback from street frontages provides for the desired streetscape pattern. 	<p>AO2.1 Buildings and structures are set back from property boundaries as follows:</p> <ol style="list-style-type: none"> (a) 6 metres from the primary road frontage; (b) 3 metres from the secondary road frontage; (c) 1.5 metres from side and rear boundaries.
<p>PO3 Buildings are appropriately separated from each other to maintain the character of the streetscape and privacy and amenity for residents.</p>	<p>AO3.1 Buildings are:</p> <ol style="list-style-type: none"> (a) attached by a common wall; or (b) separated by not less than 3m.

Performance outcomes	Acceptable outcomes
<p>PO4 Car parking areas, including garages and other parking structures are designed and sited to provide a high quality living environment and enhance the amenity of the streetscape.</p>	<p>AO4.1 Car parking areas, garages, carports and other parking structures are designed and located so that they do not occupy more than 6m of the street frontage.</p>
<p>PO5 The development addresses the road frontage to facilitate casual surveillance and to enhance the amenity of the streetscape.</p>	<p>AO5.1 The building has balconies or windows or verandahs that face the street.</p> <p>AO5.2 Fences and walls along road frontages are not more than: (a) 1.2 metres in height if less than 50% transparent; or (b) 1.5 metres in height if greater than 50% transparent.</p>
<p>PO6 Residents are provided functional private open space and recreation area.</p>	<p>AO6.1 A minimum area of 25m² private open space is provided for each dwelling unit which is directly accessible from the living area of each dwelling unit.</p>
Parking and access	
<p>PO7 The development provides residents and guests with safe and convenient vehicle parking, access to dwellings and the road network, while maintaining the standard of existing infrastructure in the road reserve.</p>	<p>AO7.1 Dwelling units are serviced by: (a) a shared unobstructed driveway and crossover with a maximum width of 3.6 metres; or (b) one unobstructed driveway and crossover, having a maximum width of 3 metres, is provided to each street frontages, where the site has two street frontages.</p> <p>AO7.2 The surface treatment of any driveway is imperviously sealed.</p> <p>AO7.3 Where development is on a State controlled road, Sub-arterial road or Collector road the driveway design is such that vehicles can enter and exit the site in a forward gear.</p> <p>AO7.4 Where a dual occupancy is to be established on a corner allotment each dwelling is accessed from a different road frontage with a minimum 6 metre separation between driveway and intersection.</p> <p>AO7.5 Driveways and crossovers avoid existing on-street infrastructure, including street trees, drainage pits, street signs, service pillars and electricity infrastructure.</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.6 Driveway crossovers are designed in accordance with the Infrastructure works code.</p>
Landscaping and screening	
<p>PO8 Fencing is designed to ensure a high degree of privacy and amenity for residents.</p>	<p>AO8.1 A screen fence (minimum height of 1.8 metres and maximum gap of 10mm) is provided to the side and rear boundaries.</p> <p>AO8.2 Where the front fence is lower than the side boundary fence it is tapered to the maximum height of the side boundary fence at or behind the front setback.</p>
<p>PO9 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity and privacy for residents.</p>	<p>AO9.1 A landscaped area not less than 2 metres wide is provided and maintained within the site along all street boundaries.</p> <p>Note – Landscaping is provided in accordance with the Landscaping code.</p>
Infrastructure	
<p>PO10 The dual occupancy is connected to essential infrastructure services and is sufficient to support individual ownership of each dwelling.</p>	<p>AO10.1 Each dwelling is separately connected to:</p> <ul style="list-style-type: none"> (a) water; (b) sewerage; (c) drainage; (d) electricity; (e) telecommunications.
Service facilities	
<p>PO11 Services structures and mechanical plant (including air conditioners) are located, screened or incorporated as part of the building form to minimise adverse impacts on amenity.</p>	<p>AO11.1 Services structures and mechanical plant are located or screened to not be visible from:</p> <ul style="list-style-type: none"> (a) public spaces; (b) adjoining properties. <p>AO11.2 Mechanical plant is not located on balconies or adjacent to other liveable areas.</p> <p>AO11.3 Services and mechanical plant are located in building recesses or adjacent to service areas such as parking and driveway areas.</p>
<p>PO12 Development provides a secure and functional storage area for each dwelling.</p>	<p>AO12.1 A secure storage area is provided for each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum space of 2.5m²; (b) has a minimum height of 2 metres; (c) is weather proof; (d) has immunity to the 1% AEP inundation event. <p>Note – dedicated storage space areas may be provided inside</p>



Performance outcomes	Acceptable outcomes
	the dwelling only where they are in addition to storage typically provided in dwellings (e.g. cupboards, wardrobes).
<p>PO13 Development provides sufficient area to accommodate the storage of waste and recycle receptacles that is in a location that does not adversely impact on the amenity of the streetscape or adjoining premises.</p>	<p>AO13.1 Development provides an area for the storage of two wheelie bins per dwelling in a location that is: (a) convenient to the occupants; (b) external to the garage; (c) screened from view from the street and adjoining properties.</p>
For assessable development	
Dual occupancy incorporating an existing dwelling house	
<p>PO14 For dual occupancies incorporating an existing dwelling: (a) dwellings at the street front contribute to a sense of individual ownership; (b) where the new dwelling is located at the rear of an existing dwelling, the appearance of the streetscape is maintain by screening the premises to the rear; (c) driveways are located, landscaped or screened to maintain the privacy and amenity of the existing dwelling.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>
<p>PO15 Where the new dwelling is attached to an existing dwelling, the layout and form maintains the bulk and appearance of the existing dwelling.</p>	<p>AO15.1 The design of the dual occupancy: (a) maintains the appearance of a single dwelling house to the street; (b) provides a communal driveway; (c) provides additional undercover car parking behind the front façade.</p>

9.3.10 Dwelling house code

9.3.10.1 Application

- (1) This code applies to assessing development for a Dwelling house, where incorporating an illuminated tennis court and/or a secondary dwelling.
- (2) When using this code, reference should be made to Part 5.

9.3.10.2 Purpose

- (1) The purpose of the Dwelling house code is to facilitate ancillary and subordinate features of a dwelling house contributing to a safe and comfortable living environment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) illuminated tennis courts do not detrimentally impact on the amenity of adjoining premises;
 - (b) secondary dwellings are established at a scale and in a manner that contributes to a pleasant living environment for extended households whilst maintaining the amenity of the surrounding area.

9.3.10.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.10.3.a – Dwelling house code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Illuminated tennis courts	
<p>PO1 An illuminated tennis court does not adversely affect the amenity of the adjacent and surrounding residential area.</p>	<p>AO1.1 An illuminated tennis court is set back a minimum of 5 metres from the lot boundaries and the setback area/s is landscaped to provide an effective visual screen and reduce lighting impacts.</p> <p>Note – Landscaping is provided in accordance with the Landscaping code.</p> <p>AO1.2 Illumination levels parallel to, and at a distance of 1.5 metres outside the site for a height of 10 metres do not exceed 8 lux in either the vertical or horizontal plane.</p>
Secondary dwelling	
<p>PO2 Secondary dwellings:</p> <ol style="list-style-type: none"> (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties. 	<p>AO2.1 The secondary dwelling:</p> <ol style="list-style-type: none"> (a) has a GFA, exclusive of a single car port or garage, of not more than 70m²; (b) is established on lots greater than 450m²; (c) is provided with one off-street car parking space in addition to the requirement for the dwelling house. <p>or</p> <p>AO2.2 Where within the Rural zone, the secondary dwelling:</p>

Performance outcomes	Acceptable outcomes
	(a) has a GFA of not more than 250m ² ; (b) is established on lots greater than 10 hectares.

9.3.11 Dwelling unit code

9.3.11.1 Application

- (1) This code applies to assessing development for a Dwelling unit.
- (2) When using this code, reference should be made to Part 5.

9.3.11.2 Purpose

- (1) The purpose of the Dwelling unit code is to ensure that Dwelling units are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) an acceptable level of amenity is provided to the dwelling unit, while maintaining the purpose of the relevant zone.

9.3.11.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.11.3.a – Dwelling unit code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Design	
<p>PO1 The dwelling unit is provided with an appropriate level of recreation and service facilities.</p>	<p>AO1.1 The dwelling unit is provided with a patio, balcony, verandah or deck, with an area of not less than 15m², with a minimum horizontal dimension of at least 2.5 metres.</p>
	<p>AO1.2 The dwelling unit is provided with (a) an area for general storage; (b) an area for the storage of a garbage receptacle.</p>

9.3.12 Extractive industry code

9.3.12.1 Application

- (1) This code applies to assessing development for an Extractive industry.
- (2) When using this code, reference should be made to Part 5.

9.3.12.2 Purpose

- (1) The purpose of the Extractive industry code is to:
 - (a) facilitate resource extraction through safe and efficient work operations;
 - (b) avoid or appropriately mitigate adverse impacts on areas of biodiversity significance;
 - (c) manage amenity and environmental performance standards;
 - (d) achieve progressive rehabilitation of land associated with the use.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) extractive industries are established in locations that are adequately separated from sensitive land uses and do not have significant ecological, landscape or rural value.
 - (b) a separation area is established to maintain a buffer between the extractive industry and existing and future sensitive land uses;
 - (c) external operations such as haulage routes do not adversely impact on amenity and well-being of the community;
 - (d) extractive industry operations are designed and managed to operate safely and avoid adverse impacts on amenity of adjacent sensitive land uses;
 - (e) extractive industry development is designed and managed to avoid potential adverse impacts on scenic amenity;
 - (f) extractive industry sites are effectively and progressively rehabilitated including the achievement of a stable land form that is safe and suitable for other appropriate uses.

9.3.12.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.12.3.a – Extractive industry code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO1 The use is located outside of areas of environmental significance.</p> <p>Note – Refer to the definition of areas of environmental significance contained in Schedule 1.2.</p>	<p>AO1.1 No acceptable outcomes are provided.</p>
<p>PO2 Extractive industry operations are adequately separated from sensitive land uses to minimise potential for nuisance.</p>	<p>AO2.1 The dimensions of the extractive resource / processing area and separation area for the extractive industry are based upon the following minimum distances:</p> <ol style="list-style-type: none"> (a) 1000 metres where the extraction or processing of the extractive resource involves blasting or crushing (namely

Performance outcomes	Acceptable outcomes
	<p>rock), or</p> <p>(b) 200 metres for any other extractive resource not involving blasting or crushing (namely sand, gravel, clay and soil).</p> <p>Note – These are indicative distances only. The extent of the separation area shown in each key resource area identified in the Extractive Resource Overlay map contained in Schedule 2 .</p>
<p>PO3</p> <p>The use is located so as not to detract, or diminish the scenic amenity of the surrounding area, scenic routes, landmarks, lookouts and vistas.</p>	<p>AO3.1</p> <p>The site of an extractive industry is not readily visible from urban development or from roads.</p> <p>AO3.2</p> <p>Existing vegetation is retained and only removed to provide for the extractive use.</p>
<p>PO4</p> <p>The site of an extractive industry is of suitable size and dimensions to accommodate the use and incorporates significant buffering to effectively screen adjoining and nearby land uses from extractive operations.</p>	<p>AO4.1</p> <p>The use is designed to incorporate a densely vegetated buffer of a minimum of 10 metres to all road frontages and to all perimeter boundaries.</p> <p>AO4.2</p> <p>The site is of sufficient area to provide for the following:</p> <ul style="list-style-type: none"> (a) the extractive use; (b) areas of stockpiles; (c) sufficient car parking area to accommodate the level of car parking generated, including staff demand; (d) vehicle access and manoeuvring areas; (e) staff facilities.
Operation	
<p>PO5</p> <p>The operation of the extractive industry avoids or mitigates potential adverse impacts on environmental, ecological and hydrological processes meeting all applicable environmental standards, plans or programs to minimise environmental harm and nuisance.</p>	<p>AO5.1</p> <p>Development is carried out in accordance with a site and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy – Environmental management plans provides further guidance.</p> <p>Note – Air Quality Objectives are contained in the Environmental Protection (Air) Policy 2008</p> <p>Note – The Environmental Protection Act 1994 contains guidance on acceptable vibration levels</p> <p>Note – Australian Standard AS4282 - Control of the Obtrusive Effects of Outdoor Lighting provides guidance compliance standards for lighting.</p> <p>Note – Australian Standard 1940 – Storage & Handling of Flammable and Combustible Liquids provides guidance on the storage of fuels and chemicals on-site.</p>
<p>PO6</p> <p>The operation of the extractive industry avoids or mitigates potential adverse impacts on adjoining or nearby land uses.</p>	<p>AO6.1</p> <p>No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>PO7 The operation of the extractive industry does not compromise public safety.</p>	<p>AO7.1 Safety fencing and signage is provided around extractive industry stockpiles and operation to prevent unauthorised access.</p> <p>AO7.2 Blasting does not result in materials escaping or being ejected from the site.</p> <p>AO7.3 Prior to any blasting, notices of warning which provide warning to those working on the site and to passers-by is erected and kept clearly exhibited on the approaches to, and not less than 800 metres from the site of the blasting.</p>
<p>PO8 Extractive industry activities occur at times that will not result in disturbance at surrounding uses.</p>	<p>AO8.1 Extractive Industry operations are confined to the following periods:</p> <ul style="list-style-type: none"> (a) Blasting operations are limited to 9:00am to 5:00pm Monday to Friday; (b) Extraction, crushing, screening, loading, operation of plant equipment, ancillary activities and haulage are limited to 6:00am to 6:00pm Monday to Saturday; (c) Maintenance of equipment and vehicles outside of normal operating hours is carried out so as not to cause nuisance at nearby sensitive land uses; (d) No operations are conducted on Sundays or Anzac Day, Good Friday, Easter Monday or Christmas Day.
<p>PO9 The transportation of materials:</p> <ul style="list-style-type: none"> (a) is undertaken on a designated haulage route identified in the Extractive resources overlay mapping contained in Schedule 2; (b) does not compromise traffic safety on the haulage route; (c) minimises amenity impacts on premises within a haulage route separation area. 	<p>AO9.1 No acceptable outcomes are provided.</p>
Rehabilitation	
<p>PO10 The site is progressively rehabilitated in accordance with an approved rehabilitation plan to ensure that:</p> <ul style="list-style-type: none"> (a) a re-contoured and stable landform is achieved with the reinstatement of appropriate soil profiles; (b) revegetation of areas disturbed by operations; (c) there are no adverse environmental or visual amenity impacts; (d) the landform is suitable for alternative uses. <p>Note – Planning scheme policy – Environmental management plans provides further guidance on the preparation of a rehabilitation plan.</p>	<p>AO10.1 No acceptable outcomes are provided.</p>

9.3.13 Home based business code

9.3.13.1 Application

- (1) This code applies to assessing development for a Home based business.
- (2) When using this code, reference should be made to Part 5.

9.3.13.2 Purpose

- (1) The purpose of the Home based business code is to ensure home based business activities are secondary to the primary dwelling house use and are compatible with surrounding residential neighbourhoods.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) home based businesses are of a scale and intensity which is consistent with and subordinate to the residential use of the site and surrounds;
 - (b) home based businesses do not adversely affect the amenity of the locality.

9.3.13.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.13.3.a – Home based business code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Home based business (excluding Bed and breakfast)	
<p>PO1 The home based business:</p> <ul style="list-style-type: none"> (a) is a small scale activity; (b) maintains the appearance of a residential dwelling; (c) does not impact on the residential amenity and character of the area; (c) does not involve activities that would be incompatible or cause nuisance to the residential area; (d) is subordinate to the primary use of the dwelling as a permanent residence; (e) involves signage that complements the character of the area and does not visually dominate the streetscape. 	<p>AO1.1 The home based business is conducted by a resident or residents of the premises and not more than one non-resident employee.</p>
	<p>AO1.2 The total area used for the home based business does not exceed 30m² GFA.</p>
	<p>AO1.3 The home based business:</p> <ul style="list-style-type: none"> (a) is conducted between the hours of 8.00am to 5.00pm Monday to Saturday; (b) is not conducted on Sundays or on public holidays.
	<p>AO1.4 The home based business results in no noise or odour extending beyond the site.</p>
	<p>AO1.5 Signage is limited to one sign no greater than 1 metre in length and 0.3 metres in height and is not illuminated.</p>
	<p>AO1.6 No goods or equipment associated with the activity are stored or displayed where they are visible from outside the site.</p>
	<p>AO1.7 Development does not involve any source of power other than an electric motor of no more than 400 watts.</p>

Performance outcomes	Acceptable outcomes
<p>PO2 Vehicles associated with the home based business do not cause nuisance to surrounding properties or adversely impact on the amenity of the surrounding area.</p>	<p>AO2.1 Not more than one vehicle associated with the home based business is garaged or parked on the site.</p> <p>AO2.2 Any vehicle associated with the home based business does not exceed 4 tonnes gross vehicle mass (GVM).</p> <p>AO2.3 Loading and unloading of deliveries is undertaken within the site.</p>
<p>PO3 Vehicle movements generated by the home based business are of a level reasonably expected for dwellings within a residential area.</p>	<p>AO3.1 The home based business results in no more than: (a) 4 business related visits per day; (b) 1 business related delivery per day.</p>
Bed and breakfast	
<p>PO4 The bed and breakfast is: (a) is a small scale activity; (b) maintains the appearance of a residential dwelling; (c) does not impact on the residential amenity and character of the area; (c) does not involve activities that would be incompatible or cause nuisance to the residential area; (d) is subordinate to the primary use of the dwelling as a permanent residence; (e) involves signage that complements the character of the area and does not visually dominate the streetscape.</p>	<p>AO4.1 The bed and breakfast is limited to 2 bedrooms accommodating a maximum of 4 bed spaces.</p> <p>AO4.2 Signage is limited to one sign no greater than 1 metre in length and 0.3 metres in height and is not illuminated.</p> <p>AO4.3 The home based business is conducted by a resident or residents of the premises and not more than one non-resident employee.</p>

9.3.14 Market code

9.3.14.1 Application

- (1) This code applies to assessing development for a Market.
- (2) When using this code, reference should be made to Part 5.

9.3.14.2 Purpose

- (1) The purpose of the code is to ensure that markets are operated to avoid adverse impacts on the amenity of surrounding areas and to minimise impacts on the road network.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) markets are appropriately located;
 - (b) markets do not result in adverse impacts on the viability of centres, external traffic networks, safety and amenity;
 - (c) following cessation of use, land is returned to its original condition.

9.3.14.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.14.3.a – Market code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Site requirements	
<p>PO1 The site where the use is conducted is of sufficient size to:</p> <ul style="list-style-type: none"> (a) accommodate the proposed activity; (b) cater for the expected number of users; (c) be capable of mitigating impacts of the proposed use on sensitive land uses. 	<p>AO1.1 Development is carried out on a site with a minimum area of 1000m²,</p> <p>or</p> <p>AO1.2 Development is contained within an existing building within the Principal centre, Major centre or District centre zone.</p>
<p>PO2 Access to the site does not interfere with the safe functioning of the road network.</p>	<p>AO2.1 Vehicular access is not via:</p> <ul style="list-style-type: none"> (a) an access place; (b) an access street; (c) a State controlled road.
Operation	
<p>PO3 The use is temporary.</p>	<p>AO3.1 The use does not:</p> <ul style="list-style-type: none"> (a) exceed 52 days in any 12 month period; (b) exceed 3 days in any one duration; (c) require the construction of buildings or structures or require the installation of infrastructure or services.

9.3.15 Multiple dwelling and short-term accommodation code

9.3.15.1 Application

- (1) This code applies to assessing development for:
 - (a) Multiple dwelling; or
 - (b) Short-term accommodation.
- (2) When using this code, reference should be made to Part 5.

9.3.15.2 Purpose

- (1) The purpose of the Multiple dwelling and short-term accommodation code is to ensure that Multiple dwellings and short-term accommodation uses are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is compatible with and complementary to surrounding development, with regard to scale, bulk, and streetscape patterns;
 - (b) structure planning is undertaken for larger developments to ensure connectivity and integration with adjoining uses and the wider neighbourhood;
 - (c) development does not adversely impact on the natural features on the site;
 - (d) the design of development creates a pleasant living environment and is appropriate for the tropical climate of the region;
 - (e) the impacts of a development on adjoining premises are managed;
 - (f) development promotes alternative housing options, including a mix of population densities within residential areas;
 - (g) infill development is encouraged, whilst maintaining the existing character of residential areas.

9.3.15.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.15.3.a – Multiple dwelling and short-term accommodation code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO1 The site has sufficient area and frontage to accommodate:</p> <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping; (f) recreational areas and facilities. 	<p>AO1.1 The site has a minimum area of 800m².</p> <p>AO1.2 The site has a minimum frontage of 15 metres.</p>

Performance outcomes	Acceptable outcomes
Design	
<p>PO2 Development is designed to:</p> <ul style="list-style-type: none"> (a) maximise the separation between buildings; (b) provide adequate landscaping that contributes to establishing an attractive and safe streetscape and a high standard of amenity and privacy for residents; (c) provide and open space around buildings for recreational opportunities; (d) reduce the bulk of buildings. 	<p>AO2.1 The site cover is not more than 40%.</p>
	<p>AO2.2 The GFA of development is not more than the maximum provided in Table 9.3.15.3.b.</p>
<p>PO3 Development has a tropical design and includes:</p> <ul style="list-style-type: none"> (a) structural elements and building materials of varying scales and textures; (b) roof forms and eave overhangs shading of windows and walls; (c) awnings and other sun protection devices to shade windows and walls and minimise solar heat loads. <p>Note – Figure 9.3.15.3.a provides visual guidance on meeting this outcome.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
	<p>PO4 Development is designed to:</p> <ul style="list-style-type: none"> (a) maximise cross-breezes to dwellings; (b) promote access to breeze and natural light.
	<p>AO4.2 Each dwelling has openings to at least two different aspects.</p>
	<p>AO4.3 Each dwelling has access to a covered, outside area for the drying of clothes.</p>
	<p>AO4.4 Dwellings are not located on both sides of an enclosed central corridor (i.e. not double banked).</p>
<p>PO5 Development reduces the appearance of building bulk through siting and the incorporation of design features including:</p> <ul style="list-style-type: none"> (a) balconies; (b) variation in building form; (c) roof features; (d) the use of curves, steps, recesses, projections or variation in plan and elevation. 	<p>AO5.1 Development reduces building bulk by:</p> <ul style="list-style-type: none"> (a) ensuring changes in façade occur not less than every 15 metres; (b) ensuring the minimum distance between buildings on a site is not less than 6 metres; (c) the use of curves, steps, recesses, projections or variations in plan and elevation; (d) the provision of articulated or separated balconies; (e) variation in building colours, materials and textures.

Performance outcomes	Acceptable outcomes
	<p>AO5.2 Buildings have a roof height not less than 3 metres.</p> <p>AO5.3 Rooflines are broken up and include features that reduce the overall bulk and add scale (such as cascading roof levels, gables, skillions or variations in pitch).</p> <p>AO5.4 The length of any continuous eave line does not exceed 15 metres.</p>
<p>PO6 Development is sited so that the setback from boundaries:</p> <ul style="list-style-type: none"> (a) maintain the character and amenity of the streetscape and surrounding area (b) retains daylight access for adjoining premises; (c) provides privacy and amenity for residents and occupants on site and on adjoining premises; (d) provides for appropriate landscaping. 	<p>AO6.1 Buildings and structures are set back not less than 6 metres from a road frontage.</p> <p>AO6.2 Buildings and structures are set back not less than 4 metres to the rear boundary.</p> <p>AO6.3 The side boundary setback for buildings and structures is:</p> <ul style="list-style-type: none"> (a) for buildings of 1 or 2 storeys, not less than 2 metres for the entire building; or (b) for buildings of 3 and 4 storeys, not less than 3 metres for the entire building; or (c) for buildings greater than 4 storeys in height no acceptable outcomes are provided. <p>Note – Figure 9.3.15.3.b and Figure 9.3.15.3.c provide guidance on meeting the outcomes.</p>
Amenity	
<p>PO7 Development is designed to provide amenity for residents whilst maintaining the visual and acoustic privacy of adjoining sensitive land uses.</p>	<p>AO7.1 Where habitable rooms directly oppose habitable rooms in residential buildings within 2 metres at ground floor level or within 9 metres above ground floor level or overlook a sensitive land use:</p> <ul style="list-style-type: none"> (a) sill heights are a minimum of 1.5 metres above floor level; or (b) fixed obscured glazing for any part of the window below 1.5 metres above floor level; or (c) fixed external screens are provided to reduce overlooking; or (d) in the case of screening for the ground floor level, fencing to a height of 1.8 metres above ground level is provided.
<p>PO8 Development addresses the road frontage to facilitate casual surveillance and to enhance the amenity of the streetscape.</p> <p>Note - Alternative solutions will be considered for developments on State Controlled Roads and future State</p>	<p>AO8.1 Development incorporates balconies, windows or verandahs that face the street.</p> <p>AO8.2 Fences and walls to road frontages are not more than:</p>

Performance outcomes	Acceptable outcomes
Controlled Roads when required by the Queensland government.	<p>(a) 1.2 metres in height if less than 50% transparent; or</p> <p>(b) 1.5 metres in height if greater than 50% transparency.</p> <p>AO8.3 Front boundary fences that exceed 10 metres in length are articulated to enhance the streetscape.</p>
<p>PO9 Development provides a functional private outdoor living area for each dwelling.</p>	<p>AO9.1 Each dwelling, has a private and functional outdoor living area:</p> <p>(a) that has a minimum dimension of not less than 3 metres;</p> <p>(b) that is directly accessed from internal living spaces (not bedrooms).</p>
<p>PO10 Development provides accessible and functional communal recreation area for the benefit of residents.</p>	<p>AO10.1 Development involving:</p> <p>(a) 6 dwellings or more not less than 35% of the site area is provided as communal recreational area; or</p> <p>(b) 5 dwellings or less no acceptable outcomes are provided.</p> <p>AO10.2 The design of the communal recreation area is designed so that:</p> <p>(a) at least 50% of the communal recreation area has a minimum dimension of not less than 5 metres;</p> <p>(b) paved or sealed areas do not exceed 30% of the required communal recreation area.</p>
Safety	
<p>PO11 Safety of users of the development and the surrounding community is considered and incorporated into the design.</p> <p>Note - Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
Landscaping	
<p>PO12 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity and privacy for adjoining premises and for residents.</p>	<p>AO12.1 A landscaped area not less than 1.5 metres wide is provided and maintained within the site along all street boundaries.</p> <p>Note – Landscaping is provided in accordance with the Landscaping code.</p> <p>AO12.2 A landscaped area not less than 2 metres wide is provided and maintained within the site along the side and rear boundaries.</p> <p>Note – Landscaping is provided in accordance with the Landscaping code.</p>

Performance outcomes	Acceptable outcomes
Facilities	
<p>PO13 Waste and recyclable material storage areas are:</p> <ul style="list-style-type: none"> (a) convenient and accessible to residents and waste and recyclable material collection services; (b) located and designed to mitigate adverse impacts: <ul style="list-style-type: none"> (i) within the site; (ii) on adjoining properties; (iii) to the street. 	<p>AO13.1 Waste and recyclable material storage areas:</p> <ul style="list-style-type: none"> (a) are located on site; (b) are sited and designed to be unobtrusive and screened from view from the street frontage; (c) are imperviously sealed roofed and bunded, and contain a hose down area draining to Council's sewer network; (d) are of a sufficient size to accommodate bulk (skip) bins; (e) have appropriate access and sufficient on site manoeuvrability area for waste and recyclable material collection services. <p>Note – The Environmental performance code contains requirements for waste and recyclable material storage.</p>
Services	
<p>PO14 Services structures and mechanical plant (including air conditioners) are located, screened or incorporated as part of the building form to minimise adverse impacts on amenity.</p>	<p>AO14.1 Services structures and mechanical plant are located or screened to not be visible from:</p> <ul style="list-style-type: none"> (a) public spaces; (b) adjoining properties.
	<p>AO14.2 Mechanical plant is not located on balconies or adjacent to other liveable areas.</p>
	<p>AO14.3 Services and mechanical plant are located in building recesses or adjacent to service areas such as parking and driveway areas.</p>
Additional requirements for multiple dwellings	
<p>PO15 Development for Multiple dwellings provides a secure storage area for each dwelling.</p>	<p>AO15.1 A secure storage area is provided for each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum space of 2.5m²; (b) has a minimum height of 2 metres; (c) is weather proof; (d) has immunity to the 1% AEP inundation event.

Table 9.3.15.3.b – Maximum gross floor area (GFA) for multiple dwellings and short-term accommodation

Zone	Maximum GFA
Low-medium density residential zone	0.8 x site area
Medium density residential zone	1.2 x site area
Tourist accommodation	1.2 x site area
All other zones	No maximum GFA is provided

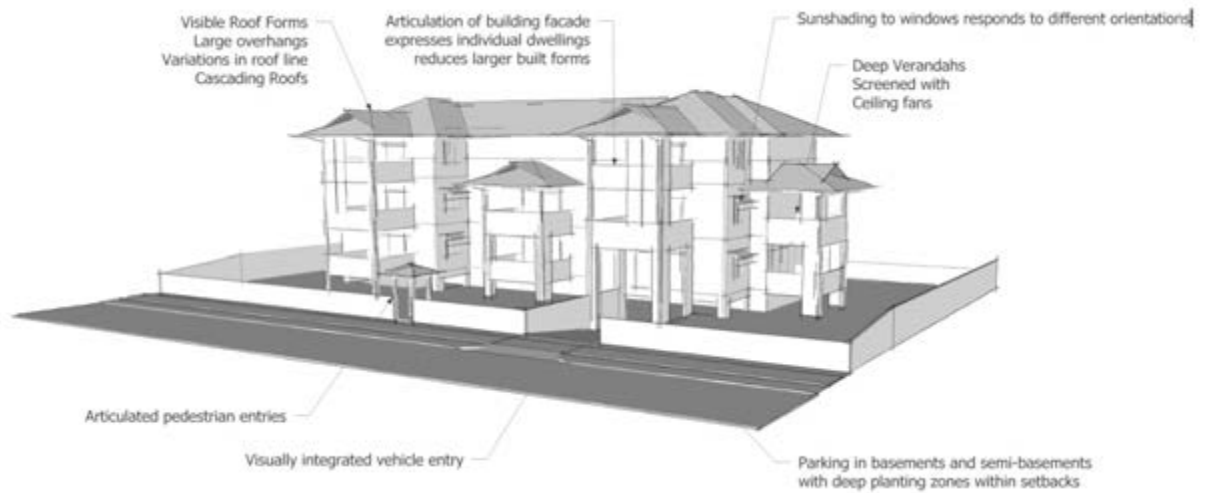


Figure 9.3.15.3.a – Tropical design elements

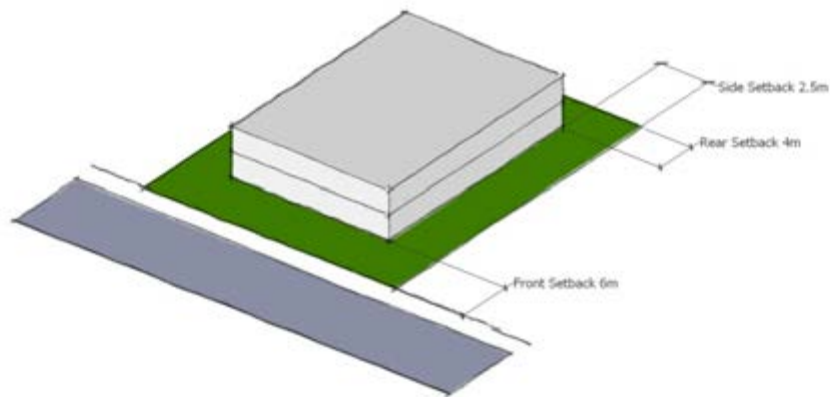


Figure 9.3.15.3.b – Setbacks – 1 or 2 storey Multiple dwellings

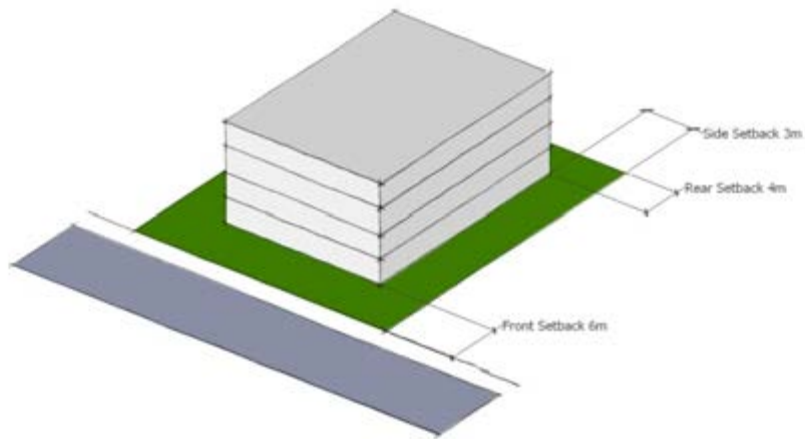


Figure 9.3.15.3.c – Setbacks – 3 or 4 storey Multiple dwellings

9.3.16 Parking station code

9.3.16.1 Application

- (1) This code applies to assessing development for a Parking station.
- (2) When using this code, reference should be made to Part 5.

9.3.16.2 Purpose

- (1) The purpose of the Parking station code is to ensure that parking stations are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) parking stations minimise adverse impacts on adjoining land uses;
 - (b) parking stations are accessible to users;
 - (c) parking stations have appropriate landscaping to provide a buffer to adjoining land uses and are visually attractive from street view.

9.3.16.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.16.3.a – Parking station code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Amenity and access	
<p>PO1 The location of the parking station does not adversely affect adjoining land uses.</p>	<p>AO1.1 The parking station is located in an appropriate area to service the needs of the community and does not adversely affect adjoining land uses, in terms of excessive noise, dust, fumes or other environmental impacts.</p>
<p>PO2 The parking station is designed to be convenient and accessible to users and not impact on the function of the surrounding road network.</p>	<p>AO2.1 The parking station has one access point per street frontage.</p> <p>AO2.2 All access, manoeuvring and parking areas in open air car parking stations are surfaced with an all-weather, dustless material and provided with adequate stormwater drainage that prevents ponding of stormwater.</p> <p>AO2.3 Parking stations which are used by the general public during the hours of darkness are provided with night lighting suitably screened to protect the amenity of adjoining premises.</p> <p>AO2.4 Facilities for ticket collection are sited inside the parking station to allow vehicles to queue off street.</p> <p>AO2.5 Car parking, access and manoeuvring areas are designed in compliance with relevant Australian Standards.</p>

Performance outcomes	Acceptable outcomes
	<p>Note – AS2890.1 and AS2890.2 provide car parking design standards.</p>
<p>Safety</p>	
<p>PO3 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>Landscaping and screening</p>	
<p>PO4 The parking station is sufficiently screened from adjoining properties.</p>	<p>AO4.1 A solid wall or solid durable fence and a screen of landscaping of no less than 1.8 metres in height is provided to side and rear boundaries adjacent to residential uses or developments which include a residential component.</p> <p>AO4.2 A landscaped area not less than 1.5 metres wide is provided and maintained within the site along the side and rear boundaries.</p>
<p>PO5 The parking station will provide an attractive appearance to the street.</p>	<p>AO5.1 For open air ground level parking stations, a landscaped area not less than 2 metres wide is provided and maintained within the site along all street boundaries.</p> <p>AO5.2 For multi-level car parking stations:</p> <ul style="list-style-type: none"> (a) road frontage setbacks comply with the relevant provisions of the zone code; or (b) where relevant the design provisions of a local area plan code; (c) Where located in a Centre zone require sleeving with functional commercial, residential or retail tenancies which contribute to an active street frontage.

9.3.17 Relocatable home park and tourist park code

9.3.17.1 Application

- (1) This code applies to assessing development for:
 - (a) Relocatable home park; or
 - (b) Tourist park
- (2) When using this code, reference should be made to Part 5.

9.3.17.2 Purpose

- (1) The purpose of the Relocatable home park and tourist park code is to ensure that Relocatable home parks and tourist parks are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) relocatable home parks provide recreational and communal facilities;
 - (b) a high standard of amenity is provided for residents and occupants and adjoining properties;
 - (c) safe movement of pedestrians and vehicles is provided;
 - (d) a relocatable home park and tourist park is of a scale and intensity that is compatible with the preferred character of the local area;
 - (e) a relocatable home park and tourist park does not adversely impact on the amenity of rural and residential areas or the viable operation of rural activities;
 - (f) a relocatable home park and tourist park is provided with appropriate utilities and services;
 - (g) a relocatable home park is located near centres, transport facilities and community facilities.

9.3.17.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.17.3.a –Relocatable home park and tourist park code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO1 The site has sufficient area to accommodate:</p> <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping; (f) recreational areas and facilities. 	<p>AO1.1 The site has a minimum area of 1 hectare.</p>
Setbacks	
<p>PO2 Appropriate setbacks are provided from the internal access roads and site boundaries.</p>	<p>AO2.1 Relocatable home sites are set back not less than:</p> <ul style="list-style-type: none"> (a) 3 metres from an internal road; (b) 1.5 metres from any site boundary. <p>AO2.2 Caravan, cabin and tent sites are set back not</p>

Performance outcomes	Acceptable outcomes
	less than: (a) 2 metres from an internal road; (b) 1.5 metres from any site boundary.
Open space and recreation facilities	
PO3 Communal open space is provided for the outdoor recreation needs of the residents and occupants.	AO3.1 A minimum of 10% of the site is provided as communal recreational area.
PO4 The site layout incorporates passive and active recreation areas suitable to meet the needs of a variety of users.	AO4.1 No acceptable outcomes are provided.
Safety	
PO5 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility. Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.	AO5.1 No acceptable outcomes are provided.
Landscaping	
PO6 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity and privacy for residents.	AO6.1 A landscaped area not less than 5 metres wide is provided and maintained within the site along the front boundary.
	AO6.2 A landscaped area not less than 2 metres wide is provided and maintained within the site along the side and rear boundaries.
Access	
PO7 An internal vehicular movement network is provided to allow the safe and convenient access of vehicles.	AO7.1 The entrance/exit road provides all-weather access and has a width of 7 metres to allow 2 vehicles towing caravans or 2 campervans/motorhomes to pass each other.
	AO7.2 A caravan holding bay with dimensions of 4 metres by 20 metres is provided adjacent to the entrance/exit road.
	AO7.3 Internal roads (excluding the entrance/exit road) meet the following criteria: (a) one way – minimum 4 metres wide; (b) two way – minimum 6 metres wide.
Operation and Maintenance	
PO8 The number, type and location of individual sites and facilities are readily identifiable.	AO8.1 A permanent sign clearly indicating the number and location of each type of individual



Performance outcomes	Acceptable outcomes
	<p>site and the location of facilities is provided at the main entrance.</p> <p>AO8.2 Each individual site is identified on the ground with the number and type of site clearly displayed on a permanent marker/sign located at the front of the site.</p>
Facilities	
<p>AO9 Waste and recyclable material collection, laundry, shower and toilet facilities are provided for site users.</p>	<p>AO9.1 Waste and recyclable material storage areas:</p> <ul style="list-style-type: none"> (a) are located on site; (b) are sited and designed to be unobtrusive and screened from view from the street frontage and public areas; (c) are imperviously sealed roofed and bunded, and contain a hose down area draining to Council's sewer network; (d) are of a sufficient size to accommodate bulk (skip) bins; (e) have appropriate access and sufficient on site manoeuvrability area for waste and recyclable material collection services. <p>Note – The Environmental performance code contains requirements for waste and recyclable material storage.</p> <p>AO9.2 An amenities building is provided to service caravan and tent sites and includes a laundry, toilets and showers.</p>

9.3.18 Retirement facility and residential care facility code

9.3.18.1 Application

- (1) This code applies to assessing development for:
 - (a) Retirement facility; or
 - (b) Residential care facility.
- (2) When using this code, reference should be made to Part 5.

9.3.18.2 Purpose

- (1) The purpose of the Retirement facility and residential care facility code is to ensure that Retirement and residential care facilities are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) retirement facilities and residential care facilities are integrated with surrounding development and provide attractive, comfortable, safe and secure living environments;
 - (b) the design of retirement facilities and residential care facilities is not institutional in character and creates a homely and pleasant living environment that is appropriate for the tropical climate of the region;
 - (c) retirement facilities and residential care facilities provide social, health and recreational facilities on site or are located to ensure residents have convenient access to a centre and the public transport network;
 - (d) retirement facilities and residential care facilities are created to add to the housing and social mix of a neighbourhood;
 - (e) retirement facilities do not adversely impact on the natural features.

9.3.18.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.18.3.a – Retirement facility and residential care facility code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
PO1 The site has sufficient area and frontage to accommodate: <ul style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping; (f) recreational areas and facilities. 	AO1.1 The site has a minimum area of 800m ² .
	AO1.2 The site has a minimum road frontage of 15 metres.
PO2 The development is located in areas which offer convenience to residents so they can access a range of social, health and recreational facilities.	AO2.1 The development provides a range of social, health and recreational facilities on site.
	or AO2.2 The development is located within 200 metres of land within a Centre zone or a public

Performance outcomes	Acceptable outcomes
	<p>transport route.</p> <p>Note – Refer to the definition of Centre zone contained in Schedule 1.2</p>
Design	
<p>PO3 The development is designed for the needs of the age group of the users, and designed to allow ‘aging in place’ to occur.</p>	<p>AO3.1 Development applies adaptable housing principles.</p> <p>AO3.2 A range of housing designs and sizes are provided in the development to cater for different individual and household needs.</p>
<p>PO4 The building design ensures the development is not institutional in character and achieves a pleasant living environment that is appropriate for the tropical climate of the region through:</p> <ul style="list-style-type: none"> (a) verandahs, or balconies; (b) the use of structural elements and building materials of varying scales and textures; (c) variations in exterior colours; (d) variations in the size and patterning of windows; (e) the use of awnings and other sun protection devices; (f) variation to roof and building lines; (g) recesses on building plane. 	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>PO5 Buildings are sited and designed to:</p> <ul style="list-style-type: none"> (a) maximise cross-breezes through the site; (b) minimise solar heat loads; (c) promote access to breeze and natural light. 	<p>AO5.1 Buildings are oriented on the site to:</p> <ul style="list-style-type: none"> (a) allow prevailing south-east and north-east breezes to penetrate the development; (b) maximise the exposure of individual dwelling units to prevailing and cross-breezes; (c) minimise exposure to western sun. <p>AO5.2 Individual dwelling units are planned for natural ventilation and light and have openings to at least two different aspects.</p> <p>AO5.3 Units are not located on both sides of a central corridor (i.e. not double banked).</p>
<p>PO6 The overall scale, proportions and rhythm of the development:</p> <ul style="list-style-type: none"> (a) responds to traditional subdivision patterns; (b) is respectful to the streetscape pattern. 	<p>AO6.1 No acceptable outcomes are provided.</p>
<p>PO7 Development is sited so that the setback from</p>	<p>AO7.1 Buildings and structures are set back not less</p>

Performance outcomes	Acceptable outcomes
<p>boundaries:</p> <ul style="list-style-type: none"> (a) retains daylight access for adjoining premises; (b) provides privacy for adjoining premises; (c) provides adequate landscaping. 	<p>than 6 metres from a road frontage.</p> <p>AO7.2 The rear boundary setback is a minimum of 4 metres.</p> <p>AO7.3 The side boundary setback is:</p> <ul style="list-style-type: none"> (a) for buildings of 1 or 2 storeys, not less than 2.5 metres for the entire building; (b) for buildings of 3 or 4 storeys, not less than 3.5 metres for the entire building; (c) for buildings with 5 or more storeys, not less than 4.5 metres for the entire building.
<p>PO8 The development does not adversely impact on the natural environment and is designed to be sympathetic to natural constraints.</p>	<p>AO8.1 The siting and design of individual buildings within the development ensures the retention of existing mature vegetation on the site, with appropriate separation between vegetation canopy and root systems and buildings;</p> <p>or</p> <p>AO8.2 Where selected removal of mature tree/s is required, suitable established tree/s are planted on site as a feature.</p>
<p>PO9 Site layout, building design and lighting:</p> <ul style="list-style-type: none"> (a) maximises safety and security of residents; (b) provides for casual surveillance of communal areas, car parking areas and pedestrian paths. 	<p>AO9.1 Safety and security is maximised by including:</p> <ul style="list-style-type: none"> (a) movement sensitive lighting that is directed towards pedestrian and vehicle entry and exit points and communal areas and complies with the provisions of Australian Standard 4282: 1997 - Control of the obtrusive effects of outdoor lighting; (b) dwelling unit design that allows visitors who approach the front door to be seen without the need to open the door; (c) above ground private open space areas that overlook internal and external streets or communal open space areas.
<p>PO10 The pedestrian movement system:</p> <ul style="list-style-type: none"> (a) enables residents to easily navigate the site on foot or with the assistance of mobility aids; (b) incorporates protected walkways, particularly those linking dwelling units with communal facilities; (c) provides comfortable vantage points to rest, socialise and observe surrounding activities; (d) provides a variety of circulation options; (e) links with external pedestrian and cycle paths; (f) is well signed. 	<p>AO10.1 Internal pathways:</p> <ul style="list-style-type: none"> (a) are a width of 2 metres or 3.5 metres when combined with a seating area; (b) comply with <i>Australian Standard 1428.1-4: 2001 - Design for Access and Mobility</i>; (c) have a firm, level, well drained non-slip surface; (d) provide handrails where there are grade changes or other areas of potential risk to pedestrians; (e) provide a covered principal walkway that links all on-site communal facilities. <p>AO10.2 An illuminated sign and site map of the layout of the development is located near the</p>

Performance outcomes	Acceptable outcomes
	entrance.
Amenity	
<p>PO11 Privacy between dwelling units on the site and adjoining sites is achieved by building design and the location of windows and outdoor open spaces to prevent overlooking into habitable rooms or private open space areas.</p>	<p>AO11.1 Where habitable rooms look directly at habitable rooms in residential buildings within 2 metres at ground floor level or within 9 metres above ground floor level, privacy is protected by:</p> <ul style="list-style-type: none"> (a) sill heights being a minimum of 1.5 metres above floor level; or (b) fixed obscured glazing for any part of the window below 1.5 metres above floor level; or (c) fixed external screens; or (d) in the case of screening for the ground floor level, fencing to a height of 1.8 metres above ground level.
<p>PO12 Easily accessible and functional communal landscape and recreation area is provided for the benefit of residents.</p>	<p>AO12.1 A minimum of 35% of the site is communal recreation area including:</p> <ul style="list-style-type: none"> (a) at least 50% of the required landscaped area with a minimum dimension of 5 metres; (b) deep planting to at least 30% of the required landscaped area, (c) paved or sealed areas do not exceed 30% of the required landscaped area. <p>AO12.2 Communal facilities are provided to meet the social, health and recreational needs of the residents.</p>
<p>PO13 For a retirement village easily accessible and functional private outdoor living area is provided for each unit and adequate storage is provided for each unit.</p>	<p>AO13.1 Each dwelling unit, has a private and functional outdoor living area:</p> <ul style="list-style-type: none"> (a) having minimum dimensions of 3 metres; (b) directly accessed from internal living spaces (not bedrooms); (c) is in the form of a balcony where above ground level. <p>AO13.2 A secure storage area is provided for each unit:</p> <ul style="list-style-type: none"> (a) has a minimum space of 2.5m²; (b) has a minimum height of 2 metres; (c) is weather proof; (d) has immunity to the 1% AEP inundation event.
Safety	
<p>PO14 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Ancillary uses	
<p>PO15 Food and drink outlets associated with a retirement facility only service residents and their visitors and staff.</p> <p>Note - Where a food and drink outlet does not satisfy the performance outcome, a separate development approval for the use will be required.</p>	<p>AO15.1 No acceptable outcomes are provided.</p>

9.3.19 Roadside stall code

9.3.19.1 Application

- (1) This code applies to assessing development for a Roadside stall.
- (2) When using this code, reference should be made to Part 5.

9.3.19.2 Purpose

- (1) The purpose of the Roadside stall code is to ensure that roadside stalls are established in safe locations, are of a small scale and are located in rural areas for the sale of produce that is grown and harvested on the site or sourced from nearby farms.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) roadside stalls are small scale and are compatible with the amenity of the rural setting in which they are located;
 - (b) access and parking is safe.

9.3.19.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.19.3.a – Roadside stall code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Amenity	
<p>PO1 The scale intensity and operating characteristics of the Roadside stall does not impact on the amenity and character of the surrounding area.</p>	<p>AO1.1 There is only one road side stall per site.</p> <p>AO1.2 The roadside stall:</p> <ul style="list-style-type: none"> (a) does not exceed 5m² in area for the display of goods; (b) is associated with produce grown and harvested on the site or sourced from nearby farms; (c) is not located within the road reserve; (d) is confined to the display and sale of primary produce; (e) has no more than 2 signs with each sign: <ul style="list-style-type: none"> (i) not more than 1m² in area; (ii) not more than 0.5 metres in height. (f) operates in daylight hours only.
Parking and access	
<p>PO2 The site is accessed via a road that is of a standard adequate to cater for:</p> <ul style="list-style-type: none"> (a) the proposed use; (b) allows customers and operators to park safely off site; (c) maintains adequate sight lines; (d) minimises mud/dust nuisances. 	<p>AO2.1 Car parking does not occur on a road reserve.</p> <p>AO2.2 Car parking allows vehicles to enter and exit the site in forward gear.</p>

9.3.20 Rooming accommodation code

9.3.20.1 Application

- (1) This code applies to assessing development for Rooming accommodation.
- (2) When using this code, reference should be made to Part 5.

9.3.20.2 Purpose

- (1) The purpose of the Rooming accommodation code is to ensure that Rooming accommodation uses are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) rooming accommodation is compatible with and complementary to surrounding development, with regard to scale, bulk, and streetscape patterns;
 - (b) rooming accommodation is located to ensure residents have convenient access to an activity centre and the public transport network;
 - (c) the design of rooming accommodation creates a pleasant living environment and is appropriate for the tropical climate of the region;
 - (d) the impacts of rooming accommodation on adjoining premises is managed.

9.3.20.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.20.3.a – Rooming accommodation code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
PO1 The site has sufficient area and frontage to accommodate: <ol style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; (d) pedestrian access; (e) landscaping; (f) recreational areas and facilities. 	AO1.1 The site has a minimum area of 800m ² .
	AO1.2 The site has a minimum frontage of 15 metres.
	AO1.3 The site cover is not more than 50%.
PO2 The development is located in areas which offer convenience to residents.	AO2.1 The development is located within 200 metres of land within a Centre zone or a public transport route. Note – Refer to the definition of Centre zone contained in Schedule 1.2.
Design	
PO3 The building design ensures building bulk is reduced through articulation and other design measures and achieves a tropical character and vernacular through: <ol style="list-style-type: none"> (a) verandahs or balconies; (b) the use of structural elements and building materials of varying scales and textures; 	AO3.1 No acceptable outcomes are provided.



Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (c) variations in exterior colours; (d) variations in the size and patterning of windows; (e) the use of awnings and other sun protection devices; (f) variation to roof and building lines; (g) recesses on building plane. 	
<p>PO4 The overall scale, proportions and rhythm of the development:</p> <ul style="list-style-type: none"> (a) responds to traditional subdivision patterns; (b) is respectful to the streetscape pattern. 	<p>AO4.1 No acceptable outcomes are provided.</p>
Setbacks	
<p>PO5 Development is sited so that the setback from boundaries:</p> <ul style="list-style-type: none"> (a) retains daylight access for adjoining properties; (b) provides privacy for adjoining properties; (c) provides required space for deep planting to side and rear boundaries. 	<p>AO5.1 Buildings and structures are set back not less than 6 metres from a road frontage.</p>
	<p>AO5.2 The rear boundary set back is a minimum of 4 metres.</p>
	<p>AO5.3 The side boundary setback is:</p> <ul style="list-style-type: none"> (a) for buildings of 1 or 2 storeys, not less than 2.5 metres for the entire building; (b) for buildings of 3 or 4 storeys, not less than 3.5 metres for the entire building; (c) for buildings with 5 or more storeys, not less than 4.5 metres for the entire building.
Amenity	
<p>PO6 Privacy between dwelling units on the site and adjoining sites is achieved by building design and the location of windows and outdoor open spaces to prevent overlooking into habitable rooms or private open space areas.</p>	<p>AO6.1 Where habitable rooms look directly into habitable rooms in residential buildings within 2 metres at ground floor level or within 9 metres above ground floor level, privacy is protected by:</p> <ul style="list-style-type: none"> (a) sill heights being a minimum of 1.5 metres above floor level; or (b) fixed obscured glazing for any part of the window below 1.5 metres above floor level; or (c) fixed external screens; or (d) in the case of screening for the ground floor level, fencing to a height of 1.8 metres above ground level.
	<p>PO7 The development addresses the road frontage to facilitate casual surveillance and to enhance the amenity of the streetscape.</p>

Performance outcomes	Acceptable outcomes
	<p>Fences and walls to road frontages are limited to:</p> <ul style="list-style-type: none"> (a) 1.2 metres in height if solid; or (b) 1.5 metres in height if 30% permeable; or (c) 1.8 metres in height if 50% permeable. <p>AO7.4 Where the front fence is lower than the side boundary fence, it is tapered to the maximum height of the side boundary fence at or behind the front building line.</p> <p>AO7.5 Street fences that exceed 10 metres in length are articulated or detailed to provide visual interest.</p>
<p>PO8 Open space and recreational facilities are provided to meet the requirements of residents.</p>	<p>AO8.1 Open space is provided at the minimum rate of 5m² per bed.</p> <p>AO8.2 At least 40% of the total open space required is contained in one area.</p> <p>AO8.3 Balconies, verandahs, covered walkways or other parts of the building/s do not encroach on this area.</p> <p>AO8.4 Open space is: <ul style="list-style-type: none"> (a) screened by landscaping or fencing to maintain privacy; (b) exclusive of driveways, car parking, garbage collection points, clothes drying areas and other utilities. </p> <p>AO8.5 Where more than 20 beds are contained in the rooming accommodation, a recreational facility is provided.</p>
Safety	
<p>PO9 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Landscaping	
<p>PO10 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity and privacy for residents.</p>	<p>AO10.1 A landscaped area not less than 2 metres wide is provided and maintained within the site along the front boundary.</p>
	<p>AO10.2 A landscaped area not less than 2 metres wide is provided and maintained within the site along the side and rear boundaries.</p>

9.3.21 Sales office code

9.3.21.1 Application

- (1) This code applies to assessing development for a Sales office.
- (2) When using this code, reference should be made to Part 5.

9.3.21.2 Purpose

- (1) The purpose of the Sales office code is to allow for the use of one or more buildings or dwellings as temporary sales offices (or display village) in new residential developments.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) The use:
 - (i) has a limited duration of operation;
 - (ii) maintains the character and amenity of the surrounding area.

9.3.21.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.21.3.a – Sales office code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Character and amenity	
<p>PO1 The sales office does not adversely impact on the character and amenity of the surrounding area.</p>	<p>AO1.1 The sales office: (a) has been approved and constructed as a dwelling; (b) is conducted between the hours of 8.00am and 6.00pm; (c) is staffed by not more than 2 employees.</p>
Operation	
<p>PO2 The sales office operates for a limited duration to promote and sell dwelling houses within the residential subdivision.</p>	<p>AO2.1 The sales office reverts to its primary use of a dwelling within one year of the use commencing.</p>
Signage	
<p>PO3 Signage for the use is discrete and does not adversely impact on the character and amenity of the surrounding area.</p>	<p>AO3.1 Signage associated with the use: (a) is limited to one sign per sales office; (b) has a surface area no greater than 1m²; (c) is less than 1.8 metres in height above ground level; (d) is not illuminated; (e) is located on-site or on a fence facing a primary road frontage.</p>
Car parking	

Performance outcomes	Acceptable outcomes
<p>PO4 Adequate car parking is provided to cater for the demand generated by the scale and nature of the sales offices and/or display villages.</p>	<p>AO4.1 Where 3 or more sales offices form a display village, a consolidated, signed off-street parking area is provided within 50 metres of the sales office.</p>
	<p>AO4.2 The car parking area is surfaced with an all-weather material to prevent ponding of stormwater and dust nuisances.</p>
	<p>AO4.3 The side and rear boundaries of the site is provided with a solid 1.8 metre high fence.</p>
	<p>AO4.4 The car parking area reverts to its pre-development state following the cessation of the use.</p>

9.3.22 Service station and car wash code

9.3.22.1 Application

- (1) This code applies to assessing development for:
 - (a) Service station; or
 - (b) Car wash.
- (2) When using this code, reference should be made to Part 5.

9.3.22.2 Purpose

- (1) The purpose of the Service station and car wash code is to establish service stations and car wash facilities that function without adverse impacts on amenity, activity centre hierarchy and road function, and deliver an attractive and complementary service for the community.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) a service station is established in a suitable location and on a site that is capable of accommodating all necessary and associated activities;
 - (b) centre activities are ancillary to the primary vehicle servicing purpose of the service station;
 - (c) service stations do not compromise the hierarchy of activity centres;
 - (d) development results in a high standard of appearance and safety;
 - (e) development does not result in detrimental impacts on the amenity of surrounding sensitive land uses;
 - (f) development achieves a high standard of vehicular accessibility and minimises impacts on surrounding traffic networks;
 - (g) development prevents adverse environmental impacts resulting from activities on the site.

9.3.22.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.22.3.a – Service station and car wash code –assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Centre viability	
<p>PO1 Centre activities:</p> <ol style="list-style-type: none"> (a) are ancillary to the service station use; (b) do not compromise the role and function of the region’s network of centres. <p>Note – Refer to the defined activity group for Centre activities contained in Schedule 1.1.1.</p>	<p>AO1.1 Centre activities do not exceed 100m² GFA.</p> <p>Note – Refer to the defined activity group for Centre activities contained in Schedule 1.1.1.</p> <p>Note - Where floor area for the other uses exceeds 100m² GFA, a separate development approval for the use will be required.</p>
Site requirements	
<p>PO2 The site has sufficient area and frontage to accommodate:</p> <ol style="list-style-type: none"> (a) buildings and structures; (b) setbacks; (c) access, parking, manoeuvring and circulation; 	<p>AO2.1 The site has a minimum area of 1,500m²;</p> <p>AO2.2 The site has a minimum frontage of:</p> <ol style="list-style-type: none"> (a) 40 metres where the site is not a corner site; or

Performance outcomes	Acceptable outcomes
<p>(d) pedestrian access; (e) landscaping.</p>	<p>(b) 30 metres to each road where the site is a corner site.</p>
Access	
<p>PO3 Development is located and designed so that the safety and efficiency of the road network, access and internal vehicle and pedestrian movements are not adversely impacted upon.</p>	<p>AO3.1 The development is supported by a traffic management and impact report demonstrating the development's location, design and access does not adversely impact upon:</p> <ul style="list-style-type: none"> (a) the safety and function of the road network; (b) operation of the service station with respect to the types of vehicles accessing and servicing the development. <p>Note - Traffic Impact Assessment Report prepared in accordance with Planning scheme policy – Parking and access</p> <p>AO3.2 The traffic management and impact report should take into account and make recommendations about:</p> <ul style="list-style-type: none"> (a) traffic movements in the vicinity of the development and the expected traffic movements from the development; (b) matters that will impact on the amenity and safety of all road users, (e.g. queuing, deceleration/acceleration, turning movements, intersection treatments, corner truncations); (c) safe and convenient access for all vehicles accessing the site, location and ability to support a functional service station; (d) manoeuvring (for all vehicle types) within the development; (e) conflicts between pedestrian and vehicle movements; (f) methods and extent of mitigation required to ensure safety and efficiency of the road network. <p>AO3.3 Bulk fuel storage tanks are located on the Site so that, when a fuel delivery vehicle is discharging fuel into the storage tanks, the fuel delivery vehicle is standing entirely within the site in a location that does not restrict the movement of other vehicles on the Site.</p>
Design	
<p>PO4 Buildings, structures and mechanical equipment for vehicle service and customer convenience are setback from the road, and surrounding uses to ensure a high standard of appearance, safety and amenity is achieved.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>PO5 Development is sited, designed and oriented to minimise adverse impacts on adjacent and adjacent or surrounding sensitive land uses.</p>	<p>AO5.1 Where the site adjoins land containing a sensitive land use, all buildings/structures are setback 5 metres from the common boundary with the adjoining property.</p> <p>Note – Refer to the definition of Sensitive land use contained in Schedule 1.2.</p>
Safety	
<p>PO6 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility.</p> <p>Note - Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Landscaping and screening	
<p>PO7 Landscaping and fencing contributes to establishing an attractive and safe streetscape and a high standard of amenity.</p>	<p>AO7.1 A landscaped area not less than 2 metres wide is provided and maintained within the site along all street boundaries.</p> <p>AO7.2 Where the site adjoins land containing a sensitive land use:</p> <ul style="list-style-type: none"> (a) a landscaped area not less than 5 metres wide is provided and maintained within the site along the boundary adjoining the sensitive land use; (b) a fence not more than 2 metres high is provided and maintained along the boundary adjoining the sensitive land use.
Facilities	
<p>PO8 Customer facilities such as air and water points and other customer services and facilities are located so that the efficient operation of the activity is not adversely affected by the use of these facilities.</p>	<p>AO8.1 Facilities are located within the site and are not located closer than 3 metres to any boundary of the site.</p> <p>AO8.2 Facilities are located so that vehicles using or waiting to use the facilities are entirely within the site and in locations which do not restrict the movement of other vehicles on the site.</p>
Roads external to the site	
<p>PO9 The roads adjacent to the Service station site are constructed to an appropriate standard.</p>	<p>AO9.1 Roadworks to improve the adjacent road network are constructed in accordance with the Design guidelines set out in Sections D1 and D3 of Planning scheme policy – FNQROC Regional Development Manual.</p>

9.3.23 Sport and recreation activities code

9.3.23.1 Application

- (1) This code applies to assessing development for:
 - (a) Indoor sport and recreation; or
 - (b) Outdoor sport and recreation.
- (2) When using this code, reference should be made to Part 5.

9.3.23.2 Purpose

- (1) The purpose of the Sport and recreation activities code is to ensure that Sport and recreation activities are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sport and recreation activities are established in appropriate locations that provide convenient access for users;
 - (b) the scale and design of development complements the desired character of the locality;
 - (c) development minimises adverse impacts on the amenity of nearby sensitive land uses;
 - (d) development provides sufficient on-site parking and manoeuvring for the use;
 - (e) landscaping of the site contributes to maintaining or establishing attractive streetscapes.

Note – Refer to the defined activity group for Sport and recreation activities contained in Schedule 1.1.1.

9.3.23.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.3.23.3.a – Sport and recreation activities code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Amenity	
<p>PO1 Development is located, designed and operated to avoid adverse impacts on nearby sensitive land uses in relation to light, noise, odour or other nuisance.</p>	<p>AO1.1 Where adjoining a residential use and development is located within 20 metres from the common boundary, a 1.8 metre high acoustic fence is provided for the full length of the common boundary.</p>
	<p>AO1.2 Development provides outdoor lighting which is installed and operated in compliance with the requirements of AS4282-1997 Control of the obtrusive effects of outdoor lighting.</p>
	<p>AO1.3 A landscaped area not less than 2 metres is provided and maintained within the site along the boundary adjoining land in any Residential zone.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>

Performance outcomes	Acceptable outcomes
For assessable development	
Site requirements	
<p>PO2 The site is of sufficient dimensions to contain the proposed use.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
Design	
<p>PO3 Development is located and designed to be: (a) convenient to users; (b) compatible with the character of the local area.</p>	<p>AO3.1 Buildings have articulated and textured facades to provide visual interest, incorporating windowed facades, awnings, eaves or similar design elements.</p>
	<p>AO3.2 The main entry to the building can be identified from the street and is directly accessible to on-site car parking areas.</p>
Safety	
<p>PO4 Design actively contributes to the safety of users of the development and pedestrians.</p> <p>Note - Guidance on demonstrating compliance with the Performance Outcome is outlined in Planning scheme policy – Crime prevention through environmental design (CPTED).</p>	<p>AO4.1 Crime prevention through environmental design principles are integrated into the form and design of the development.</p> <p>Note - Crime prevention through environmental design principles are outlined in Planning scheme policy – Crime prevention through environmental design (CPTED).</p>
Car parking	
<p>PO5 Car parking areas are setback from the boundaries of the site to ensure that they do not dominate the character of the site or impact upon residential land or uses.</p>	<p>AO5.1 Car parking areas are set back not less than 2 metres from all boundaries.</p>
Access	
<p>PO6 Development provides convenient access to vehicular traffic without compromising the safety and efficiency of the road hierarchy.</p>	<p>AO6.1 No acceptable outcomes are provided.</p>
Ancillary uses	
<p>PO7 The provision of food and drink is ancillary to the use.</p>	<p>AO7.1 The provision of food and drink is ancillary to the sport and recreation use and only serves visitors or staff.</p> <p>Note - Where development does not satisfy the acceptable outcome, a separate development approval for a food and drink outlet will be required.</p>

9.3.24 Telecommunications facility code

9.3.24.1 Application

- (1) This code applies to assessing development for a Telecommunications facility.
- (2) When using this code, reference should be made to Part 5.

9.3.24.2 Purpose

- (1) The purpose of the Telecommunications facility code is to ensure that telecommunications facilities are appropriately located, designed and operated.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the sharing or co-location of facilities is promoted;
 - (b) the design and construction of telecommunication facilities is in keeping with the amenity of adjoining lots and the character of the area and achieves a high level of visual integration with the natural and built environment.

9.3.24.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.24.3.a – Telecommunications facility – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Setbacks	
PO1 Telecommunications facilities and structures are designed and located at distances from the property frontage and the side and rear boundaries which maintain clear separation from neighbouring properties and frontages to roads.	AO1.1 The Telecommunication facility is set back a minimum of 5 metres from all boundaries; or AO1.2 Where adjacent to a sensitive land use, the Telecommunications facility is set back equal to the height (1:1 - height to setback).
Design	
PO2 Telecommunications facilities are compatible with the amenity of adjoining lots and the desired character of the area having regard to the bulk, scale, form, shape, materials, colours and finishes.	AO2.1 Telecommunications facilities, ancillary buildings and fences are non-reflective and use materials and colour finishes that integrate the facility into the character of the surrounding area.
Location	
PO3 The telecommunications facility is located so as to minimise any adverse impacts on the amenity of a local area and protect community wellbeing.	AO3.1 The telecommunications facility is located at least: <ul style="list-style-type: none"> (a) 400 metres from any sensitive land use; (b) 1 kilometre of any other existing or approved telecommunications facility, except where a co-located telecommunications tower using a single structure.

Performance outcomes	Acceptable outcomes
Landscaping	
<p>PO4 Landscaping is provided and maintained to screen and reduce the visual impacts of the facility and establish a high standard of amenity.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Environmental Protection	
<p>PO5 Installation, operation and maintenance of Telecommunications facilities do not negatively impact on the natural environment.</p>	<p>AO5.1 Existing vegetation is retained and only removed to facilitate construction of the facility.</p>
	<p>AO5.2 Telecommunications facilities and ancillary buildings are designed to minimise the need for excavation and filling for construction siting and access.</p>

9.3.25 Veterinary services code

9.3.25.1 Application

- (1) This code applies to assessing development for Veterinary services.
- (2) When using this code, reference should be made to Part 5.

9.3.25.2 Purpose

- (1) The purpose of the Veterinary services code is to ensure that Veterinary services uses are appropriately located, designed and operated.
- (2) The purpose of the Veterinary services code will be achieved through the following overall outcomes:
 - (a) activities associated with the operation of veterinary services are conducted in a manner that mitigates potential amenity impacts on adjoining and nearby premises.

9.3.25.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.3.25.3.a – Veterinary services code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Operation	
<p>PO1 All activities associated with the treatment of animals are undertaken within an environment that incorporates sufficient controls to ensure that adjoining premises are not adversely affected by unreasonable noise.</p>	<p>AO1.1 All activities associated with the treatment of animals are undertaken within a fully enclosed building incorporating sound insulation measures to ensure that no noise resulting from the operation of the use exceeds background noise levels measured at any sensitive land use.</p>
<p>PO2 Veterinary services are supervised to the extent necessary to ensure: (a) the well-being of the animals housed within the facility; (b) the preservation of amenity on adjoining premises.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>

9.4 Other development codes

9.4.1 Advertising devices code

9.4.1.1 Application

- (1) This code applies to assessing development for Advertising devices which are identified as development within section 1.8 Local government matters.

Note – Refer to the definition of Advertising devices contained in Schedule 1.2.

- (2) When using this code, reference should be made to Part 5.

9.4.1.2 Purpose

- (1) The purpose of the Advertising devices code is to regulate the siting, number and design of advertising devices to protect the visual character and amenity of the region while recognising the legitimate need for enterprise to advertise.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) advertising devices are designed and sited so that they:
 - (i) maintain the safety and efficiency of the public realm;
 - (ii) do not detract from the character and amenity of the area;
 - (iii) are appropriate to the scale of surrounding buildings and structures and the locality;
 - (iv) do not dominate surrounding vegetation, landscaping or natural features;
 - (v) do not detract from the scenic amenity of the region;
 - (vi) are incorporated in the site design of a development or the architecture of a building complementing the building or the development.
 - (b) the number of advertising devices is limited to avoid the cumulative impact of signage throughout the region;
 - (c) the use of billboard signage is limited.

Note - Advertising on or attached to a building that is not a projecting sign, illuminated sign, billboard sign or pylon sign is regulated under Council's local laws.

Note - Building certification is likely to be required for all assessable advertising devices.

9.4.1.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.1.3.a – Advertising devices code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Operation	
<p>PO1 Advertising devices do not:</p> <ul style="list-style-type: none"> (a) provide a distraction for passing drivers, cyclists or pedestrians; (b) provide a physical obstruction or narrow circulation corridors on roads or pathways; (c) restrict sightlines or create a traffic hazard for vehicles, cyclists or pedestrians. 	<p>AO1.1 Advertising devices are located a minimum of 1 metre clear of, and do not encroach into pedestrian, cycle or vehicle movement paths or corridors.</p> <hr/> <p>AO1.2 Advertising devices do not contain parts that move or rotate, or lights that strobe or flash, or consist of video, LCD, LED, Plasma or similar screens.</p>

Performance outcomes	Acceptable outcomes
	<p>AO1.3 Advertising devices are attached or secured to a fixed object/s at all times.</p> <p>AO1.4 Advertising devices are located such that they do not obstruct sightlines or create traffic hazards.</p> <p>Note – Figure 9.4.1.3.a provides guidance to interpreting the acceptable outcome.</p>
<p>PO2 The advertising device is located and designed to maintain the character and amenity of the surrounding built form, streetscape or landscape setting by:</p> <ul style="list-style-type: none"> (a) maintaining consistency with the style, scale, building and roof alignments, colours, patterns and other architectural qualities of the building or premises; (b) not cause a nuisance or contribute to visual clutter; (c) maintaining views to: <ul style="list-style-type: none"> (i) natural landscape features and areas of high and medium landscape value; (ii) places of significance. (d) not dominating the streetscape or landscape; (e) not overshadow any adjoining premises; (f) maintain the safety and efficiency of the public realm; (g) be of appropriate size and shape for the locality in which it is located; (h) be durable, robust and easily maintained. 	<p>AO2.1 Advertising devices do not impede existing views to landscape features, or places of historical significance.</p> <p>AO2.2 For a pylon sign:</p> <ul style="list-style-type: none"> (a) is the only pylon sign on site; (b) is mounted as a freestanding structure; (c) has a maximum height above ground level of 8 metres; (d) has an outer most projection that is setback a minimum of 2 metres from all property boundaries; (e) is not located within 100 metres of an existing pylon sign; (f) is not located within a Residential zone, or a conservation or environmental management zone; (g) is not located within a scenic route buffer area or an area identified as high landscape values area on the Landscape values overlay maps contained in Schedule 2; (h) does not contain parts that move or rotate, or lights that strobe or flash, or consist of video, LCD, LED, Plasma or similar screens. <p>Note – Figure 9.4.1.3.b provides an example of a pylon sign and its dimensions.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p> <p>AO2.3 For a projecting sign:</p> <ul style="list-style-type: none"> (a) no more than 2 projecting signs are mounted per site, including only one projecting sign attached to the face of a building and only one projecting sign attached to the roof; (b) is not located within 10 horizontal metres of another projecting sign; (c) is not located within a Residential zone, conservation or environmental management zone; (d) does not contain parts that move or rotate, or lights that strobe or flash, or consist of video, LCD, LED, Plasma or

Performance outcomes	Acceptable outcomes
	<p>similar screens;</p> <p>(b) if roof mounted:</p> <ul style="list-style-type: none"> (i) has a maximum horizontal dimension of 2 metres; (ii) has a maximum vertical dimension of 1 metre; (iii) is mounted no more than 0.5m above the roof line. <p>(c) if wall mounted:</p> <ul style="list-style-type: none"> (i) (has a maximum horizontal dimension of 1.0 metre; (ii) has a maximum vertical dimension of 2.0 metres; (iii) is mounted no more than 0.2 metres from the wall line. <p>Note – For the purposes of determining the number and location of projecting signs a 'site' includes an individual tenancy within a building containing multiple tenancies.</p> <p>Note – Figure 9.4.1.3.c provides an example of a projecting signs, their dimensions and acceptable outcomes.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>
	<p>AO2.4</p> <p>For an illuminated sign:</p> <p>(a) does not contain parts that move or rotate, or lights that strobe or flash, or consist of video, LCD, LED, Plasma or similar screens.</p>
	<p>AO2.5</p> <p>For a billboard sign:</p> <ul style="list-style-type: none"> (a) is located within an Industry zone and located adjacent to a state controlled road and is not located within 500 horizontal metres of a Residential zone, or a Conservation or Environmental management zone; (b) is the only billboard sign on site; (c) is mounted as a freestanding structure; (d) has a maximum height above ground level of 12 metres; (e) has an outer most projection that is setback a minimum of 2 metres from all property boundaries; (f) is not located within 500 horizontal metres of another billboard sign; (g) is not located within a scenic route buffer area or an area identified as high landscape values area on the Landscape values overlay maps contained in Schedule 2; (h) does not contain parts that move or rotate, or lights that strobe or flash, or consist of video, LCD, LED, Plasma or similar screens. <p>Note – Figure 9.4.1.3.d provides an example of a billboard sign and its dimensions.</p>



Performance outcomes	Acceptable outcomes
	Note – Refer to the definition of Residential zones and Industry zone contained in Schedule 1.2.
<p>PO3 Where an advertising device is located on a site of historical significance it does not cover or hide the architectural features of a building.</p>	<p>AO3.1 No acceptable outcomes are provided.</p>
<p>PO4 Advertising devices are designed, sited and constructed to ensure that public safety is not compromised.</p>	<p>AO4.1 Advertising devices are:</p> <ul style="list-style-type: none"> (a) appropriately secured and supported so as to cause no injury or damage to persons or property; (b) not displayed on or attached to a tree, telegraph and /or electricity poles, traffic sign or safety signs; (c) not result in a significant visual distraction or physical obstruction to vehicular and pedestrian traffic and sight-lines; (d) a minimum of 2.4 metres in clearance above a pedestrian footpath.

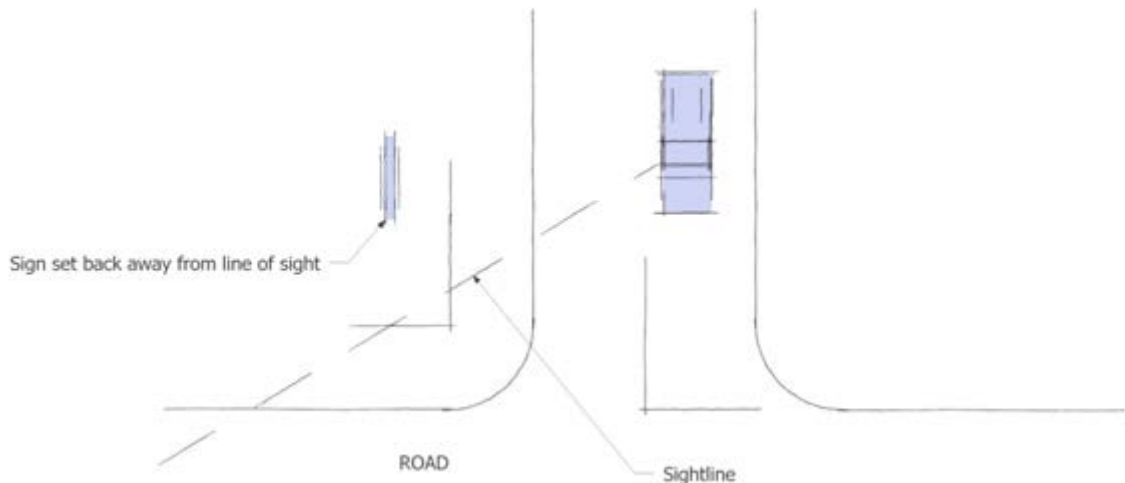


Figure 9.4.1.3.a – Sightlines for Advertising devices

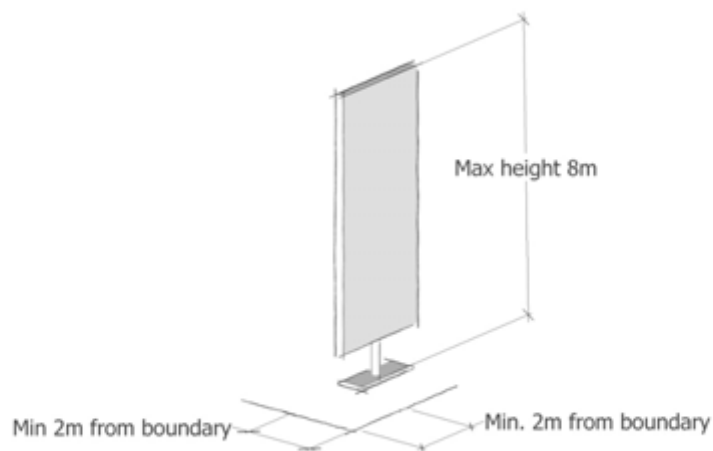


Figure 9.4.1.3.b – Pylon sign example and dimensions

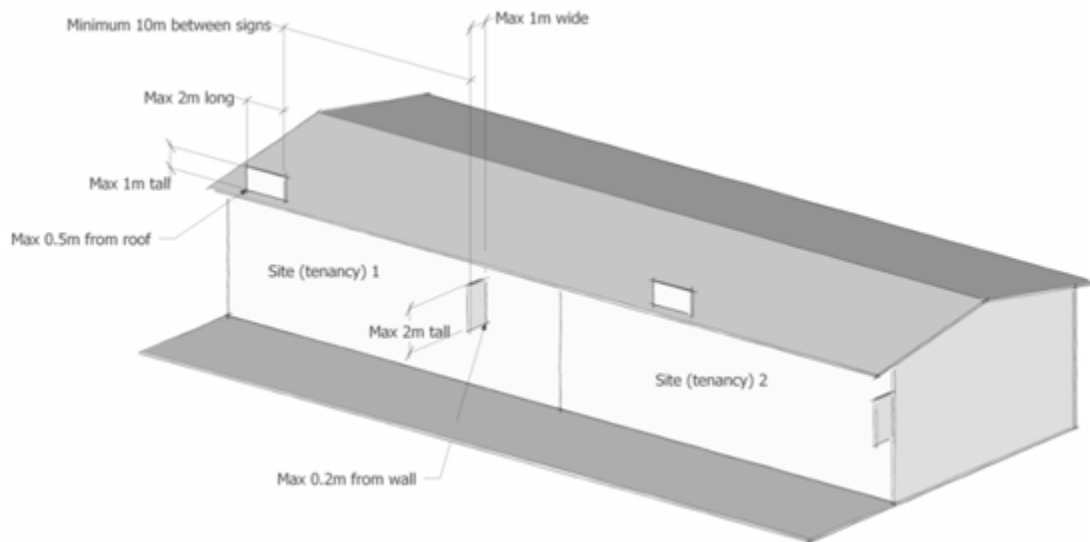


Figure 9.4.1.3.c – Projecting signs, dimensions and locations

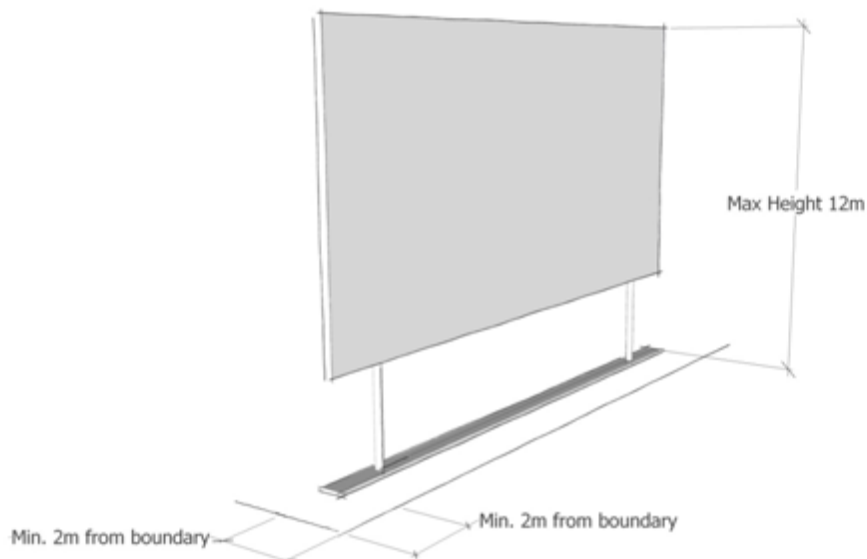


Figure 9.4.1.3.d – Billboard sign example and dimensions

9.4.2 Centre design code

9.4.2.1 Application

- (1) This code applies to assessing development:
 - (a) for Centre activities; or
 - (b) located within a Centre zone.

Note – Refer to defined activity group for Centre activities contained in Schedule 1.1.1.

Note – Refer to the definition of Centre zone contained in Schedule 1.2

Note – Structure planning involving development for centre activities considers and incorporates the outcomes of this code.

- (2) When using this code, reference should be made to Part 5.

9.4.2.2 Purpose

- (1) The purpose of the Centre design code is to ensure centre activities and activity centres:
 - (a) are developed to support community need and reinforce the hierarchy of activity centres;
 - (b) are of a high quality design and appropriately respond to local character, environment and amenity considerations.
- (2) The purpose of the code will be achieved through the following overall outcomes
 - (a) Development is established in accessible locations, consolidate development within existing centre zones and established areas of commerce, or meet an existing need identified within a local plan area.
 - (b) Development complements and reinforces the role and function of the established hierarchy of activity centres across the region, and does not compromise the future of consolidated and cohesive activity centres.
 - (c) Development contribute to a high quality built environment through:
 - (i) the use of high quality materials, design and treatment of building facades, fenestration, roof forms and landscaping;
 - (ii) providing spaces and access ways designed and treated for pedestrian comfort;
 - (iii) providing facilities that provide for comfort of the centre activity's various users, including cyclists;
 - (iv) universal access between public, semi-public spaces and buildings;
 - (v) integration with adjoining premises for cohesive streetscapes, and maintaining the character and qualities of distinct places;
 - (vi) design for user safety;
 - (vii) mitigating adverse impacts on amenity of surrounding communities.
 - (d) Development activates public and semi-public spaces where it is desirable to:
 - (i) complement the character of the streetscape and relationship between other community and centre activities;
 - (ii) create a distinctive localised form and sense of place in new and existing activity centres.
 - (e) Development is designed with layouts that are adaptive to the needs of the community over time by:
 - (i) planning for active streets through a range of retail, commercial and community activities and spaces which can change with minimal intervention;
 - (ii) sleeving larger format retail and commercial activities behind active street fronts;

- (iii) allowing for interim uses that can be changed over time and be added to with minimal interventions.
- (3) Adult stores are located and established without adversely affecting amenity through;
- (a) separation from sensitive land uses;
 - (b) provision of appropriate access;
 - (c) signage designed to maintain a high standard of amenity.

9.4.2.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.2.3.a – Centre design code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Change of use within existing building or facilities	
<p>PO1 Development that involves a change of use within an existing building ensures:</p> <ul style="list-style-type: none"> (a) changes to floor space of the centre activity results in only minor expansion of floor area; (b) the appropriate design and amenity standards for the centre activity is maintained. 	<p>AO1.1 Changes of use within an existing building containing centre activities or business uses ensures:</p> <ul style="list-style-type: none"> (a) that any increase in GFA does not exceed 10% or 50m², whichever is the lesser; (b) the increase does not diminish the quality or quantity of landscaping or landscaped area; (c) the total number of car parking spaces to meet the demand of the whole development is as per Table 9.4.2.3.b and Table 9.4.2.3.c within the Parking and access code. <p>Note – The whole development means the entire building or activity on a site (or sites) where shared parking areas are utilised.</p>
<p>PO2 Building plant or equipment cannot be viewed from public places.</p>	<p>AO2.1 Where plant or equipment is visible from public places, it is appropriately screened from view using a design feature.</p>
For assessable development	
Site requirements	
<p>PO3 Development is located within:</p> <ul style="list-style-type: none"> (a) an existing Centre zone; (b) Mixed use zone precinct 1 – Commercial; (c) Mixed use zone precinct 2 – trades and services; or (b) a building containing an existing centre activity; or (c) an identified centre precinct within a Local plan. <p>Note – Refer to the definition of Centre zone contained in Schedule 1.2</p> <p>Note – Guidance on demonstrating compliance with the Performance Outcome is outlined within Planning scheme</p>	<p>AO3.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>policy – Activity centres.</p> <p>PO4 A centre activity is only established outside an appropriately identified area where:</p> <ul style="list-style-type: none"> (a) community need is demonstrated for the centre activity; (b) the centre activity does not compromise the establishment of consolidated activity centres with distinct roles and functions across the Region; (c) the centre activity does not compromise the role and function of activity centres in the established hierarchy of activity centres for the Region; (d) the centre activity is located in a highly accessible place within the community it serves, not on the periphery; (e) the centre activity does not compromise the character and integrity of surrounding areas. <p>Note – An appropriately identified area includes:</p> <ul style="list-style-type: none"> (a) an existing Centre zone or Mixed use zone (Precincts provide further clarity); or (b) building containing an existing centre activity; or (c) an identified centre precinct within a Local Plan area. <p>Note – Refer to the definition of Centre zone contained in Schedule 1.2</p> <p>Note – Guidance on demonstrating compliance with the Performance Outcome is outlined within Planning scheme policy – Activity centres.</p>	<p>AO4.1 No acceptable outcomes are provided.</p>
Design	
<p>PO5 The design contributes to the character and amenity of streets and adjoining premises by establishing a built form that:</p> <ul style="list-style-type: none"> (a) ensures buildings are closely related to streets, public spaces and pedestrian routes; (b) has areas free of buildings and enclosed spaces to facilitate external pedestrian movement, vehicular circulation, landscaping and other functions associated with the building. <p>Note – Guidance on demonstrating compliance with the Performance Outcome is outlined within Planning scheme policy – Activity centres.</p>	<p>AO5.1 No acceptable outcomes are provided.</p>
<p>PO6 Design actively contributes to the safety of users of the development.</p> <p>Note – Guidance to demonstrating compliance with the Performance Outcome is outlined in Planning scheme policy – Crime prevention through environmental design (CPTED).</p>	<p>AO6.1 Crime prevention through environmental design principles are integrated into the form and design of the development.</p>

Performance outcomes	Acceptable outcomes
External appearance	
<p>PO7 Building facades are articulated and finished in ways that respond to notable, attractive elements of surrounding buildings, and enhances existing streetscape character.</p>	<p>AO7.1 Building facades are articulated and finished with design elements such as: (a) variations in plan shape, such as curves, steps, recesses or projections; (b) variations in treatment and patterning of windows, sun protection devices, or other elements of the facade; (c) elements of finer scale than the main structural framing; (d) planting at any or all levels; (e) murals and artworks.</p>
<p>PO8 Top levels of buildings and roof forms are shaped to provide visually attractive skyline silhouettes to screen mechanical plant from view.</p>	<p>AO8.1 No acceptable outcomes are provided.</p>
Frontages	
<p>PO9 Buildings located in prominent positions are designed to express or emphasise the importance as landmarks and assist in place making and way finding, where they are located: (a) at an identified gateway; or (b) on a corner of two high order streets; or (c) have direct frontage to major public spaces; or (d) at the terminus of important vistas.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>
<p>PO10 Development results in an active streetscape that: (a) contributes to a high level of amenity for patrons and pedestrians; (b) facilitates interactions between the public and private realm through active frontages.</p>	<p>AO10.1 Ground floor levels of buildings (particularly of shopping centres, or buildings within the Principal centre zone and Major centre zone) incorporates activities that are likely to foster casual, social and business interaction for extended periods (such as shops, food and drink outlets and the like).</p>
	<p>AO10.2 Where a building has frontage to a public street or other public or semi-public space, a active frontage is provided which includes a minimum of 50% of the facade consisting of transparent or semi-transparent windows and glazed doors.</p>
	<p>AO10.3 Frontages to public streets or other public or semi-public spaces are articulated with vertical elements to emphasise a finer-grain and human scale to the building frontage.</p>
	<p>AO10.4 Where buildings are constructed up to the road alignment, a cantilever awning is to be</p>

Performance outcomes	Acceptable outcomes
	<p>provided over the footpath, to the full frontage of the site, with a setback of 1 metre from the face of the kerb, and:</p> <ul style="list-style-type: none"> (a) with a maximum height of 3 metres from the footpath level to the underside of the awning; or (b) at a height consistent with, or stepping up/down to, the awning structures on buildings on adjacent sites. <p>AO10.5 A pedestrian footpath is provided for the full frontage of the site. The footpath is constructed in accordance with the design guidelines set out in the Infrastructure works code.</p> <p>AO10.6 Noise mitigation is achieved through architectural attenuation of the built form.</p> <p>AO10.7 Noise mitigation does not involve an acoustic barrier or acoustic fence between the front façade of the building and the street.</p>
Access	
<p>PO11 Development is located and designed such that the safety and efficiency of the road network, access and internal vehicle and pedestrian movements are not adversely impacted upon.</p>	<p>AO11.1 For sites less than 1,500m², vehicular access is gained from a collector or higher order road;</p> <p>or</p> <p>AO11.2 For sites on land greater than 1,500m², the centre activity is supported by a traffic management and impact report demonstrating the development's location, design and access does not adversely impact upon:</p> <ul style="list-style-type: none"> (a) the safety and function of the road network; (b) operation of the centre activity with respect to pedestrians, cyclists and the types of vehicles accessing and servicing the development. <p>AO11.3 Clear and safe universal pedestrian access is gained from the local road network.</p> <p>Note – Guidance to preparing a traffic management and impact report is contained within Planning scheme policy – Parking and access.</p>
<p>PO12 Public or semi-public spaces are integrated into the centre activity's movement system.</p> <p>Note – Guidance on demonstrating compliance with the Performance Outcome is outlined within Planning Scheme Policy – Parking and access.</p>	<p>AO12.1 Public and semi-public spaces are located to ensure pedestrian movement flows through the site and connects with frontages.</p> <p>AO12.2 Pedestrian arcades, laneways or enclosed</p>

Performance outcomes	Acceptable outcomes
	thoroughfares are a minimum of 6m wide, provide a direct line of sight to a major pedestrian destination (major tenancy, car park, public place, etc.), and are not dead ends, narrow or circuitous.
Landscaping	
<p>PO13 Development provides for the site to be attractively landscaped in a manner that is consistent with the function, location and setting of the development.</p>	<p>AO13.1 A minimum of 10% of the site is landscaped.</p> <p>AO13.2 Landscaping is provided on site in accordance with the following:</p> <ul style="list-style-type: none"> (a) a mixture of shade trees and low planting is provided along street frontages where buildings are set back from the boundary; (b) shade trees are provided in car parks; (c) a landscaped area is provided between the centre activity, associated car parking and any adjacent residential use or zone which: <ul style="list-style-type: none"> (i) has a minimum width of 2 metres and not used for storage or mechanical plant ; (ii) is planted with a variety of screening trees and shrubs; (iii) incorporates a minimum 1.8 metre high solid screen fence where acoustic attenuation is required. (d) planting is provided on top of podium levels and on the roof or roof level of car parking structures.
External dining	
<p>PO14 Areas used for food and dining activities external to the main building allows for the safe and efficient movement of pedestrians.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>
Additional requirements for Adult stores	
Location	
<p>PO15 An Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO15.1 The distance between the boundary of the land occupied by the sensitive land use and the entrance of a proposed adult store is:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.

Performance outcomes	Acceptable outcomes
Presentation	
<p>PO16 The presentation of the adult store satisfies reasonable community expectations.</p>	<p>AO16.1 The display window of the adult store is completely screened to prohibit viewing into the interior of the development where goods are displayed.</p> <p>AO16.2 Signage associated with the adult store that is visible external to the development is not sexually suggestive or potentially offensive in graphical or written form.</p> <p>AO16.3 Signage associated with the adult store has a cumulative total of 5m².</p> <p>AO16.4 Signage (other than required by AO2.3) is limited to the following types: (a) below awning sign; (b) fascia sign; (c) window sign.</p>
Additional requirements for centre activities with a GFA greater than 1500m²	
<p>PO17 Development is designed to be adaptive to the needs of the community over time by:</p> <ul style="list-style-type: none"> (a) planning for active streets through a range of retail, commercial and community activities and spaces which can change with minimal intervention; (b) sleeving larger format retail and commercial activities behind active street fronts; (c) allowing for interim uses that can be changed over time and be added to with minimal interventions. <p>Note – Guidance on demonstrating compliance with the Performance Outcome is outlined within Planning scheme policy – Activity centres.</p>	<p>AO17.1 No acceptable outcomes are provided.</p>

9.4.3 Environmental performance code

9.4.3.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Environmental performance code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.3.2 Purpose

- (1) The purpose of the Environmental performance code is to ensure development is designed and operated to avoid or mitigate impacts on sensitive receiving environments.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development that has potential to cause an adverse impact on amenity of adjacent and surrounding land, or environmental harm is avoided through location, design and operation of the development;
 - (b) sensitive land uses are protected from amenity related impacts of lighting, odour, airborne particles and noise, through design and operation of the development;
 - (c) development ensure stormwater is discharged lawfully;
 - (d) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow;
 - (e) development contributes to the removal and ongoing management of weed species;
 - (f) development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants.
 - (g) development is designed and operated to ensure activities involving the use, storage and disposal of potentially hazardous materials and chemicals, dangerous goods, and flammable or combustible substances are located and managed to avoid or mitigate potential adverse impacts on surrounding uses, and minimise the health and safety risks to communities and individuals.

9.4.3.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.4.3.3.a – Environmental performance code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Lighting	
<p>PO1 Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent uses and nearby sensitive land uses.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO1.1 The use does not operate outside daylight hours or outdoor lighting is not part of the proposed use;</p> <p>or</p> <p>AO1.2 Lighting is provided for user safety and the conduct of the use;</p> <p>and</p> <p>AO1.3 Technical parameters, design, installation,</p>

Performance outcomes	Acceptable outcomes
	<p>operation and maintenance of outdoor lighting complies with the requirements of Australian standard AS4282-1997 Control of the obtrusive effects of outdoor lighting;</p> <p>and</p> <p>AO1.4 Access, car parking and manoeuvring areas are designed to shield nearby residential premises from impacts of vehicle headlights.</p>
Odour	
<p>PO2 Potential odour causing activities associated with the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO2.1 The development does not involve activities that create odorous air emissions;</p> <p>or</p> <p>AO2.2 The use does not result in odour that causes environmental harm or nuisance with respect to surrounding land uses.</p>
Noise	
<p>PO3 Potential noise generated from the development is avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO3.1 Development does not involve activities that would cause noise related environmental harm or nuisance;</p> <p>or</p> <p>AO3.2 Development ensures noise does not emanate from the site through the use of materials, structures and architectural features to not cause an adverse noise impact on adjacent uses.</p> <p>and</p> <p>AO3.3 The design and layout of development ensures car parking areas avoid noise impacting directly on adjacent sensitive land uses through one or more of the following:</p> <ul style="list-style-type: none"> (a) car parking is located away from adjacent sensitive land uses; (b) car parking is enclosed within a building; (c) a noise ameliorating fence or structure is established adjacent to car parking areas where the fence or structure will not have a visual amenity impact on the adjoining premises; (d) incorporating a densely vegetated buffer adjacent to car parking areas. <p>Note – The Environmental Protection (Noise) Policy 2008, Schedule 1 provides guidance on acoustic quality</p>

Performance outcomes	Acceptable outcomes
objectives to ensure environmental harm (including nuisance) is avoided.	
Airborne particles and other emissions	
<p>PO4 Potential airborne particles and emissions generated from the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO4.1 Development does not involve activities that will result in airborne particles or emissions being generated;</p> <p>or</p> <p>AO4.2 The design, layout and operation of the development activity ensures that no airborne particles or emissions cause environmental harm or nuisance.</p> <p>Note – Examples of activities which generally cause airborne particles include spray painting, abrasive blasting, manufacturing activities and car wash facilities.</p> <p>Note – Examples of emissions include exhaust ventilation from basement or enclosed parking structures, air conditioning/refrigeration ventilation and exhaustion.</p> <p>Note – The Environmental Protection (Air) Policy 2008, Schedule 1 provides guidance on air quality objectives to ensure environmental harm (including nuisance) is avoided.</p>
Waste and recyclable material storage	
<p>PO5 Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO5.1 The use ensures that all putrescent waste is stored in a manner that prevents odour nuisance and is disposed of at regular intervals.</p> <p>AO5.2 Waste and recyclable material storage facilities are located, designed and maintained to not cause an adverse impact on users of the premises and adjacent uses through consideration of:</p> <ul style="list-style-type: none"> (a) the location of the waste and recyclable material storage areas in relation to the noise and odour generated; (b) the number of receptacles provided in relation to the collection, maintenance and use of the receptacles; (c) the durability of the receptacles, sheltering and potential impacts of local climatic conditions; (d) the ability to mitigate spillage, seepage or leakage from receptacles into adjacent areas and sensitive receiving waters and environments. <p>Note – The Environmental Protection (Waste Management) Policy 2008 provides guidance on the design of waste containers (receptacles) to ensure environmental harm (including nuisance) is avoided.</p>

Performance outcomes	Acceptable outcomes
Sensitive land uses	
<p>PO6 Sensitive land uses are not established in areas which will receive potentially incompatible impacts on amenity from surrounding, existing development activities and land uses.</p> <p>Note – Refer to the definition of Sensitive land use contained in Schedule 1.2.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO6.1 Sensitive land uses are not established in areas where they will be adversely impacted by existing land uses, activities and potential development in an area;</p> <p>or</p> <p>AO6.2 Sensitive land uses may be established in areas of potential adverse amenity impacts where they mitigate all of the potential impacts through location, design, operation and maintenance.</p>
Hours of Operation	
<p>PO7 The operation of the development is limited to hours of a day that ensures the impacts on the amenity of nearby sensitive land uses are appropriately mitigated.</p> <p>Note – Regard will generally need to be given to the form of development and the location and appropriateness of the sensitive use impacted with respect to the outcomes also sought by the zone.</p>	<p>AO7.1 No acceptable outcomes are provided.</p>
Lawful point of discharge	
<p>PO8 Development activities are designed to ensure stormwater is directed to a lawful point of discharge.</p>	<p>AO8.1 Development activities are designed to ensure stormwater over roofed and hard stand areas is directed to a lawful point of discharge.</p> <p>AO8.2 Development ensures movement of stormwater over the site is not impeded or directed through potentially polluting activities.</p>
Stormwater quality	
<p>PO9 Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality by:</p> <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology. <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report, particularly a stormwater quality improvement plan, to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO9.1 A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.3.3.b and Table 9.4.3.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. <p>AO9.2 An erosion and sediment control plan demonstrates that release of sediment-laden stormwater is avoided for the nominated</p>

Performance outcomes	Acceptable outcomes
	<p>design storm, and minimised when it is exceeded by addressing design objectives listed in Table 9.4.3.3.b for:</p> <ul style="list-style-type: none"> (a) drainage control; (b) erosion controls; (c) sediment control; (d) water quality outcomes. <p>AO9.3 Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with the erosion and sediment control plan.</p> <p>AO9.4 Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.3.3.b and Table 9.4.3.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note - Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the Environmental Protection Act 1994.</p> <p>During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>
Land contaminants	
<p>PO10 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO10.1 Development is located where soils are not contaminated by pollutants which represent a health or safety risk to users.</p> <p>or</p> <p>AO10.2 Development remediates contaminated soils prior to plan sealing, operational works permit, or issuing a building works permit.</p>
Hazardous materials, chemicals, dangerous goods, flammable or combustible substances	
<p>PO11 The use, storage and disposal of potentially hazardous materials and chemicals, dangerous goods, and flammable or combustible substances are located and managed to avoid or mitigate potential adverse impacts on surrounding uses, and minimise the health and safety risks to communities and individuals.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Pest plants (for material change of use on vacant land over 1,500m²)	
<p>PO12 Development activities and sites provide for the removal of all pest plants and implement ongoing measures to ensure that pest plants do not reinfest the site or nearby sites.</p> <p>Note – This does not remove or replace all land owner's obligations or responsibilities under the Land Protection (Pest and Stock Route Management) Act 2002.</p>	<p>AO12.1 The land is free of declared pest plants before development establishes new buildings, structures and practices;</p> <p>or</p> <p>AO12.2 Pest plants detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person prior to construction of buildings and structures or earthworks.</p> <p>Note – A declaration from an appropriately qualified person validates the land being free from pest plants.</p> <p>Note - Declared pest plants includes locally declared and State declared pest plants.</p> <p>Note – Planning Scheme Policy – Environmental Management Plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the Code.</p>
Additional requirements for Port services	
Ship-source pollutants reception facilities	
<p>PO13 Development provides facilities for the handling and disposal of ship-sourced pollutants.</p>	<p>AO13.1 Common user facilities for the handling and disposal of ship-sourced pollutants including oil, garbage and sewage are provided at a suitable location at the Port service.</p> <p>AO13.2 Facilities are designed and operated to ensure the risk of spillage from operations is minimised.</p> <p>AO13.3 Appropriate equipment to contain and remove spillages is stored in a convenient position near the facility and is available for immediate use.</p> <p>AO13.4 Boats visiting the marina are able to use the ship-sourced pollutants reception facilities.</p> <p>Note – Refer to the Australian and New Zealand Environment and Conservation Council (ANZECC), 1997, Best Practice Guidelines for Waste Reception Facilities at Ports, Marinas and Boat Harbours in Australia and New Zealand.</p>

Performance outcomes	Acceptable outcomes
	<p>AO13.5 The pollutant reception facility is connected to sewerage or other waste reception infrastructure.</p> <p>Note – Reception facilities require compliance assessment under the Plumbing and Drainage Act 2002. The plumbing compliance assessment process will ensure that the proposed facilities address 'peak load'.</p>

Table 9.4.3.3.b – Stormwater management design objectives (Construction phase)

Issue	Design objectives
<p>Drainage control (Temporary drainage works)</p>	<ol style="list-style-type: none"> (1) Design life and design storm for temporary drainage works: <ol style="list-style-type: none"> (a) Disturbed area open for <12 months—50% AEP event; (b) Disturbed area open for 12–24 months—20% AEP event; (c) Disturbed area open for > 24 months—10% AEP event. (2) Design capacity excludes minimum 150 mm freeboard. (3) Temporary culvert crossing—minimum 100% AEP hydraulic capacity.
<p>Erosion control (Erosion control measures)</p>	<ol style="list-style-type: none"> (1) Minimise exposure of disturbed soils at any time. (2) Divert water run-off from undisturbed areas around disturbed areas. (3) Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other acceptable methods. (4) Implement erosion control methods corresponding to identified erosion risk rating.
<p>Sediment control (Sediment control measures, Design storm for sediment control basins, Sediment basin dewatering)</p>	<ol style="list-style-type: none"> (1) Determine appropriate sediment control measures using: <ol style="list-style-type: none"> (a) potential soil loss rate; or (b) monthly erosivity; or (c) average monthly rainfall. (2) Collect and drain stormwater from disturbed soils to sediment basin for design storm event: <ol style="list-style-type: none"> (a) design storm for sediment basin sizing is 80th% five-day event or similar. (3) Site discharge during sediment basin dewatering: <ol style="list-style-type: none"> (a) TSS < 50 mg/L TSS; (b) Turbidity not >10% receiving waters turbidity; (c) pH 6.5–8.5.
<p>Water quality (Litter and other waste, hydrocarbons and other contaminants)</p>	<ol style="list-style-type: none"> (1) Avoid wind-blown litter; remove gross pollutants. (2) Ensure there is no visible oil or grease sheen on released waters. (3) Dispose of waste containing contaminants at authorised facilities.

Issue	Design objectives
<p>Waterway stability and flood flow management (Changes to the natural waterway hydraulics and hydrology)</p>	<p>(1) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site</p>

Table 9.4.3.3.c – Stormwater management design objectives (post-construction phase)

Design objectives Minimum reductions in mean annual load from unmitigated development (%)				Application
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5 mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% impervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of the contributing catchment area.</p>
<p>Waterway stability management</p> <p>(1) Limit the peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p> <p>For peak flow for the 100% AEP event, use collocated storages to attenuate site discharge rate of stormwater.</p>

9.4.4 Excavation and filling code

9.4.4.1 Application

- (1) This code applies to development identified as requiring assessment against the Excavation and filling code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.4.2 Purpose

- (1) The purpose of the Excavation and filling code is to ensure that excavation and filling occurs in a manner that does not adversely impact upon character and amenity, environmental values, flooding and drainage and land stability.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the character and amenity of the site and the surrounding area is protected;
 - (b) works do not detrimentally impact upon the environment;
 - (c) flooding and drainage problems do not result as a consequence of the works;
 - (d) works do not create land instability;
 - (e) works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.4.4.3.a – Excavation and filling code – assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Amenity and slope stability	
<p>PO1 Excavation or filling:</p> <ul style="list-style-type: none"> (a) avoids adverse impacts on the amenity, safety, privacy, stability or function of the site or adjoining premises; (c) is not visually intrusive; (d) does not rely on complex engineering solutions; (e) incorporates landscaping to visually soften built form elements; (f) avoids adverse impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure. 	<p>AO1.1 Excavation or fill:</p> <ul style="list-style-type: none"> (a) is not more than 1.8 metres in height for each batter or retaining wall; (b) is set back a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with the requirements of Planning scheme policy - Landscaping; (d) does not exceed a maximum of 2 batters and 2 berms (i.e. not greater than 3.6 metres in total height) on any one lot. <p>Note – Planning Scheme Policy - FNQROC Regional Development Manual contains requirements for the design and specification for excavation and filling associated with batters and retaining walls.</p> <p>AO1.2 Soil used for filling or spoil from excavation is not stockpiled for a period exceeding one month from the commencement of the excavation or filling, in locations that can be viewed from:</p> <ul style="list-style-type: none"> (a) adjoining premises; or (b) a road frontage.

Performance outcomes	Acceptable outcomes
	<p>AO1.3 Retaining walls:</p> <ul style="list-style-type: none"> (a) do not exceed 1.8 metres in height except where incorporated within a level change within a building; (b) do not exceed 20 metres in cumulative length, where not incorporated within a level change within a building; (c) where multiple retaining walls are used a landscaped separation of at least 2 metres is used between retaining walls. <p>Note – Cumulative is calculated upon the total length of retaining walls on site.</p>
<p>PO2 Excavation or filling does not result in the instability of a site or adjacent land.</p>	<p>AO2.1 All earthworks batters steeper than 1 in 2 (50%) and higher than 1.5 metres require geotechnical certification.</p> <p>AO2.2 Excavation or filling does not exceed 40% of the site area or 500m² whichever is the lesser.</p>
<p>For assessable development</p>	
<p>Amenity</p>	
<p>PO3 Excavation and filling incorporates construction materials and external finishes that are compatible with the landscape values and amenity of the locality.</p>	<p>AO3.1 The surface treatment of retaining walls has a subdued and non-reflective palette.</p> <p>Note – Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>
<p>Environmental performance</p>	
<p>PO4 Excavation or filling does not adversely impact on other premises as a result of storm water drainage flows or flooding.</p>	<p>AO4.1 Stormwater drainage flows are taken to a lawful point of discharge and have a no worsening effect on downstream or upstream properties.</p> <p>AO4.2 Excavation or filling does not result in:</p> <ul style="list-style-type: none"> (a) the ponding of water; or (b) an erosive velocity of overland flow, on the site or adjoining premises. <p>AO4.3 All berms:</p> <ul style="list-style-type: none"> (a) are graded towards the upwards slope; (b) contain adequate drainage infrastructure to accommodate the changed drainage flows. <p>AO4.4 Excavation or filling does not result in an increase in the volume of water or concentration of water in:</p> <ul style="list-style-type: none"> (a) overland flow paths of the site and other sites;

Performance outcomes	Acceptable outcomes
	<p>(b) waterways.</p> <p>AO4.5 Excavation or filling does not occur: (a) within a waterway; or (b) within a riparian corridor.</p> <p>Note – Planning scheme policy - FNQROC Regional Development Manual provides design guidelines for excavation and filling.</p>
<p>PO5 Excavation or filling does not result in a reduction of the water quality of receiving waters.</p>	<p>AO5.1 Water quality is maintained by compliance with the Design guidelines set out in section D5 of the Planning scheme policy - FNQROC Regional Development Manual.</p> <p>Note – An Environmental Management Plan may be required to demonstrate how the impacts of works are controlled.</p>
Environmental considerations and public amenity	
<p>PO6 Excavation or filling does not result in any contamination of land.</p>	<p>AO6.1 No contaminated material is: (a) used as fill; (b) excavated or disturbed.</p>
Protection of public utilities	
<p>PO7 Excavation and filling does not have a detrimental impact on Public Utilities.</p>	<p>AO7.1 Excavation and filling is clear of the zone of influence of public utilities.</p>

9.4.5 Industry design code

9.4.5.1 Application

- (1) This code applies to assessing development:
 - (a) for Industry activities; or
 - (b) for Special industry; or
 - (c) located within the Low impact industry zone; or
 - (d) located within the Medium impact industry zone; or
 - (e) located within the High impact industry zone; or
 - (f) located within the Waterfront and marine industry zone.

Note – Refer to defined activity group for Industry activities contained in Schedule 1.2

- (2) When using this code, reference should be made to Part 5.

9.4.5.2 Purpose

- (1) The purpose of the Industry design code is to ensure that industry activities and areas protect the public safety, provide a high quality of design, amenity and are appropriately located to ensure their long-term viability.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the scale, character and built form of development contributes to a high standard of amenity;
 - (b) the design incorporates facilities and features that contribute to a high standard environment for workers and customers;
 - (c) the development has access to development infrastructure, including utility installations and essential services;
 - (d) industrial, noxious and hazardous land uses are adequately separated from sensitive land use to avoid the occurrence of environmental harm or environmental nuisance;
 - (e) a site that is contaminated or poses a health risk is remediated prior to being developed for an alternative land use.
 - (f) hazardous chemicals are appropriately located, handled and stored to protect the public safety and reduce the risk of contamination on the environment and to appropriately mitigate associated risks and off site hazards.

9.4.5.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.5.3.a – Industry design code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Site coverage	
PO1 The site coverage of buildings ensures that there is sufficient area for the provision of services and landscaping and caters for flood storage in areas affected by flooding.	AO1.1 The site coverage is not more than 80%.
Setbacks	
PO2 Setbacks: (a) contribute to an attractive and consistent	AO2.1 Buildings, display areas and storage areas are set back:



Performance outcomes	Acceptable outcomes
<p>streetscape appearance;</p> <p>(b) provide for visible employee and customer car parking;</p> <p>(c) allow for landscape planting along street frontages;</p> <p>(d) minimise unusable spaces between buildings and boundaries.</p>	<p>(a) 6 metres from the primary road frontage;</p> <p>(b) 3 metres from any secondary road frontage;</p> <p>(c) where the site has a common boundary with land in an Industry zone, the building is setback either:</p> <p>(i) zero metres from the side or rear boundary; or</p> <p>(ii) not less than 3 metres from the side or rear boundary.</p> <p>(d) where a site adjoins land in any other zone, the building is set back not less than 3 metres from the side or rear boundary.</p> <p>Note – Refer to the definition of Industry zone contained in Schedule 1.2.</p>
Amenity	
<p>PO3</p> <p>The appearance of development provides a quality, legible appearance and workplace.</p>	<p>AO3.1</p> <p>Pedestrian entrances to buildings are:</p> <p>(a) easily identifiable from the street and directly accessible from the car parking areas;</p> <p>(b) provided with sun and rain shelter a minimum of 900mm width immediately above the entryway.</p> <p>AO3.2</p> <p>Ancillary office or sales space is orientated toward the street frontage and is provided with human scale elements (such as windows, doors, shading devices and variation of construction materials and colours).</p> <p>AO3.3</p> <p>Customer car parking is located to the front or side of premises with clear and direct pedestrian access to the main customer building entry.</p> <p>AO3.4</p> <p>Outdoor storage areas are not located forward of the building line.</p> <p>Note – Outdoor storage does not include the display of goods for sale associated with the following land uses; agricultural supplies store, bulk landscape supplies, hardware and trade supplies or outdoor sales.</p> <p>AO3.5</p> <p>Illumination is provided within parking and pedestrian areas during night time hours of operation.</p> <p>AO3.6</p> <p>Development provides clear and legible street numbering for the benefit of motorists.</p> <p>AO3.7</p> <p>Gates to a road frontage are sliding or open inwardly into the site.</p>

Performance outcomes	Acceptable outcomes
	<p>AO3.8 Development provides staff amenity areas that incorporate:</p> <ul style="list-style-type: none"> (a) seating and tables; (b) weather protection.
Safety	
<p>PO4 Design actively contributes to the safety of users of the development.</p> <p>Note – Guidance to demonstrating compliance with the Performance Outcome is outlined in Planning scheme policy – Crime prevention through environmental design (CPTED).</p>	<p>AO4.1 Crime prevention through environmental design principles are integrated into the form and design of the development.</p>
Landscaping	
<p>PO5 Landscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance the appearance and amenity of the development; (b) contribute positively to the appearance of the streetscape. 	<p>AO5.1 At least 5% of the site is landscaped.</p>
	<p>AO5.2 A landscape strip not less than 2 metres is provided within the site along the road frontage.</p>
	<p>AO5.3 Landscaped areas adjoining parking and manoeuvring areas are protected from vehicular encroachment by a 150mm high vertical concrete kerb or similar obstruction.</p>
	<p>AO5.4 Planting is to consist of a combination of hardy tropical tree and spreading ground cover species in accordance with Planning scheme policy - Landscaping that will complement the scale of proposed development, without interfering with casual surveillance and sightlines.</p>
	<p>AO5.5 Hardy tropical shrubs are provided in accordance with Planning scheme policy - Landscaping to screen bin storage and service areas.</p>
	<p>AO5.6 Fencing along street frontages is more than 50% transparent.</p>
Services	
<p>PO6 Development adequately takes into account the functional requirements of infrastructure needs and service of the use.</p>	<p>AO6.1 Design takes into account the potential need to provide:</p> <ul style="list-style-type: none"> (a) space and access for trade waste connections to the sewer network; (b) waste and recyclable material storage areas; (c) storage tanks; (d) fire fighting booster pumps;

Performance outcomes	Acceptable outcomes
	(e) electrical infrastructure; (f) car parking, manoeuvring areas including loading facilities.
Access and loading/unloading of goods	
<p>PO7 The transport of goods and materials to and from sites does not adversely affect the movement of traffic on roads adjacent to the site.</p>	<p>AO7.1 All vehicles are contained within the site when loading and unloading.</p> <p>AO7.2 Manoeuvring area is provided on site to allow a Medium rigid vehicle to enter and exit the site in a forward gear.</p> <p>AO7.3 Site access is limited to one access point to each frontage.</p> <p>AO7.4 Where a site has a frontage greater than 40 metres, two access points to the street frontage can be provided they are separated by a distance of not less than 10 metres.</p>
Air and noise pollution	
<p>PO8 Development should not result in sensitive land uses being exposed to air, noise and odour emissions from industrial uses, major sport, recreation and entertainment facilities or other noisy sport and recreation activities that have the potential to adversely impact on human health, amenity and wellbeing.</p> <p>Editor's note – Noisy sport and recreation activities include shooting and motor sport facilities.</p>	<p>AO8.1 The use is designed to ensure that:</p> <p>(a) the indoor noise objectives set out in the Environmental Protection (Noise) Policy 2008 are met;</p> <p>(b) the air quality objectives in the Environmental Protection (Air) Policy 2008, and any relevant national or international standard (for example the World Health Organisation Guidelines for Air Quality 2000) are met;</p> <p>(c) noxious and offensive odours are not experienced at the location of sensitive land uses.</p> <p>Editor's note – The Queensland odour impact assessment guideline, available from the Department of Environment and Heritage Protection website, provides a methodology for assessing odour impacts. www.ehp.qld.gov.au.</p> <p>Note – Design measures may include:</p> <p>(1) landscape buffers and physical barriers such as fences and that set appropriate setback/separation distances</p> <p>(2) adequate allotment design that reduces impacts of emissions</p> <p>(3) adequate construction materials and positioning of rooms and windows to mitigate impact of emissions.</p>
Protection of medium impact, high impact, extractive and noxious and hazardous industries	
<p>PO9 Industrial land uses are protected from encroaching incompatible land uses.</p>	<p>AO9.1 Sensitive land uses:</p> <p>(a) do not compromise the viability of existing or future industrial development,</p>

Performance outcomes	Acceptable outcomes
	<p>including industrial land within an SDA, or an enterprise opportunity area or employment opportunity area identified in a regional plan;</p> <p>(b) do not compromise the viability of major sport, recreation and entertainment facilities;</p> <p>(c) do not compromise the operation of major hazard facilities, intensive animal industries or explosive facilities and reserves;</p> <p>(d) are not located within close proximity to waste and sewage treatment plants.</p>
Storage and handling of hazardous chemicals	
<p>PO10 Development involving the use, storage or generation of hazardous chemicals minimises off-site hazards and associated risks.</p> <p>Note – If development does not comply with AO10.1, in addition to PO10 development will be required to be assessed against PO12, PO13, PO14 and PO15.</p> <p>Note – To assist in demonstrating compliance with the performance outcomes, a Hazard Assessment Report may be required to be prepared and submitted by a suitably qualified person in accordance with the <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p> <p>Note- Terms used in this section are defined in <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	<p>AO10.1 Development that involves the storage or handling of hazardous chemicals:</p> <p>(a) complies within the self-assessable thresholds contained within Table 9.4.5.3b Self-assessable development thresholds and complies with the self-assessable criteria contained within Table 9.4.5.3d Self-assessable criteria for Hazardous chemicals;</p> <p>(b) does not involve identified assessable thresholds contained within Table 9.4.5.3c Assessable development thresholds;</p> <p>Note – Terms used in this section are defined in <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>
Contaminated land	
<p>PO11 Development is located and designed to ensure that users and nearby sensitive land uses are not exposed to unacceptable levels of contaminants.</p>	<p>AO11.1 Development is located where soils are not contaminated by pollutants which represent a health or safety risk to users, or contaminated soils subject to a development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>
For assessable development	
<p>Hazardous chemicals Note – Terms used in this section are defined in <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	
<p>PO12 Off sites risks from foreseeable hazard scenarios involving hazardous chemicals are commensurate with the sensitivity of the surrounding land use zones.</p> <p>Note – To assist in demonstrating compliance with the performance outcomes, a Hazard Assessment Report may be required to be prepared and submitted by a suitably qualified person in accordance with the <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	<p>AO12.1 Off- site impacts or risks from any foreseeable hazard scenario does not exceed the dangerous dose at the boundary of land zoned for vulnerable or sensitive land uses as described below:</p> <p><u>Dangerous dose:</u></p> <p>(a) for any hazard scenario involving the release of gases or vapours:</p> <p>(i) AEGL2 (60 minutes) or if not</p>

Performance outcomes	Acceptable outcomes
	<p>available ERPG2;</p> <p>(ii) An oxygen content in air <19.5% or >23.5% at normal atmospheric pressure.</p> <p>b) for any hazard scenario involving fire or explosion:</p> <p>(i) 7 kPa overpressure;</p> <p>(ii) 4.7 kW/m² heat radiation.</p> <p>Note – If criteria AO12.1 (a) or (b) cannot be achieved, then the risk of any foreseeable hazard scenario shall not exceed an individual fatality risk level of 0.5×10^{-6}/year.</p> <p>AO12.2 Off-site impacts or risks from any foreseeable hazard scenario does not exceed the dangerous dose at the boundary of a commercial or community activity land use zone as described below:</p> <p><u>Dangerous dose:</u></p> <p>(a) for any hazard scenario involving the release of gases or vapours:</p> <p>(i) AEGL2 (60 minutes) or if not available ERPG2;</p> <p>(ii) An oxygen content in air <19.5% or >23.5% at normal atmospheric pressure.</p> <p>(b) for any hazard scenario involving fire or explosion:</p> <p>(i) 7 kPa overpressure;</p> <p>(ii) 4.7 kW/m² heat radiation.</p> <p>Note – If criteria AO12.2 (a) or (b) cannot be achieved, then the risk of any foreseeable hazard scenario shall not exceed an individual fatality risk level of 5×10^{-6}/year.</p> <p>AO12.3 Off site impacts or risks from any foreseeable hazard scenario does not exceed the dangerous dose at the boundary of an industrial land use zone as described below:</p> <p><u>Dangerous dose:</u></p> <p>(a) for any hazard scenario involving the release of gases or vapours:</p> <p>(i) AEGL2 (60minutes) or if not available ERPG2</p> <p>(ii) An oxygen content in air <19.5% or >23.5% at normal atmospheric pressure.</p> <p>(b) for any hazard scenario involving fire or explosion:</p> <p>(i) 14 kPa overpressure</p> <p>(ii) 12.6 kW/m² heat radiation.</p> <p>Note – If criteria AO12.3 (a) or (b) cannot be achieved, then the risk of any foreseeable hazard scenario shall not exceed an individual fatality risk level of 50×10^{-6}/year.</p>
<p>PO13 Buildings and package stores containing fire-</p>	<p>AO13.1 Buildings and package stores containing fire-</p>

Performance outcomes	Acceptable outcomes
<p>risk hazardous chemicals are designed to detect the early stages of a fire situation and notify a designated person.</p> <p>Note – To assist in demonstrating compliance with the performance outcomes, a Hazard Assessment Report may be required to be prepared and submitted by a suitably qualified person in accordance with the <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	<p>risk hazardous chemicals are provided with a 24 hour monitored fire detection system for early detection of a fire event.</p>
<p>PO14 Common storage areas containing packages of flammable and toxic hazardous chemicals are designed with spill containment system(s) that are adequate to contain releases, including firefighting media.</p> <p>Note – To assist in demonstrating compliance with the performance outcomes, a Hazard Assessment Report may be required to be prepared and submitted by a suitably qualified person in accordance with the <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	<p>AO14.1 Storage areas containing packages of flammable and toxic hazardous chemicals are designed with spill containment system(s) capable of containing a minimum of the total aggregate capacity of all packages plus the maximum operating capacity of any fire protection system for the storage area(s) over a minimum of 60 minutes.</p>
<p>PO15 Storage and handling areas, including manufacturing areas, containing hazardous chemicals in quantities greater than 2,500 L or kg within a Local Government “flood hazard area” are located and designed in a manner to minimise the likelihood of inundation of flood waters from creeks, rivers, lakes or estuaries.</p> <p>Note – To assist in demonstrating compliance with the performance outcomes, a Hazard Assessment Report may be required to be prepared and submitted by a suitably qualified person in accordance with the <i>Model Planning Scheme development Code for Hazardous Industries and Chemicals</i>.</p>	<p>AO15.1 The base of any tank with a WC >2,500 L or kg is higher than any relevant flood height level identified in an area’s flood hazard area. Alternatively: (a) bulk tanks are anchored so they cannot float if submerged or inundated by water; and (b) tank openings not provided with a liquid tight seal, i.e. an atmospheric vent, are extended above the relevant flood height level.</p> <p>AO15.2 The lowest point of any storage area for packages >2,500 L or kg is higher than any relevant flood height level identified in an area’s flood hazard area. Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level.</p>

Table 9.4.5.3.b – Self-assessable development thresholds

Hazardous chemical	PG or type	Applicable storage and handling type	Threshold quantity	Exclusions
Flammable gases – DG class 2.1	N/A	Cylinder stores with natural ventilation	> 1,000 – ≤ 5,000 L	(a) Gases connected to a consuming device, fuel burning appliance or within a refrigeration system (b) Tanks with a WC > 500 L (c) Aerosols with a WC < 1 L (d) Cylinder exchange facilities that comply with AS1596, (e) Cylinders stores with any of the following attributes: <ul style="list-style-type: none"> • within or attached to a building, • mechanically ventilated.
Oxidising gases – DG class 2.2, sub risk 5.1	N/A	Cylinder stores with natural ventilation	> 1,000 – ≤ 20,000 L	
Non-toxic, non-flammable gases – DG class 2.2	N/A	Cylinder stores with natural ventilation	> 2,000 – ≤ 200,000 L	
Flammable liquids – DG class 3	PGII or PGIII	Aboveground tanks and package stores with natural ventilation	> 10,000 – ≤ 60,000 L	(a) Flammable or combustible liquids co-located with DG classes 2, 3, 4, 5 or 6.1 above minor storage (b) Any tank other than a static storage tank located outdoors (c) Tanks with a diameter > 6 m, (d) Package stores with any of the following attributes: <ul style="list-style-type: none"> • within or attached to a building, • mechanically ventilated.
		Underground tanks	> 10,000 – ≤ 500,000 L	
Combustible liquids with a flashpoint ≤ 93°C	N/A	Package stores with natural ventilation	> 10,000 – ≤ 100,000 L	(c) Tanks with a diameter > 6 m, (d) Package stores with any of the following attributes: <ul style="list-style-type: none"> • within or attached to a building, • mechanically ventilated.
		Aboveground or underground tanks	> 10,000 – ≤ 500,000 L	
Oxidising substances – DG class 5.1	PG II	Aboveground tanks containing liquids	> 10,000 – ≤ 20,000 L/kg	(a) Ammonium Nitrate (b) Any tank other than a static storage tank located outdoors (c) Solids in silos, bunkers or stockpiles, (d) Package stores with any of the following attributes: <ul style="list-style-type: none"> • constructed with combustible materials • within or attached to a building • mechanically ventilated, • floor area > 200 m².
		Package stores with natural ventilation		
	PG III	Aboveground tanks containing liquids	> 10,000 – ≤ 250,000 L/kg	
		Package stores with natural ventilation		

<p>Toxic substances – DG class 6.1</p>	<p>PGII or PGIII</p>	<p>Aboveground tanks and package stores with natural ventilation</p>	<p>> 10,000 – ≤ 500,000 L/kg</p>	<p>(a) Any tank other than a static storage tank (b) A Major Hazard Facility under Schedule 3 of the <i>Sustainable Planning Regulation 2009</i>, (c) Toxic substances co-located with DG classes 2, 3, 4 or 5 above minor storage.</p>
<p>Corrosive substances – DG class 8</p>	<p>PGII or PGIII</p>	<p>Aboveground tanks and package stores with natural ventilation</p>	<p>> 10,000 – ≤ 200,000 L/kg</p>	<p>(a) Any tank other than a static storage tank, (b) A Major Hazard Facility under Schedule 3 of the <i>Sustainable Planning Regulation 2009</i>.</p>
<p>Substances hazardous to the environment – DG class 9</p>	<p>PGII</p>	<p>Any storage in a local government flood hazard area</p>	<p>> 2,500 L/kg</p>	<p>No exclusions</p>
	<p>PGIII</p>	<p>Any storage in a local government flood hazard area</p>	<p>> 10,000 L/kg</p>	

Notes –

- L/kg = Litres for liquids and kilograms for solids;
- Gases and liquids are calculated based on the water capacity (WC) of each storage container;
- Section 14 of a hazardous chemical’s Safety Data Sheet (SDS) will identify any applicable Dangerous Goods (DG) class and Packing Group (PG) and section 9 will identify any applicable flashpoint;
- Co-located means stored within a common spill compound or storage compound.

Table 9.4.5.3.c – assessable development thresholds

Hazardous chemical	PG or type	Storage and handling type	Threshold quantity	Exclusions (MHF Quantities)
GTDTBT	N/A	Any	> 500 L/kg	A Major Hazard Facility under Schedule 3 of the <i>Sustainable Planning Regulation 2009</i>
Toxic gases – DG class 2.3	N/A	Any	> 500 L	
Flammable gases – DG class 2.1	N/A	Cylinder store with any of the following attributes: <ul style="list-style-type: none"> contains aerosols with a WC < 1 L co-located with other fire-risk hazardous chemicals that exceed minor storage mechanically ventilated, or located within or attached to a building. 	> 1,000 L	
		Any other aboveground storage or handling	> 5,000 L	
Oxidising gases – DG class 2.2, sub risk 5.1	N/A	Cylinder store with any of the following attributes: <ul style="list-style-type: none"> co-located with fire-risk hazardous chemicals above minor storage mechanically ventilated, or located within or attached to a building. 	> 1,000 L	
		Any other cylinder store	> 20,000 L	
		Aboveground tank(s)	> 10,000 L	
Non-toxic, non-flammable gases – DG class 2.2	N/A	Any	>200,000 L	
Flammable liquids – DG class 3	PG I	Any	> 500 L	
	PG II or PG III	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 L	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> co-located with fire-risk hazardous chemicals or toxic substances above minor storage mechanically ventilated, or located within or attached to a building. 	> 10,000 L	
		Any other aboveground storage or handling	> 60,000 L	
Combustible liquids with a flashpoint ≤ 93°C	N/A	Aboveground tank(s) within a multi-story building	> 1,000 L	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> co-located with fire-risk hazardous chemicals or toxic substances above minor storage mechanically ventilated located within or attached to a building, or tanks > 6m in diameter. 	> 10,000 L	

Hazardous chemical	PG or type	Storage and handling type	Threshold quantity	Exclusions (MHF Quantities)
		Any other package store	> 100,000 L	
		Any other aboveground storage or handling	> 500,000 L	
Flammable and reactive solids – DG classes 4.1, 4.2 or 4.3	PG I	All	> 500 kg	
	PG II or PG III	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 kg	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> co-located with fire-risk hazardous chemicals above minor storage mechanically ventilated, or located within or attached to a building. 	> 2,500 kg	
		Any other aboveground storage or handling	> 10,000 kg	
Oxidising substances – DG class 5.1	PG I	All	> 500 L/kg	
	PG II	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 L/kg	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> constructed of combustible materials a floor area > 500 m² co-located with fire-risk hazardous chemicals or corrosive substances above minor storage mechanically ventilated, or located within or attached to a building. 	> 10,000 L/kg	
		Solids stored in silos, bunkers or stock piles	> 20,000 L/kg	
		Any other aboveground storage or handling	> 50,000 L/kg	
	PG III	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 L/kg	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> constructed of combustible materials a floor area > 500 m² co-located with fire-risk hazardous chemicals or corrosive substances above minor storage mechanically ventilated, or located within or attached to a building. 	> 20,000 L/kg	
		Solids stored in silos, bunkers or stock piles	> 20,000 L/kg	

Hazardous chemical	PG or type	Storage and handling type	Threshold quantity	Exclusions (MHF Quantities)
		Any other aboveground storage or handling	> 250,000 L/kg	
Organic Peroxides – DG class 5.2	All	Any	> 500 L/kg	
Toxic substances – DG class 6.1	PG I	Any	> 500 L/kg	
	PG II or PG III	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 L/kg	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> co-located with fire-risk hazardous chemicals above minor storage mechanically ventilated, or located within or attached to a building. 	> 10,000 L/kg	
		Any other aboveground storage or handling	> 500,000 L/kg	
Corrosive substances	PG I	Any	> 500 L/kg	
	PG II or PG III	Activities that involve: <ul style="list-style-type: none"> elevated temperature or pressure, or chemical reactions that cause a temperature rise or generate a gas. 	> 1,000 L/kg	
		Storage areas with any of the following attributes: <ul style="list-style-type: none"> co-located with oxidising substances above minor storage spill compounds that contain two or more corrosive substances that may react dangerously with each other mechanically ventilated, or located within or attached to a building. 	> 10,000 L/kg	
		Any other aboveground storage or handling	> 200,000 L/kg	

Notes –

- L/kg = Litres for liquids and kilograms for solids;
- Gases and liquids are calculated based on the water capacity (WC) of each storage container;
- Section 14 of a hazardous chemical's Safety Data Sheet (SDS) will identify any applicable Dangerous Goods (DG) class and Packing Group (PG) and section 9 will identify any applicable flashpoint; Co-located means stored within a common spill compound or storage compound.

Table 9.4.5.3.d – Self-assessable criteria for Hazardous chemicals

Gases in cylinders				
General requirements – Cylinder				
(1) All separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development; (2) Separation distances shall be measured laterally from the outermost cylinder to any area to be protected. Cylinder stores (areas of stored cylinders) shall be located outdoors and used to store closed cylinders only. Toxic gases are not permitted within a cylinder store; (3) LPG decanting cylinders are not permitted in cylinder stores; (4) Gas cylinders shall be stored in the upright position only unless specified by the cylinder's manufacturer. Nominally empty cylinders shall be separated in the same manner as those which are full.				
Construction requirements				
(1) Cylinder stores shall be constructed from non-combustible materials that are compatible with the gases to be stored. Hardwood frames or floors are not considered combustible materials for the purposes of this code, however, hardwood cladding is; (2) Where there is a space between the floor of a cylinder store and the ground (i.e. cylinders are stored on a platform), such a space shall be either completely filled with a non-combustible solid material or shall be empty, open on at least three sides and free of any combustible materials; (3) The floor of a cylinder store shall not be capable of pooling liquid; (4) Any doors in a cylinder store shall open outwards or be of a ventilated roller type. Any door shall also be able to be opened from inside the store;				
Siting and separation – Cylinder stores				
(1) Where no minimum separation distance between a cylinder store and an on-site protected place is specified, the cylinder store shall be located ≥ 1 m from building openings. For cylinder stores with mixed divisions of gases separation distances shall be based on the aggregate of all gas cylinders within in the store with the greatest separation distance of Tables CS1-3 applying to the store; (2) Any two cylinder stores can be considered separate stores if they are separated from each other by ≥ 3 m or the same distance required between the largest store and a property boundary, whichever is greater; (3) Cylinder stores shall be separated from UN1075 (LPG) decanting cylinders or filling points by ≥ 6.5 m; (4) Cylinder stores shall be separated from property boundaries by \geq Table CS1; (5) Cylinder stores shall be separated from on-site protected places by \geq Table CS2; (6) Cylinder stores shall be separated from aboveground accumulations of combustible materials or storage and handling areas of other DG classes or combustible liquids >Minor Storage by \geq Table CS3; (7) Gas cylinders shall be segregated by ≥ 3 m from any incompatible gases or substances. Division 2.2 gases are not considered to be incompatible with flammable gases, oxidising gases or toxic gases and can be used to segregate incompatible gases; (8) Gases shall be segregated from any other substance they may react dangerously with by ≥ 5 m.				
Table CS1				
Aggregate capacity	UN1075 only	Class 2.1, other than UN1075	Class 2.2, sub-risk 5.1	Class 2.2, no sub-risk
1000-2000L	3m	3m	3m	1m
2000-2500L	3m	6m	5m	5m
2500-5000L	4.5m	6m	5m	5m
5000-20,000L	Not self-	Not self-	5m	5m

>20,000L	assessable	assessable	Not self-assessable	5m
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Table CS2

Aggregate capacity	UN1075 only	Class 2.1, other than UN1075	Class 2.2, sub-risk 5.1	Class 2.2, no sub-risk
1000-2000L	3m	3m	3m	not specified
2000-2500L	3m	3m	3m	not specified
2500-5000L	4.5m	3m	3m	3m
5000-20,000L	Not self-assessable	Not self-assessable	3m	3m
>20,000L			Not self-assessable	3m

Table CS3

Aggregate capacity	UN1075 only	Class 2.1, other than UN1075	Class 2.2, sub-risk 5.1	Class 2.2, no sub-risk
1000-2000L	3m	3m	3m	3m
2000-2500L	3m	5m	5m	3m
2500-5000L	3m	5m	5m	3m
5000-20,000L	Not self-assessable	Not self-assessable	5m	3m
>20,000L			Not self-assessable	3m

Siting and separation – LPG decanting cylinders

- (1) LPG decanting cylinders shall be located outdoors on the ground in a static position only, with the outlet and safety relief valves directed away from any above ground LPG storage tank, dangerous goods storage area or fuel dispenser for flammable or combustible materials;
- (2) LPG decanting cylinders shall be segregated by ≥ 3 m from any incompatible gases or substances and any other substance they may react dangerously with by ≥ 5 m;
- (3) The centre point of any LPG decanting cylinder shall be a located to achieve the following minimum separation distances:
 - (a) 6.5 m to any boundary
 - (b) 6.5 m to any on-site protected place
 - (c) 6.5 m to any aboveground LPG storage tank
 - (d) 6.5 m to any fire-risk dangerous goods or combustible materials stored above ground
 - (e) 4.5 m to any fuel dispenser for a flammable or combustible material
 - (f) 4.5 m to any non fire-risk dangerous goods stored above ground
 - (g) 4.5 m to any entrance to any drain, pit or basement
 - (h) 3.5 m to any opening into a building
 - (i) 3.5 m to any structure that limits egress past the cylinder
 - (j) 2.5 m to any fill or dip cap of any underground storage tank

Note – these separation distances are inclusive of a maximum hose length of 1.5m.

Ventilation

- (1) Cylinder stores shall be provided with a ventilation system capable of providing sufficient fresh air to dilute and remove gases and allow any flammable vapours to dissipate and reduce any risk of asphyxiation, fire or explosion. Where lighter-than-air gases are to be stored high-level ventilation shall be provided in the roof ridge or at the highest point(s) of

- any roof. Ceilings are not permitted in any roof;
- (2) Ventilation shall be in the form of an open wall or vents;
 - (3) An open wall means a completely open external wall or wall of fixed louvers, chequered brickwork, slotted bricks, slotted roller doors or wire mesh from floor to ceiling with a minimum of 50 per cent of its area as openings;
 - (4) A vent means an opening in an external wall with a minimum free surface area of $\geq 0.1 \text{ m}^2$. Where vents are used, they shall be provided at both high and low levels relative to the floor and roof and ventilate directly to outdoor areas away from building entrances, doors, windows, air conditioning intakes, sources of ignition, areas people are not likely to congregate or other areas that allow free air movement. Vents that pass through cavity walls must be lined to prevent vapours from escaping into a wall cavity;
 - (5) Cylinder stores shall be provided with at least one of the following ventilation systems:
 - (a) Two opposing external sides that are open; or
 - (b) One external side that is open, provided at a minimum it is twice as long as it is wide; or
 - (c) Vents in at least one pair of opposing external sides, provided that:
 - (i) the distance between the opposing external walls does not exceed 10 m; and
 - (ii) in every 2 m length of external opposing walls, there are at least two vents evenly distributed; and
 - (iii) the total area of vents per meter length of wall.

Impact avoidance – Cylinder stores

- (1) Cylinders within a cylinder store shall be secured to restrict their movement by railings, chains or barriers;
- (2) Cylinder stores serviced by motor vehicles (including forklifts) or in vehicle manoeuvring areas (e.g. car parks or hard stands) shall be provided with impact protection in accordance with at least one of the following:
 - (a) Fully enclosed metal cage, not including the floor or roof of the store;
 - (b) Platform ≥ 900 mm above the ground level where motor vehicles can operate/manoeuvre;
 - (c) 1.2 m high x 75 mm wide core filled metal bollard buried a minimum of 500 mm deep and located either side of any point a motor vehicle can access or exit the store;
 - (d) Concrete kerb a minimum of 190 mm high located a minimum of 2 m from the cylinder store.

Impact avoidance – Decanting cylinders

- (1) Decanting cylinders located in or adjacent to vehicle manoeuvring area shall be provided with impact protection in accordance with at least one of the following:
 - (a) Core-filled metal bollards:
 - (iv) minimum of 1.2 m high x 75 mm wide; and
 - (v) buried a minimum of 500 mm deep below ground; and
 - (vi) spaced at a maximum of 1.3 m between any 2 posts or bollards required to separate a cylinder from a vehicle access area; and
 - (vii) a minimum of 1.5 m away from the side of the cylinder; or
 - (b) Metal guardrail a minimum of 700 mm high with posts buried a minimum of 500 mm deep and located a minimum of 1.5 m from any cylinder; or
 - (c) A chain-wire metal fence a minimum of 1.8 m high with a minimum of 50 mm steel posts buried a minimum of 600 mm deep and located a minimum of 3 m from the cylinder; or
 - (d) A concrete or masonry kerb a minimum of 190 mm high located a minimum of 5 m from a cylinder.

Fire safety

- (1) Cylinder stores shall have >1 x hose reel and >1 x 9 kg ABE extinguisher within 10 m but not closer than 3 m;
- (2) Decanting cylinders shall have >1 x 9 kg ABE extinguisher within 10 m but not closer than 3 m. Where >2 decanting cylinders are stored <6.5 m from each other, a hose reel shall also be provided within 10 m but not closer than 3 m from each cylinder;
- (3) Any hose reel shall be capable of reaching all sides of the package store or decanting

cylinder it is protecting.			
Access restriction			
(1) Cylinder stores shall be kept under lock and key.			
Flammable and combustible liquids in packages and IBCs			
General requirements			
<p>(1) Package stores (areas of stored packages and IBCs) shall be located outdoors only and used for the storage of closed packages and/or IBCs only;</p> <p>(2) All separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;</p> <p>(3) Separation distances shall be measured from the inside edge of any bund wall or natural vent opening to any areas to be protected;</p> <p>(4) Package stores shall be constructed from non-combustible materials that are compatible with the flammable and combustible liquids to be stored. Hardwood frames are not considered combustible materials for the purposes of this Code, however, hardwood cladding is;</p> <p>(5) The lowest point of any package store containing >2,500 L of PGII or >10,000 L of PGIII shall be higher than any relevant flood height level identified in an area's flood hazard area. Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level.</p>			
Siting and separation – package store			
<p>(1) Package stores shall be separated from property boundaries and on-site protected places by \geqTable FL1;</p> <p>(2) Flammable and combustible liquids shall be segregated from any other substance that it may react dangerously with by \geq5 m and stored in separate spill compounds;</p> <p>(3) Package stores shall be separated from any decanting area for flammable or combustible liquids by \geq6 m;</p> <p>(4) Package stores shall be separated from aboveground tanks containing flammable liquids by \geq6 m or the diameter of the tank up to a maximum of 15 m, whichever is greatest;</p> <p>(5) Package stores shall be separated from aboveground tanks containing combustible liquids by \geq3 m or the diameter of the tank up to a maximum of 7 m, whichever is greatest.</p>			
Table FL1			
PGII with or without PGIII, C1 or C2	PGIII with or without C1 or C2	C1 with or without C2	Minimum separation distance
1 000L	2 500L	10 000L	3m
2 000L	8 000L	20 000L	4m
4 000L	16 000L	40 000L	5m
7 000L	28 000L	70 000L	6m
10 000L	40 000L	100 000L	7m
14 000L	60 000L		8m
20 000L			9m
26 000L			10m
34 000L			11m
42 000L			12m
52 000L			13m

60 000L			14m
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Note – Flammable or combustible liquids with differing flashpoints stored within the same package store, shall all be treated as an aggregate of the liquid with the lowest flashpoint.

Spill containment

- (1) Spill containment systems shall not bring together two or more hazardous chemicals that are not compatible (including common drains);
- (2) Package stores shall be provided with a spill compound (e.g. bund) that complies with all of the following:
 - (a) is impervious;
 - (b) constructed of a fire resistant material(s);
 - (c) capable of holding liquid when full;
 - (d) sloped to a low point or sump;
 - (e) provided with a means of being emptied;
 - (f) free from any other dangerous goods;
 - (g) provided with restraints or barriers to prevent packages falling outside of the bund if packages are positioned closer than 600 mm from a bund wall;
 - (h) has a minimum internal volume as per Table FL2.

Table FL2

Aggregate volume of packages/IBCs	Minimum volume of spill compound
2 000L	2 100L
4 000L	2 600L
7 000L	3 350L
8 000L	3 600L
10 000L	4 100L
14 000L	4 500L
16 000L	4 700L
20 000L	5 100L
26 000L	5 700L
28 000L	5 900L
34 000L	6 500L
40 000L	7 100L
42 000L	7 300L
52 000L	8 300L
60 000L	9 100L
70 000L	10 100L
100 000L	13 100L

Ventilation

- (1) Package stores shall be provided with ventilation to allow for flammable vapours to dissipate. Ventilation shall be in the form of an open wall or vent;
- (2) An open wall means any external wall that is completely open above the top of the bund wall or a wall of fixed louvers or wire mesh having a minimum of 50 per cent of its area are openings;
- (3) A vent means 2 x openings in an external wall with a minimum free surface area of 0.15



- m2 with one located directly above the top of a bund wall and the other above the highest package. For package stores storing combustible liquids only, the opening above the highest package is not mandatory;
- (4) Any vent that passes through a cavity wall must be lined to prevent vapours from escaping into a wall cavity. Package stores shall be provided with at least one of the following ventilation systems:
- (a) Two or more open walls; or
 - (b) One open wall, provided it is longer than it is wide; or
 - (c) One open wall and vents in the opposite or adjacent wall at a minimum of every 3 m; or
 - (d) A minimum of two opposite walls provided with vents a minimum of every 3 m; or
 - (e) For package stores longer than 6m but no wider than 5m, vents in the longest wall minimum of every 1.4 m.

Impact avoidance

- (1) Impact damage caused by fork-lift trucks or other moving equipment against racking uprights shall be avoided by the protection of corner uprights as follows:
- (a) An upright protector with a height of not less than 400 mm shall be positioned at the end upright of each run of racking between cross-aisles;
 - (b) An upright protector shall be positioned at all those uprights positioned at aisle and gangway intersections;
 - (c) The upright protector shall be designed for energy absorption of ≥ 400 Nm in any direction at any height between 0.1 m and 0.4 m;
 - (d) The upright protector shall be positioned in such a way that, after its deformation by absorbing an impact, the upright will not be damaged.

Note – As an alternative to use of upright protectors, the installation may be designed to survive the complete removal of a section at the bottom of an upright.

Fire safety

- (1) Package stores shall be provided with a 24 hr monitored fire detection system and fire protection equipment \geq Table FL3.

Table FL3

Storage type	Fire protection
Unroofed package store containing flammable liquids only.	4 x 9 kg ABE extinguishers, 2 x 9 kg foam extinguishers and 1 x hose reel able to reach all areas of the package store with a branch pipe.
Roofed package store containing flammable liquids only.	1 x 9 kg ABE extinguisher located at each doorway(s), 1 x 9kg ABE extinguisher located internally every 15m and 1 x hose reel able to reach all areas of the package store with a branch pipe, pick up and a supply of foam concentrate*.
Unroofed package store containing combustible liquids only.	1 x 9 kg ABE extinguisher and 2 x 9kg foam extinguishers.
Roofed package store containing combustible liquids only.	1 x 9 kg ABE extinguisher located at each doorway(s) with a total no less than 2 and 1 x 9kg foam extinguisher located at each doorway(s) also with a total of no less than 2.
Unroofed package store containing flammable and combustible liquids.	4 x 9 kg ABE extinguishers, 2 x 9 kg foam extinguishers and 1 x hose reel able to reach all areas of the package store with a branch pipe.
Roofed package store containing flammable and combustible liquids.	1 x 9 kg ABE extinguisher located at each doorway(s), 1 x 9 kg ABE extinguisher located internally every 15m and 1 x hose reel able to reach all areas of the package store with a branch pipe, pick up and a supply of foam concentrate*.

* A supply of foam concentrate shall be consistent with the quantity identified in a site's emergency plan required under the *Work Health and Safety Act 2011*.

Access restriction

- (1) Package stores shall be kept under lock and key.

Flammable and combustible liquids in tanks

General requirements for tanks

- (1) Aboveground tanks, vents, fill points and dispensers shall be located outdoors only;
- (2) Separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (3) Separation distances for any tank, dispenser, pump, vent or fill point shall be measured from the outermost external surface;
- (4) Separation distances for any spill compound (bund) containing a flammable liquid tank shall be measured from the inside edge of the bund walls;
- (5) Aboveground tanks shall be made of steel only. The outer shell of any fire-rated double walled tank can be made of heat resistance materials required to achieve a 240/240/240 fire resistance level;
- (6) Underground tanks shall be double walled with the outer wall constructed of corrosion resistant materials. Separation distances for spill compounds (bund) shall be measured from the inside edge of the bund walls. Tanks shall be located ≥ 1 m from any wall to allow access for inspection and maintenance;
- (7) Spill compounds and tank supporting structures shall be constructed of fire resistant materials only;
- (8) ADG Code compliant isotainers and intermodal tanks are considered tanks for the purposes of this code. Aboveground tanks, including isotainers or intermodal tanks shall not be stacked on top of each other. Where the base of any tank containing $>2,500$ L of PGII or $>10,000$ L of PGIII is lower than a relevant flood height level identified in a local government's flood hazard area such a tank shall be anchored so it cannot float if submerged or inundated by water; and, any opening not provided with a liquid tight seal, i.e. an atmospheric vent, shall be extended above the relevant flood height level.

Siting and separation – tanks not including fire-rated tanks

- (1) Aboveground tanks shall be separated from property boundaries by \geq Table FL4;
- (2) Aboveground flammable liquid tanks shall be separated from on-site protect places by \geq Table FL4;
- (3) Aboveground combustible liquid tanks shall be separated from on-site protect places by ≥ 50 per cent of Table FL4 or 7.5 m, whichever is less;
- (4) Spill compounds containing flammable liquid tanks shall be separated from property boundaries by ≥ 50 per cent of Table FL4;
- (5) Any two aboveground flammable and/or combustible liquid tanks shall be separated from each other by \geq Table FL5;
- (6) Flammable and/or combustible liquid tanks shall be segregated from substances they may react dangerously with by ≥ 5 m and be stored in separate spill compounds;
- (7) Aboveground flammable liquid tanks shall be separated from package stores and decanting areas for flammable or combustible liquids by ≥ 6 m;
- (8) Aboveground combustible liquid tanks shall be separated from package stores containing flammable or combustible liquids by ≥ 3 m or the diameter of the tank, whichever is greater.
- (9) Underground tanks shall be separated from property boundaries by ≥ 2 m.

Siting and separation – fire-rated double walled tanks

- (1) Aboveground fire-rated self-bunded tanks shall be separated from property boundaries and on-site protected places by ≥ 50 per cent of Table FL4.

Siting and separation – tank openings, vents and fill points

- (1) Fill points for flammable liquid tanks shall be located outside in open air ≥ 4 m from property boundaries and building openings;
- (2) Fill points for combustible liquid tanks shall be located outside in open air ≥ 2 m from



- building openings;
- (3) Tank fill points shall also be adequately located to ensure delivery vehicles:
 - (a) can park entirely inside the property boundaries;
 - (b) are not required to enter a tank bund;
 - (c) are capable of exiting the fill point area without reversing.
- (4) Any vent discharge point of a flammable liquid tank shall be located a minimum of:
 - (d) 4 m aboveground or a minimum of 150 mm above the top of the tank or above the highest point of a refuelling vehicle, whichever is greater; and
 - (e) 4 m from any opening into a building (i.e. window, mechanical vent intake etc) for flammable liquids; 1.5 m from a property boundary for underground tanks and self-bunded tanks; or
 - (f) 3m from a property boundary for an aboveground tank.
- (5) Any vent discharge point for a combustible tank shall be located a minimum of:
 - (g) 4m above ground or a minimum of 150 mm above the top of the tank or above the highest point of a refuelling vehicle, whichever is greater; and
 - (h) 2 m from any opening into a building.

Siting and separation – Dispensers

- (1) Flammable liquid dispensers shall be separated from property boundaries by ≥ 4 m;
- (2) Flammable liquid dispensers shall be separated from aboveground non fire-rated tanks by ≥ 8 m.

Table FL4

PGII	PGIII	C1	Minimum separation distance
1 000L	2 500	10 000	3m
2 000L	8 000	20 000	4m
4 000L	16 000	40 000	5m
7 000L	28 000	70 000	6m
10 000L	40 000	100 000	7m
14 000L	60 000	140 000	8m
20 000L		200 000	9m
26 000L		260 000	10m
34 000L		340 000	11m
42 000L		420 000	12m
52 000 L		500 000	13m
60 000L			14m

Table FL5

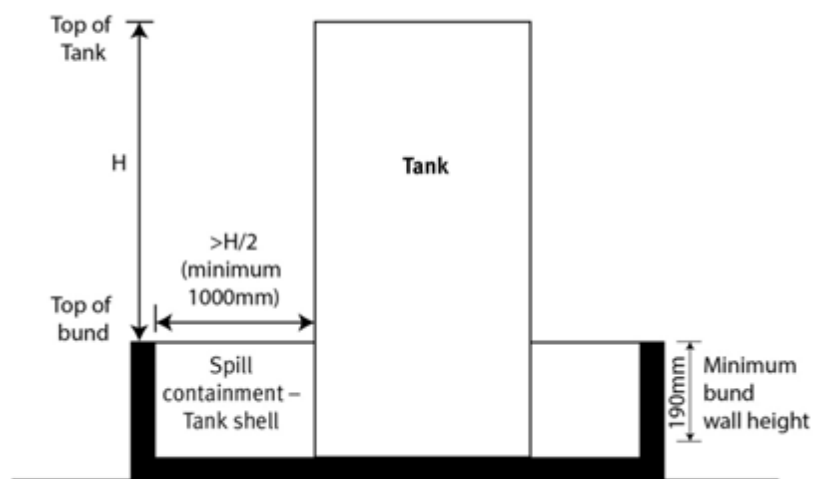
Liquid type	Vertical type	Horizontal tanks	Vertical and horizontal
Flammable liquid tanks only $\geq 60,000$ L	≥ 1 m or 1/3 of the larger tank's diameter, whichever is greater.	≥ 600 mm and side to side, (not end-to-end).	≥ 1 m or 1/3 of the larger tank's diameter, whichever is greater, and horizontal tank ends shall not face vertical tanks.
Combustible liquid tanks only $< 60,000$ L	≥ 1 m	≥ 600 mm and side to side, (not end-to-end)	All tanks shall be separated from each other by 1 m and horizontal

			tanks cannot face vertical tanks
A mix of flammable and combustible tanks <60,000 L	$\geq 1\text{m}$ or $1/3$ of the diameter of the largest flammable liquid tank, whichever is greater.	$\geq 600\text{ mm}$ side to side, (not end-to-end).	$\geq 1\text{ m}$ or $1/3$ of the diameter of the largest flammable liquid tank, whichever is greater, and horizontal tank ends cannot face vertical tanks.
A mix of flammable and combustible tanks >60,000 L	Not self-assessable	Not self-assessable	Not self-assessable

Spill containment – Aboveground tanks, not including double walled self-bunded tanks

- (1) Spill containment systems shall not bring together two or more hazardous chemicals that are not compatible (including common drains);
- (2) Aboveground tanks, other than self-bunded aboveground tanks, shall be located inside a spill compound (e.g. bund) that complies with all of the following:
 - (a) is impervious;
 - (b) free from pipe work penetrating through any wall of the bund;
 - (c) constructed of fire resistant material(s);
 - (d) able to hold liquid when full;
 - (e) sloped to a low point or sump;
 - (f) provided with a means of being emptied;
 - (g) the distance between a bund wall and the nearest tank is a minimum of half the distance between the top of the tank and the top of the bund wall or 1 m whichever is greater; (see figure T1.1 for guidance);
 - (h) has an internal volume ≥ 110 per cent of the largest tank within the compound. (Includes 10 per cent for fire water);

Figure T1.1 An illustration of minimum bund wall height relative to tank height



Impact avoidance – above ground tanks

- (1) Aboveground tanks, not including fire-rated self-bunded tanks or those with a bund wall >190mm high shall be provided with impact protection in accordance with at least one of the following:
 - (a) core-filled metal bollards:
 - (i) minimum of 1.2 m high x 75 mm wide; and
 - (ii) buried a minimum of 500 mm deep below ground; and
 - (iii) spaced at a maximum of 1.3 m between any 2 posts or bollards required to separate a tank from a vehicle access area; and

- (iv) a minimum of 1.5 m away from the side of the tank; or
- (b) metal guardrail a minimum of 700 mm high with posts buried a minimum of 500 mm deep and located a minimum of 1.5 m from the tank; or
- (c) a chain-wire metal fence a minimum of 1.8 m high with a minimum of 50 mm steel posts buried a minimum of 600 mm deep and located a minimum of 3 m from the tank; or
- (d) a concrete or masonry kerb a minimum of 190 mm high located a minimum of 5 m from the tank.

Impact avoidance – underground tanks

- (1) Underground tanks shall be buried a minimum of 300 mm belowground and provided with a reinforced concrete slab a minimum of 150 mm thick covering the tank storage area.

Impact avoidance – fill points

- (1) Fill points shall be positioned below ground and provided with a metal cover or located inside an above ground tank bund or provided with impact protection as required for above ground tanks.

Impact avoidance – vent pipes

- (1) Vent pipes shall be located inside an above ground tank bund or provided with impact protection as required for above ground tanks.

Impact avoidance – vehicle dispensers

- (1) Dispensers for road vehicles shall be provided with metal bollards in accordance with all of the following:
 - (a) core-filled with concrete;
 - (b) minimum of 1.2 m high x 75 mm wide; buried a minimum of 500 mm deep;
 - (c) located at all 4 corners of a dispenser at a distance as wide as or wider than the dispenser;
 - (d) located a minimum of 500 mm from any side of a dispenser.

Note – Multiple dispensers in a row ≤ 2 m apart may be grouped together and considered as one individual dispenser.

Fire safety – storage tanks

- (1) Tanks shall be provided with fire protection equipment in accordance with Table T3 and all firefighting equipment shall be located outside of spill compounds and within 10 m.

Fire safety – dispensers

- (1) Dispenser shall have access to ≥ 2 x 9 kg ABE extinguishers within 10 m and one no closer than 3 m.

Fire safety – Tank fill points

- (1) Fill points shall have access to ≥ 2 x 9 kg ABE extinguishers with one extinguisher > 3 m from the fill point.

Fire safety – transfer pumps

- (1) Transfer pumps shall have access to ≥ 1 x 9 kg ABE extinguisher within 10 m but not closer than 3 m.

Table T3

Storage type	Storage capacity	Fire protection
Aboveground flammable liquid tanks	<30 000L	1 x 9 kg ABE extinguisher and 1 x 9 kg foam extinguisher.

	30 000 – 60 000L	1 x 9 kg ABE extinguisher and 1 x hose reel able to reach all sides of the storage tank(s) with a branch pipe, pick up and a supply of foam concentrate*.
Aboveground combustible liquid tanks	<60 000L	1 x 9kg ABE extinguisher in a single tank; or 2 x 9kg ABE extinguishers if multiple tanks
	60 000 – 500 000 L	1 x 9 kg ABE extinguisher and 1 x hose reel able to reach all sides of the storage tank(s) with a branch pipe, pick up and a supply of foam concentrate*.
Aboveground flammable and combustible liquid tanks stored within a common spill compound	<30 000L	1 x 9 kg ABE extinguisher and 1 x 9 kg foam extinguisher.
	30 000 – 60 000L	1 x 9 kg ABE extinguisher and 1 x hose reel able to reach all sides of the storage tank(s) with a branch pipe, pick up and a supply of foam concentrate*.
Underground flammable or combustible liquid tanks	Any	Nil

* A supply of foam concentrate shall be consistent with the quantity identified in a site's emergency plan required under the *Work Health and Safety Act 2011*.

Access restriction

- (1) Above ground tanks shall be kept under lock and key.

Oxidising substances in packages and IBCs

General requirements

- (1) Package stores (areas of stored packages and IBCs) shall be located outdoors only and used for the store closed packages and/or IBCs only;
- (2) Separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (3) Separation distances shall be measured from the inside edge of any bund wall or natural vent opening to any areas to be protected;
- (4) Package stores shall be constructed from non-combustible materials that are compatible with the oxidising substances to be stored. Hardwood frames are not considered combustible materials for the purposes of this Code, however, hardwood cladding is;
- (5) Package stores with a spill compound >250 m² shall have a minimum of 2 egress points;
- (6) The lowest point of any package store containing >2,500 L of PGII or >10,000 L of PGIII shall be higher than any relevant flood height level identified in an area's flood hazard area. Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level.

Siting and separation

- (1) Package stores shall be separated from property boundaries and on-site protected places by \geq Table OS1;
- (2) Oxidising substances shall be segregated from any other substance that it may react dangerously with by a minimum of 5 m and stored in separate spill compounds.

Table OS1

Maximum aggregate quantity of store	PGII with or without PGIII	PGIII only
2 500 – 10 000L or kg	5m	3m
10 000 – 20 000L or kg	8m	5m
20 000 – 50 000L or kg	Not self-assessable	5m



50 000 – 250 000L or kg		8m
Storage in stacks		
<p>(1) Oxidising substances stacked ≥ 2 high and not in a pallet racking system, shall comply with the following:</p> <ul style="list-style-type: none"> (a) not exceed 3 m in height; (b) separated a minimum of 1.2 m from any perimeter wall of a package store; (c) multiple stacks within the same package store are separated from each other by ≥ 3 m; IV. each stack shall not exceed table OS2: 		
Table OS2		
Stack size	PGII with or without PGIII	PGIII only
Involving combustible pallets	20 000 kg	20 000 kg
No combustible pallets	20 000 kg	50 000kg
Spill containment		
<p>(1) Spill containment systems shall not bring together two or more hazardous chemicals that are not compatible (including common drains);</p> <p>(2) Package stores, containing liquids shall be provided with a spill compound that achieves the following:</p> <ul style="list-style-type: none"> (a) is impervious; (b) constructed or lined with material(s) compatible with the oxidising substance(s) kept; (c) capable of holding liquid when full; (d) sloped to a low point or sump; (e) provided with a means of being emptied; (f) internal volume ≥ 35 per cent of aggregate storage volume (includes provision for fire water); (g) Where liquid IBCs are stored, the distance between a bund wall and the nearest IBC shall be ≥ 50 per cent; (h) the distance between the top of the highest IBC tank and the top of the closest bund wall; (See figure OS1.1 in section 4.5 for guidance. Impervious shields can be used to extend bund walls); (i) provided with restraints or barriers to prevent packages falling outside of the bund if packages are positioned ≤ 1 m from a bund wall. 		
Ventilation		
<p>(1) Package stores shall be provided with ventilation to allow for any vapours to dissipate. Ventilation shall be in the form of an open wall or vent;</p> <p>(2) An open wall means any external wall that is completely open above the top of the bund wall or a wall of fixed louvers or wire mesh having a minimum of 50 per cent of its area are openings;</p> <p>(3) A vent means 2 x openings in an external wall that are completely open each with a minimum surface area of 0.1 m² with one located directly above the top of a bund wall and the other above the highest package;</p> <p>(4) Any vent that passes through a cavity wall must be lined to prevent vapours from escaping into a wall cavity. Package stores shall be provided with at least one of the following ventilation systems:</p> <ul style="list-style-type: none"> (a) Two or more open walls; or (b) One open wall, provided it is longer than it is wide; or (c) One open wall and vents in the opposite or adjacent wall at a minimum of every 3 m; or (d) Two opposite walls provided with vents a minimum of every 3 m; or (e) For package stores >6 m long and <5 m wide, vents in the longest wall \geq every 1.4 m. 		
Impact avoidance		

- (1) Impact damage caused by fork-lift trucks or other moving equipment against racking uprights shall be avoided by the protection of corner uprights as follows:
 - (a) An upright protector with a height of not less than 400 mm shall be positioned at the end upright of each run of racking between cross-aisles;
 - (b) An upright protector shall be positioned at all uprights positioned at aisle and gangway intersections;
 - (c) The upright protector shall be designed for energy absorption of ≥ 400 Nm in any direction at any height between 0.1 m and 0.4 m;
 - (d) The upright protector shall be positioned in such a way that, after its deformation by absorbing an impact, the upright will not be damaged.

Note – As an alternative to the use of upright protectors, the installation may be designed to survive the complete removal of a section at the bottom of an upright.

Fire safety

- (1) Package stores shall be provided with a 24 hr monitored fire detection system and ≥ 1 x 9 kg ABE fire extinguisher, within 10 m but no closer than 3 m and ≥ 1 x hose reel capable of reaching all areas of the store.

Security

- (1) Package stores shall be kept under lock and key.

Oxidising substances in tanks

General requirements

- (1) Aboveground tanks, vents, fill points and dispensers shall be located outdoors only. Underground tanks are not permitted;
- (2) Separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (3) Separation distances shall be measured from the outermost external surface of a tank, fill point or dispenser. Separation distances for spill compounds (bund) shall be measured from the inside edge of the bund walls;
- (4) Tanks shall be located ≥ 1 m from any wall to allow access for inspection and maintenance;
- (5) Spill compounds and tank supporting structures shall be constructed of fire resistant materials only;
- (6) ADG Code compliant isotainers and intermodal tanks are considered tanks for the purposes of this code. Aboveground tanks shall not be stacked on top of each other;
- (7) Hydrogen Peroxide tanks $\geq 5,000$ L shall be fitted with an externally visible temperature measuring device;
- (8) Where the base of any tank containing $>2,500$ L of PGII or $>10,000$ L of PGIII is lower than a relevant flood height level identified in a local government's flood hazard area such a tank shall be anchored so it cannot float if submerged or inundated by water; and, any opening not provided with a liquid tight seal, i.e. an atmospheric vent, shall be extended above the relevant flood height level.

Siting and separation

- (1) Tanks shall be separated from property boundaries and on-site protected places by \geq Table OS3;
- (2) Tank bunds shall be separated from property boundaries and on-site protected place ≥ 3 m;
- (3) Tanks containing oxidising substances that are compatible with each other shall be separated by ≥ 1 m;
- (4) Oxidising substances shall be separated from any other substance that it may react dangerously with, including any other oxidising substance, by a minimum of 5 m and stored in separate spill compounds;
- (5) Tank fill points shall also be adequately located to ensure delivery vehicles:
 - (a) can park entirely inside the property boundaries;
 - (b) are not required to enter a tank bund;
 - (c) are capable of exiting the fill point area without reversing.

- (6) Fill or dispensing points shall be located ≥ 3 m from property boundaries or on-site protected places. Separation distances may be measured around an intervening screen wall provided it is ≥ 1 m above the transfer point, impervious to liquid and vapour, immune to attack by the oxidising substance(s) kept and acts as a shield or deflection barrier.

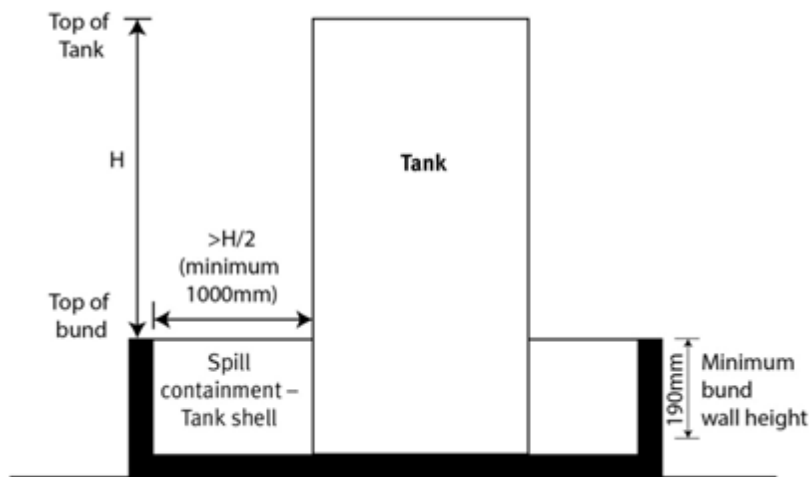
Table OS3

Tank size	PGII	PGIII
2 500 – 10 000L	8m	5m
10 000 – 20 000L	8m	5m
20 000 – 50 000L	Not self-assessable	5m
50 000 – 250 000L		8m

Spill containment – tank shell

- (1) No two spill compounds containing incompatible substances or substances that may react dangerously with each other shall be connected to a common drain;
- (2) Tanks containing liquids shall be located inside a spill compound that achieves the following;
- (a) is impervious;
 - (b) compatible with the oxidising substance(s) kept and fire-resistant;
 - (c) capable of holding liquid when full;
 - (d) sloped to a low point or sump;
 - (e) provided with a means of being emptied;
 - (f) free from pipe work penetrating through any bund walls;
 - (g) the distance between a bund wall and the nearest tank shall be ≥ 50 per cent the distance between the top of the tank and the top of the bund wall or 1m whichever is greater; (See figure OS1.1 for guidance. Impervious shields may be used to extend bund wall heights);
 - (h) has an internal volume ≥ 110 per cent of the largest tank stored within the compound.

Figure OS1.1 An illustration of minimum bund wall height relative to tank height



Impact avoidance

- (1) Tanks, other than those provided with masonry bunds >190 mm high or self-bunded fire-rated tanks shall be provided with impact protection in accordance with at least one of the following:
- (a) core-filled metal bollards:
 - (i) minimum of 1.2 m high x 75 mm wide; and

- (ii) buried a minimum of 500 mm deep below ground; and
- (iii) spaced at <1.3 m between any 2 posts or bollards required to separate a tank from a vehicle access area
- (iv) a minimum of 1.5 m away from the side of the tank.
- (a) metal guardrail a minimum of 700 mm high with posts buried a minimum of 500 mm deep and located a minimum of 1.5 m from the tank; or
- (b) a chain-wire metal fence a minimum of 1.8 m high with a minimum of 50 mm steel posts buried a minimum of 600 mm deep and located a minimum of 3 m from the tank; or
- (c) a concrete or masonry kerb a minimum of 190 mm high and a minimum of 5 m from the tank.

Fire Safety

- (1) Tanks shall be provided with $\geq 1 \times 9$ kg dry chemical fire extinguisher, within 10 m but no closer than 3 m and $\geq 1 \times$ hose reel capable of reaching all sides of the tank(s).

Security

- (1) Tanks shall be kept under lock and key.

Toxic substances in packages and IBC's

General requirements

- (1) Package stores (areas of stored packages and IBCs) shall be free standing and used for the storage of closed packages and/or IBCs only;
- (2) Package stores within buildings shall be located on a floor with immediate access outside the building;
- (3) All separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (4) Separation distances shall be measured from the inside edge of any bund wall or natural vent opening to any areas to be protected;
- (5) Package stores shall be constructed from materials compatible with the toxic substances to be stored. Package stores with a spill compound $>25 \text{ m}^2$ shall have a minimum of 2 access points;
- (6) Toxic substances with a flammable liquid subsidiary risk or vice versa shall not be stored with toxic substances that do not have a flammability (class 3) risk.
- (7) Decanting, blending or filling packages is not permitted in package stores containing toxic substances. The lowest point of any package store containing $>2,500 \text{ L}$ of PGII or $>10,000 \text{ L}$ of PGIII shall be higher than any relevant flood height level identified in an area's flood hazard area;
- (8) Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level

Siting and separation

- (1) Separation distances between a package store and a property boundary shall be \geq Table TS1;
- (2) Separation distances between a package store and an on-site protected place shall be >50 per cent Table TS1;
- (3) Toxic substances shall be separated from any other substance that it may react dangerously with by a minimum of 5 m and stored in separate spill compounds.

Table TS1

Package store volume (L/kg)	PGII with or without PGIII	PGIII only
2 500 – 10 000	5m	3m
10 000 – 20 000	6m	4m
20 000 – 50 000	8m	5m

50 000 – 100 000	10m	8m
100 000 – 200 000	15m	10m
200 000 – 500 000	17.5m	15m

Spill containment

- (1) Spill containment systems shall not bring together two or more hazardous chemicals that are not compatible (including common drains);
- (2) Package stores, including those storing solids only, shall be provided with a bund that complies with all of the following:
 - (a) is impervious;
 - (b) constructed or lined with a material compatible with the toxic substance(s) kept; and capable of holding liquid when full;
 - (c) sloped to a low point or sump;
 - (d) provided with a means of being emptied;
 - (e) free from any other dangerous goods, incompatible materials or materials that may react violently with the toxic substances;
 - (f) has a minimum internal volume ≥ 25 per cent of the aggregate storage capacity;
 - (g) Where liquid IBCs are stored, the distance between a bund wall and the nearest IBC shall be ≥ 50 per cent the distance between the top of the highest IBC tank and the top of the closest bund wall. (See figure TS1.1 in section 4.7 for guidance. Impervious shields may be used to extend bund walls);
 - (h) provided with restraints or barriers to prevent packages falling outside of the bund if packages are positioned < 1 m from a bund wall.

Ventilation

- (1) Package stores shall be provided with ventilation to allow for corrosive vapours to dissipate. Ventilation shall be in the form of an open wall or vent;
- (2) An open wall means any external wall that is completely open above the top of the bund wall or a wall of fixed louvers or wire mesh having a minimum of 50 per cent of its area are openings;
- (3) A vent means 2 x openings in an external wall with a minimum free surface area of 0.1 m² with one located directly above the top of a bund wall and the other above the highest package;
- (4) Any vent that passes through a cavity wall must be lined to prevent vapours from escaping into a wall cavity. Package stores shall be provided with at least one of the following ventilation systems:
 - (a) Two or more open walls; or
 - (b) One open wall, provided it is longer than it is wide; or
 - (c) One open wall and vents in the opposite or an adjacent wall at a minimum of every 3 m; or
 - (d) Two opposite walls < 10 m apart provided with vents a minimum of every 3 m; or
 - (e) For package stores ≥ 6 m long and ≤ 5 m wide, vents in the longest wall \leq every 1.4 m.

Impact avoidance

- (1) Impact damage caused by fork-lift trucks or other moving equipment against racking uprights shall be avoided by the protection of corner uprights as follows:
 - a. An upright protector with a height of not less than 400 mm shall be positioned at the end upright of each run of racking between cross-aisles;
 - b. Upright protectors shall be positioned at uprights positioned at aisle and gangway intersections;
 - c. The upright protector shall be designed for energy absorption of ≥ 400 Nm in any direction at any height between 0.1 m and 0.4 m;
 - d. The upright protector shall be positioned in such a way that, after its deformation by absorbing an impact, the upright will not be damaged.

Note – As an alternative to the use of upright protectors, the installation may be designed to survive the complete removal of a section at the bottom of an upright.

Fire safety

- (1) Package stores shall be provided with a 24 hr monitored fire detection system and ≥ 1 x 9 kg ABE fire extinguisher, within 10m but no closer than 3 m.

Security

- (1) A package store shall be kept under lock-and-key.

Toxic substances in tanks

General requirements

- (1) Underground tanks are not permitted;
- (2) Separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (3) Separation distances shall be measured from the outermost external surface of a tank, fill point or dispenser. Separation distances for spill compounds (bund) shall be measured from the inside edge of the bund walls;
- (4) Tanks shall be located ≥ 1 m from any wall to allow access for inspection and maintenance;
- (5) Spill compounds and tank supporting structures shall be constructed of fire resistant materials only;
- (6) ADG code compliant isotainers and intermodal tanks are considered tanks for the purposes of this code. Tanks shall not be stacked on top of each other;
- (7) Where the base of any tank containing $>2,500$ L of PGII or $>10,000$ L of PGIII is lower than a relevant flood height level identified in a local government's flood hazard area such a tank shall be anchored so it cannot float if submerged or inundated by water; and, any opening not provided with a liquid tight seal, i.e. an atmospheric vent, shall be extended above the relevant flood height level;

Siting and separation

- (1) Separation distances between tanks and property boundaries shall be \geq Table TS2;
- (2) Separation distances between tanks and on-site protected places shall be ≥ 50 per cent Table TS2;
- (3) Any two tanks containing toxic substances compatible with each other shall be separated by ≥ 1 m;
- (4) Toxic substances shall be separated from any other substance that it may react dangerously with by a minimum of 5 m and stored in separate spill compounds;
- (5) Tank fill points shall also be adequately located to ensure filling vehicles:
 - (a) can park entirely inside the property boundaries;
 - (b) are not required to enter a tank bund;
 - (c) are capable of exiting the fill point area without reversing.

Table TS2

Volume of tank (L/kg)	PGII		PGIII	
	Inhalation hazard	No inhalation hazard	Inhalation hazard	No inhalation hazard
2 500 – 10 000	10m	5m	6m	3m
10 000 – 20 000	12m	6m	8m	4m
20 000 – 50 000	16m	8m	10m	5m
50 000 – 100 000	20m	10m	16m	8m
100 000 – 200 000	30m	15m	20m	10m
200 000 – 500 000	35m	17.5m	30m	15m

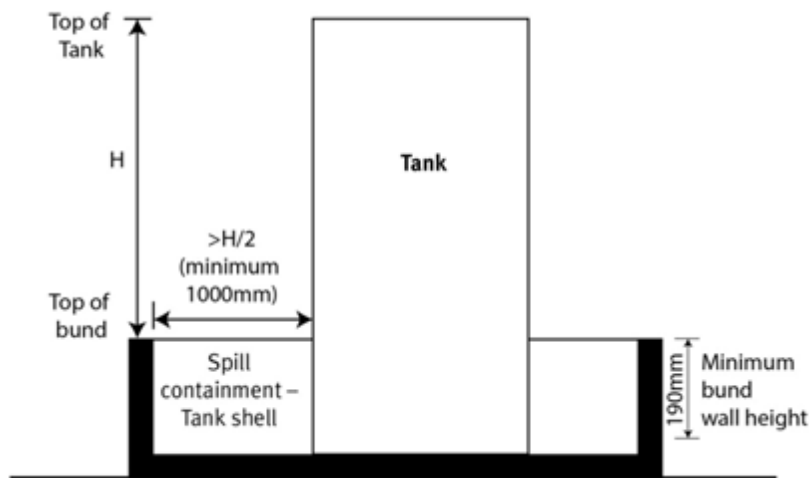
Spill containment – tanks

- (1) No two spill compounds containing incompatible substances or substances that may react dangerously with each other shall be connected to a common drain;



- (2) Tanks shall be within an impervious spill compound/bund that achieves the following:
- is constructed of material(s) compatible with the toxic substance(s) kept;
 - capable of holding liquid when full;
 - sloped to a low point or sump;
 - provided with a means of being emptied;
 - free from any other dangerous goods, incompatible materials or materials that will react violently with the toxic substance(s) kept;
 - free from pipe work penetrating through any bund walls;
 - the distance between a bund wall and the nearest tank shall be a ≥ 50 per cent the distance between the top of the tank and the top of the bund wall or 1m whichever is greater (see figure TS1.1 for guidance. Impervious shields can be used to extend bund wall heights);
 - has an internal volume ≥ 110 per cent of the largest tank within the compound. (includes 500 L of fire water).

Figure TS1.1 An illustration of minimum bund wall height relative to tank height.



Impact avoidance

- (1) Tanks, other than those provided with masonry bunds >190 mm high, self-bunded fire-rated tanks or tanks located inside a building not accessible by motor vehicles shall be provided with impact protection in accordance with at least one of the following:
- core-filled metal bollards:
 - minimum of 1.2 m high x 75 mm wide; and
 - buried a minimum of 500 mm deep below ground; and
 - spaced at a maximum of 1.3 m between any 2 posts or bollards required to separate a tank from a vehicle access area; and
 - a minimum of 1.5 m away from the side of the tank; or
 - metal guardrail a minimum of 700 mm high with posts buried a minimum of 500 mm deep and located a minimum of 1.5 m from the tank; or
 - a chain-wire metal fence a minimum of 1.8 m high with a minimum of 50 mm steel posts buried a minimum of 600 mm deep and located a minimum of 3 m from the tank; or
 - a concrete or masonry kerb a minimum of 190 mm high and a minimum of 5 m from the tank.

Fire safety

- (1) Tank shall have access to ≥ 1 x 9 kg ABE fire extinguisher, within 10 m but no closer than 3 m.

Security

- (1) Aboveground tanks shall be kept under lock and key.

Corrosive substances in packages and IBCs



General requirements

- (1) Package stores (areas of stored, closed packages and IBCs) shall be free standing and used for the storage of closed packages and/or IBCs only;
- (2) Package stores within a building shall be located on a floor that has immediate access from outside the building;
- (3) All separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (4) Separation distances shall be measured from the inside edge of any bund wall or natural vent opening to any areas to be protected;
- (5) Package stores shall be constructed from materials compatible with the corrosive substances to be stored. Package stores with a spill compound >25 m² shall have a minimum of 2 access points;
- (6) The lowest point of any package store containing >2,500 L of PGII or >10,000 L of PGIII shall be higher than any relevant flood height level identified in an area's flood hazard area. Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level.

Siting and separation

- (1) Package store shall be separated from property boundaries and on-site protected places by \geq Table CPS1;
- (2) Corrosive substances shall be separated from any other substance that it may react dangerously with by a minimum of 5 m and stored in separate spill compounds.

Table CPS1

PGII with or without PGIII		PGIII only
Open containers	Closed containers	Open or closed containers
5m	3m	3m

Spill containment

- (1) Spill containment systems shall not bring together two or more hazardous chemicals (including any two incompatible substances of the same class) that are not compatible (including common drains);
- (2) Package stores including those storing solids only shall be provided with a bund that complies with all of the following:
 - (a) is impervious;
 - (b) constructed or lined with a material that is compatible with the corrosive substance(s) to be stored;
 - (c) capable of holding liquid when full;
 - (d) sloped to a low point or sump;
 - (e) provided with a means of being emptied;
 - (f) has an internal volume \geq 35 per cent of the aggregate storage capacity but need not exceed 5,500 L;
 - (g) Where liquid IBCs are stored, the distance between a bund wall and the nearest IBC shall be \geq 50 per cent the distance between the top of the highest IBC tank and the top of the closest bund wall. (See figure CS1.1 in section 4.9 for guidance. Impervious shields may be used to extend bund wall heights);
 - (h) is provided with restraints or barriers to prevent packages falling outside of the bund if packages are positioned closer than 1m from a bund wall.

Ventilation

- (1) Package stores shall be provided with ventilation to allow for corrosive vapours to dissipate. Ventilation shall be in the form of an open wall or vent;
- (2) An open wall means any external wall that is completely open above the top of the bund wall or a wall of fixed louvers or wire mesh having a minimum of 50 per cent of its area are openings;
- (3) A vent means 2 x openings in an external wall with a minimum free surface area of 0.1 m²

- with one located directly above the top of a bund wall and the other above the highest package;
- (4) Any vent that passes through a cavity wall must be lined to prevent vapours from escaping into a wall cavity. Package stores shall be provided with at least one of the following ventilation systems:
- (a) two or more open walls; or
 - (b) one open wall, provided it is longer than it is wide; or
 - (c) one open wall and vents in the opposite or adjacent wall at a minimum of every 3 m; or
 - (d) two opposite walls provided with vents a minimum of every 3m; or
 - (e) for package stores >6 m long and <5 m wide, vents in the longest wall \leq every 1.4 m.

Impact avoidance

- (1) Impact damage caused by fork-lift trucks or other moving equipment against racking uprights shall be avoided by the protection of corner uprights as follows:
- (a) An upright protector with a height of not less than 400 mm shall be positioned at the end upright of each run of racking between cross-aisles;
 - (b) An upright protector shall be positioned at all those uprights positioned at aisle and gangway intersections;
 - (c) The upright protector shall be designed for energy absorption of ≥ 400 Nm in any direction at any height between 0.1 m and 0.4 m;
 - (d) The upright protector shall be positioned in such a way that, after its deformation by absorbing an impact, the upright will not be damaged.

Note – As an alternative to the use of upright protectors, the installation may be designed to survive the complete removal of a section at the bottom of an upright.

Fire safety

- (1) Package stores shall be provided with a 24 hr monitored fire detection system and $\geq 1 \times 9$ kg ABE fire extinguisher, within 10m but no closer than 3 m.

Security

- (1) A package store shall be kept under lock-and-key.

Corrosive substances in tanks

General requirements

- (1) Underground tanks are not permitted;
- (2) Separation distances shall be achieved by open air only and measurement across a property boundary is not permitted for self-assessable development;
- (3) Separation distances shall be measured from the outermost external surface of a tank, fill point or dispenser. Separation distances for spill compounds (bund) shall be measured from the inside edge of the bund walls. Tanks shall be located ≥ 1 m from any wall to allow access for inspection and maintenance;
- (4) Spill compounds and tank supporting structures shall be constructed of fire resistant materials only;
- (5) ADG Code compliant isotainers and intermodal tanks are considered tanks for the purposes of this code. Aboveground tanks shall not be stacked on top of each other;
- (6) Where the base of any tank containing >10,000 L of PGIII is lower than a relevant flood height level identified in a local government’s flood hazard area such a tank shall be anchored so it cannot float if submerged or inundated by water; and, any opening not provided with a liquid tight seal, i.e. an atmospheric vent, shall be extended above the relevant flood height level.

Siting and separation

- (1) Tanks, not including fire-rated double walled tanks, shall be separated from property boundaries and on-site protected places by \geq Table CS2;
- (2) Fire-rated self banded tanks shall be separated from property boundaries and on-site protected places by ≥ 50 per cent Table CS2;

- (3) Tank bunds shall be separated from property boundaries and on-site protected places by ≥ 3 m;
- (4) Any two tanks containing corrosive substances compatible with each other shall be separated by ≥ 600 mm;
- (5) Corrosive substances shall be segregated from any other substance that it may react dangerously with, including another corrosive substance, by a minimum of 5 m and stored in separate spill compounds;
- (6) Any fill or dispensing point for a corrosive tank containing PGII shall be located ≥ 5 m from property boundaries and on-site protected places;
- (7) Fill and dispensing points for corrosive tanks containing PGIII shall be located >3 m from property boundaries and on-site protected places;
- (8) Tank fill points shall be adequately located to ensure delivery vehicles:
 - (a) can park entirely inside the property boundaries;
 - (b) are not required to enter a tank bund;
 - (c) are capable of exiting the fill point area without reversing.
- (9) Separation distances from fill or dispensing points may be measured around an intervening screen wall if it is a minimum of 1m higher than the fill or dispensing points, impervious to liquid and vapour, immune to attack by the corrosive substances kept and acts as a shield/deflection barrier.

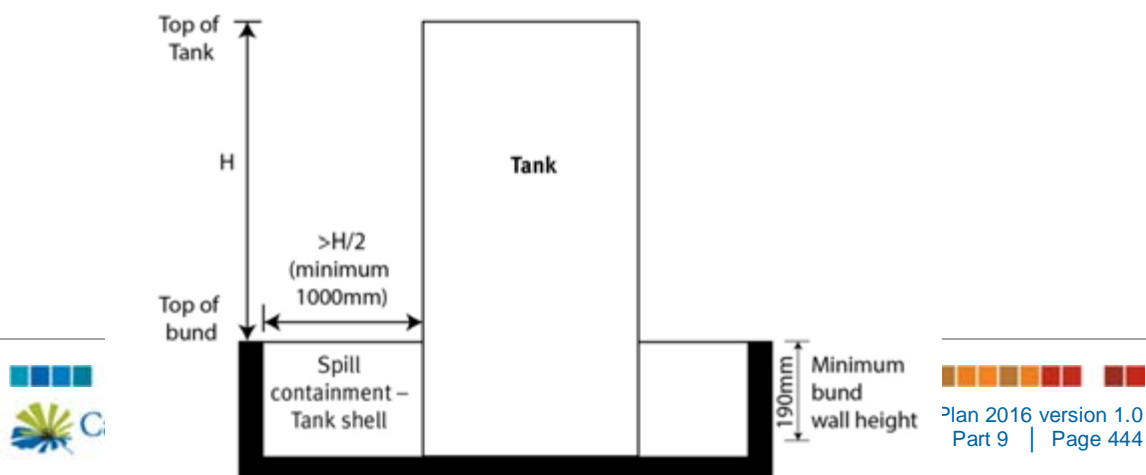
Table CS2

Tank size	PGII or PGIII	
	Solid	Liquid
2 500 – 3000L	3m	3m
3 000 – 50 000L	3m	5m
>50 000L	5m	8m

Spill containment – tank shell

- (1) No two spill compounds containing incompatible substances or substances that may react dangerously with each other shall be connected to a common drain;
- (2) Tanks other than self bunded fire-rated tanks, shall be located inside a secondary spill compound/bund that complies with all of the following:
 - (a) is impervious;
 - (b) constructed or lined with a material compatible with the corrosive substance(s) kept;
 - (c) capable of holding liquid when full;
 - (d) sloped to a low point or sump;
 - (e) provided with a means of being emptied;
 - (f) free from pipe work penetrating through any bund walls;
 - (g) the distance between a bund wall and the nearest tank shall be \geq the distance between the top of the tank and the top of the bund wall or 1m, whichever is greater. (See figure CS1.1 for guidance. Impervious shields may be used to extend bund wall heights);
 - (h) has an internal volume equal to or greater than 110 per cent of the largest tank within the compound.

Figure CS1.1 An illustration of minimum bund wall height relative to tank height.



Impact avoidance

- (1) Tanks, other than those provided with masonry bunds >190 mm high or self bunded fire-rated tanks shall be provided with impact protection in accordance with at least one of the following;
- (a) core-filled metal bollards:
 - (i) minimum of 1.2 m high x 75 mm wide; and
 - (ii) buried a minimum of 500 mm deep below ground; and
 - (iii) spaced at a maximum of 1.3 m between any two posts or bollards required to separate a tank from a vehicle access area; and
 - (iv) a minimum of 1.5 m away from the side of the tank; or
 - (b) metal guardrail a minimum of 700 mm high with posts buried a minimum of 500 mm deep and located a minimum of 1.5 m from the tank; or
 - (c) a chain-wire metal fence a minimum of 1.8m high with a minimum of 50 mm steel posts buried a minimum of 600 mm deep and located a minimum of 3 m from the tank; or
 - (d) a concrete or masonry kerb a minimum of 190 mm high and a minimum of 5 m from the tank.

Security

- (1) Aboveground tanks shall be kept under lock and key.

Environmentally hazardous substances in package stores or tanks

General requirements

- (1) The lowest point of any package store containing >2,500 L of PGII or >10,000 L of PGIII environmentally hazardous substances shall be higher than any relevant flood height level identified in an area's flood hazard area. Alternatively, package stores are provided with impervious bund walls or racking systems higher than the relevant flood height level;
- (2) Where the base of any tank containing >2,500 L of PGII or >10,000 L of PGIII environmentally hazardous substances is lower than a relevant flood height level identified in a local government's flood hazard area, such a tank shall be anchored so it cannot float if submerged or inundated by water; and, any opening not provided with a liquid tight seal, i.e. an atmospheric vent, shall be extended above the relevant flood height level.

9.4.6 Infrastructure works code

9.4.6.1 Application

- (1) This code applies to development identified as requiring assessment against the Infrastructure works code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.6.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by and connected to infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
 - (b) development maintains high environmental standards;
 - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) development does not detract from environmental values or the desired character and amenity of an area.

9.4.6.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.6.3.a – Infrastructure works code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Works on a local government road	
<p>PO1 Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.</p>	<p>AO1.1 Footpaths/Pathways are located in the road verge and are provided for the hierarchy of road and located, designed and constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual.</p>
	<p>AO1.2 Kerb ramp crossovers are constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual.</p>
	<p>AO1.3 New pipes, cables, conduits or other required to cross existing footpaths; (a) are installed via trenchless methods; or (b) where footpath is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy – FNQROC Regional Development Manual and is not less than a 1.2 metre section.</p>

Performance outcomes	Acceptable outcomes
	<p>AO1.4 Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:</p> <ul style="list-style-type: none"> (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement. <p>Note – Figure 9.4.6.3.a provides guidance on meeting the outcomes.</p> <p>AO1.5 Decks, verandahs stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>
Accessibility structures	
<p>PO2 Development is designed to ensure they are accessible for people of all abilities and accessibility features do not impact on efficient and safe use of footpaths.</p>	<p>AO2.1 Accessibility structures are not located within the road reserve.</p> <p>AO2.2 Accessibility structures are designed in accordance with Australian Standard AS1428.3.</p> <p>AO2.3 When retrofitting accessibility features in existing buildings, all structures and changes of grade are contained within the boundaries of the lot and not within the road reserve.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifting devices.</p>
Water supply	
<p>PO3 An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>AO3.1 The premises is connected to Council’s reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO3.2 Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 30,000 litres and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>

Performance outcomes	Acceptable outcomes
Treatment and disposal of effluent	
<p>PO4 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p>AO4.1 The site is connected to Council’s sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO4.2 Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the Environmental Protection Policy (Water) 1997 and the proposed on site effluent disposal system is designed in accordance with the Plumbing and Drainage Act (2002).</p>
Stormwater quality	
<p>PO5 Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology. 	<p>AO5.1 A connection is provided from the premises to Council’s drainage system;</p> <p>or</p> <p>AO5.2 An underground drainage system is constructed to convey stormwater from the premises to Council’s drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy – FNQROC Regional Development Manual.</p> <p>AO5.3 A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.6.3.b and Table 9.4.6.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. <p>AO5.4 An erosion and sediment control plan demonstrates that release of sediment-laden stormwater is avoided for the nominated design storm, and minimised when the it is exceeded by addressing design objectives listed in Table 9.4.3.3.b for:</p> <ul style="list-style-type: none"> (a) drainage control;

Performance outcomes	Acceptable outcomes
	<p>(b) erosion controls; (c) sediment control; (d) water quality outcomes.</p> <p>A05.5 Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with the erosion and sediment control plan.</p> <p>A05.6 Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.3.3.b and Table 9.4.3.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the Environmental Protection Act 1994.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>
Non-tidal artificial waterways	
<p>PO6 Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <p>(a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (b) be compatible with existing tidal and non-tidal waterways; (c) perform a function in addition to stormwater management; (d) achieve water quality objectives.</p>	<p>A06.1 Development involving non-tidal artificial waterways ensures:</p> <p>(a) environmental values in downstream waterways are protected; (b) any groundwater recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included.</p> <p>A06.2 Non-tidal artificial waterways are located:</p> <p>(a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; (c) to avoid altering the natural hydrologic regime in acid sulphate soil and nutrient hazardous areas.</p> <p>A06.3 Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <p>(a) there is sufficient flushing or a tidal range of >0.3m; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or</p>

Performance outcomes	Acceptable outcomes
	<p>(c) there is no introduction of salt water into freshwater environments.</p> <p>AO6.4 Non-tidal artificial waterways are designed and managed for any of the following end-use purposes: (a) amenity (including aesthetics), landscaping or recreation; or (b) flood management, in accordance with a drainage catchment management plan; or (c) stormwater harvesting plan as part of an integrated water cycle management plan; or (d) aquatic habitat.</p> <p>AO6.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p>AO6.6 Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p> <p>AO6.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>
Wastewater discharge	
<p>PO7 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental management; (b) is treated to: (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters.</p>	<p>AO7.1 A wastewater management plan is prepared and addresses: (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best practice environmental management.</p> <p>AO7.2 The wastewater management plan is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) if wastewater discharge to waterways cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.</p> <p>AO7.3 Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so</p>

Performance outcomes	Acceptable outcomes
	<p>as to minimise the occurrence, frequency and intensity of algal blooms.</p> <p>AO7.4 Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> (a) avoids lowering groundwater levels where potential or actual acid sulphate soils are present; (b) manages wastewaters so that: <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and metals; (ii) holding times of neutralised wastewaters ensures the flocculation and removal of any dissolved iron prior to release; (iii) visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.
Electricity supply	
<p>PO8 Development is provided with a source of power that will meet its energy needs.</p>	<p>AO8.1 A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p>AO8.2 The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy – FNQROC Regional Development Manual.</p>
<p>PO9 Development incorporating padmount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p>AO9.1 Padmount electricity infrastructure is:</p> <ul style="list-style-type: none"> (a) not located on land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance. <p>AO9.2 Padmount electricity infrastructure within a building in an activity centre and is designed and located to enable an active street frontage.</p> <p>Note – Padmounts in buildings in activity centres should not be located on the street frontage.</p>

Performance outcomes	Acceptable outcomes
Telecommunications	
PO10 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	AO10.1 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.
PO11 Provision is made for future telecommunications services (e.g. fibre optic cable).	AO11.1 Conduits are provided in accordance with Planning scheme policy – FNQROC Regional Development Manual.
Road construction	
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site. (e) emergency vehicles.	AO12.1 The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy – FNQROC Regional Development Manual, for the particular hierarchy of road.
	AO12.2 There is existing road, kerb and channel for the full road frontage of the site.
	AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for safe passage of emergency vehicles.
Alternations and repairs to public utility services	
PO13 Infrastructure is integrated with and efficiently extends existing networks.	AO13.1 Development is designed to allow for efficient connection to existing infrastructure networks.
PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.	AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development; or AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy – FNQROC Regional Development Manual.
Construction management	
PO15 Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	AO15.1 Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and

Performance outcomes	Acceptable outcomes
	<p>equipment, of ground level and soils below the canopy of any retained vegetation;</p> <p>(d) removal from the site of all declared noxious weeds.</p>
<p>PO16 Existing infrastructure is not damaged by construction activities.</p>	<p>AO16.1 Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the <i>Transport Infrastructure Act 1994</i>.</p>
For assessable development	
High speed telecommunication infrastructure	
<p>PO17 Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p>AO17.1 No acceptable outcomes are provided.</p>
Trade waste	
<p>PO18 Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p> <ul style="list-style-type: none"> (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk. 	<p>AO18.1 No acceptable outcomes are provided.</p>
Fire services in developments accessed by common private title	
<p>PO19 Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p>AO19.1 Residential streets and common access ways within a common private title should have hydrants placed at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p>
	<p>AO19.2 Commercial and industrial streets and access ways within streets serving commercial properties such as factories, warehouses and offices should be provided with above or below ground fire hydrants at not more than 90 metre intervals and at each street intersection. Above ground fire hydrants should have dual valved outlets.</p>
<p>PO20 Hydrants are suitably identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the</p>	<p>AO20.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.	

Table 9.4.6.3.b – Stormwater management design objectives (Construction phase)

Issue	Design objectives
<p>Drainage control (Temporary drainage works)</p>	<ul style="list-style-type: none"> (1) Design life and design storm for temporary drainage works: <ul style="list-style-type: none"> (a) Disturbed area open for <12 months—1 in 2-year ARI event; (b) Disturbed area open for 12–24 months—1 in 5-year ARI event; (c) Disturbed area open for > 24 months—1 in 10-year ARI event. (2) Design capacity excludes minimum 150 mm freeboard. (3) Temporary culvert crossing—minimum 1 in 1-year ARI hydraulic capacity.
<p>Erosion control (Erosion control measures)</p>	<ul style="list-style-type: none"> (1) Minimise exposure of disturbed soils at any time. (2) Divert water run-off from undisturbed areas around disturbed areas. (3) Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other acceptable methods. (4) Implement erosion control methods corresponding to identified erosion risk rating.
<p>Sediment control (Sediment control measures, Design storm for sediment control basins, Sediment basin dewatering)</p>	<ul style="list-style-type: none"> (1) Determine appropriate sediment control measures using: <ul style="list-style-type: none"> (a) potential soil loss rate; or (b) monthly erosivity; or (c) average monthly rainfall. (2) Collect and drain stormwater from disturbed soils to sediment basin for design storm event: <ul style="list-style-type: none"> (a) design storm for sediment basin sizing is 80th% five-day event or similar. (3) Site discharge during sediment basin dewatering: <ul style="list-style-type: none"> (a) TSS < 50 mg/L TSS; (b) Turbidity not >10% receiving waters turbidity; (c) pH 6.5–8.5.
<p>Water quality (Litter and other waste, hydrocarbons and other contaminants)</p>	<ul style="list-style-type: none"> (1) Avoid wind-blown litter; remove gross pollutants. (2) Ensure there is no visible oil or grease sheen on released waters. (3) Dispose of waste containing contaminants at authorised facilities.
<p>Waterway stability and flood flow management (Changes to the natural waterway hydraulics and hydrology)</p>	<ul style="list-style-type: none"> (1) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the

Issue	Design objectives
	site

Table 9.4.6.3.c – Stormwater management design objectives (post-construction phase)

Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5 mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% impervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of the contributing catchment area.</p>
<p>Waterway stability management</p> <p>(1) Limit the peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p> <p>For peak flow for the 100% AEP event, use collocated storages to attenuate site discharge rate of stormwater.</p>

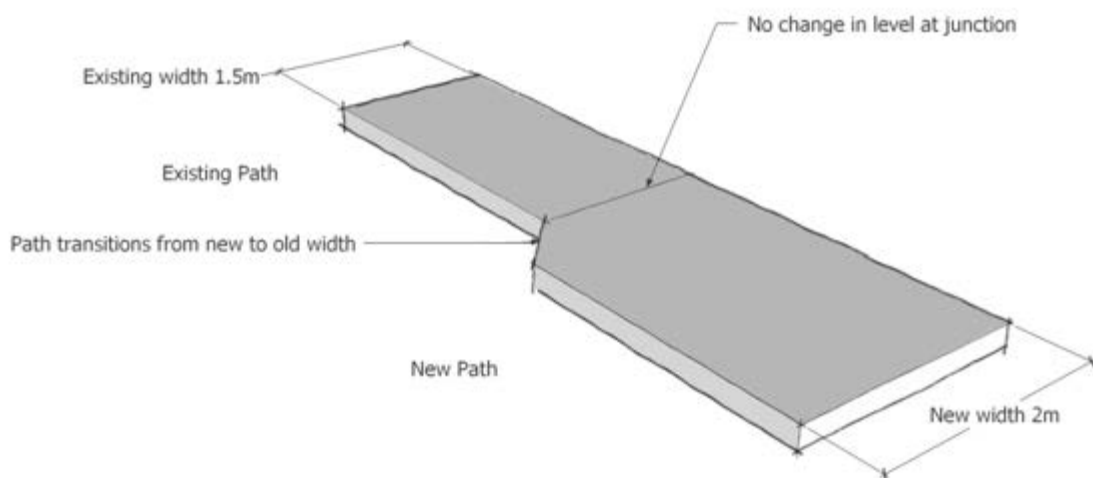


Figure 9.4.6.3.a – New footpath sections

9.4.7 Landscaping code

9.4.7.1 Application

- (1) This code applies to development identified as requiring assessment against the Landscaping code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.7.2 Purpose

- (1) The purpose of the Landscaping code is to ensure that landscaping is provided to enhance the tropical amenity and character of the region.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the landscape character of the region is retained, promoted and enhanced through high quality landscape works;
 - (b) the natural environment of the region is enhanced;
 - (c) the visual quality, amenity and identity of the region is enhanced;
 - (d) attractive streetscapes and public places are created through landscape design;
 - (e) as far as practical, existing vegetation on site is retained, and protected during works and integrated with the built environment;
 - (f) landscaping is provided to enhance the tropical landscape character of development and the region;
 - (g) landscaping is functional, durable, contributes to passive energy conservation and provides for the efficient use of water and ease of ongoing maintenance;
 - (h) landscaping takes into account utility service protection;
 - (i) weed species and invasive species are eliminated from development sites;
 - (j) landscape design enhances personal safety and incorporates CPTED principles.

9.4.7.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.7.3.a – Landscaping code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Landscape design	

Performance outcomes	Acceptable outcomes
<p>PO1 Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the region by:</p> <ul style="list-style-type: none"> (a) promoting the region’s character as a tropical environment; (b) softening the built form of development; (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape; (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development; (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas; (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces; (g) ensuring private outdoor recreation space is useable; (h) providing long term soil erosion protection; (i) providing a safe environment; (j) integrating existing vegetation and other natural features of the premises into the development; (k) not adversely affecting vehicular and pedestrian sightlines and road safety. 	<p>AO1.1 Development provides landscaping in accordance with the minimum area, dimensions and other requirements of applicable development codes.</p> <p>or</p> <p>AO1.2 A minimum of 10% of the site is landscaped.</p> <hr/> <p>AO1.3 Development provides landscaping:</p> <ul style="list-style-type: none"> (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy – Landscaping; (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy – Landscaping. <p>Note – Planning scheme policy – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning scheme policy is one way to achieve this outcome.</p>
For assessable development	
Landscape character, streetscape and planting	
<p>PO2 Landscaping contributes to a sense of place, is functional to the surroundings, enhances the streetscape and visual appearance of the development and reflects the concept of a ‘city in a rainforest’.</p> <p>Note – Landscaping is in accordance with the requirements specified in Planning scheme policy – Landscaping.</p> <p>Note – Planning scheme policy- Tropical urbanism provides guidance on meeting the performance outcome.</p>	<p>AO2.1 No acceptable outcomes are provided.</p>
<p>PO3 Development provides landscaping that, as far as practical, is consistent with the existing desirable landscape character and elements of the area and protects trees, vegetation and other features of ecological, recreational,</p>	<p>AO3.1 Existing vegetation on site is retained and incorporated into the site design, wherever possible.</p> <hr/> <p>AO3.2 Mature vegetation on the site that is removed</p>

Performance outcomes	Acceptable outcomes
aesthetic and cultural value.	or damaged during development is replaced with advanced species.
	AO3.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development.
	AO3.4 Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy – Landscaping.
PO4 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	AO4.1 Species are selected in accordance with Planning scheme policy – Landscaping.
PO5 Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	AO5.1 Species are selected in accordance with Planning scheme policy – Landscaping.
Maintenance and drainage	
PO6 Landscaped areas are designed in order to allow for efficient maintenance.	AO6.1 A maintenance program is undertaken in accordance with Planning scheme policy – Landscaping.
Podium planting	
PO7 Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper drainage.	AO7.1 Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out.
	AO7.2 Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.
Weeds and invasive species	
PO8 Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not reinfest the site and nearby premises.	AO8.1 Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.
Safety	
PO9 The landscape design enhances personal safety and reduces the potential for crime and vandalism. Note – Planning scheme policy – Crime prevention	AO9.1 No acceptable outcomes are provided.

Performance outcomes	Acceptable outcomes
through environmental design (CPTED) provides guidance on meeting this outcome.	
Utilities and services	
<p>PO10 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.</p>	<p>AO10.1 Species are selected in accordance with Planning scheme policy – Landscaping.</p>

9.4.8 Parking and access code

9.4.8.1 Application

- (1) This code applies to development identified as requiring assessment against the Parking and access code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.8.2 Purpose

- (1) The purpose of the code is to ensure that parking and access infrastructure and facilities are provided to service the demand of the development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) on-site vehicle and bicycle parking facilities are provided to accommodate the demand generated by the development.
 - (b) parking and access facilities are designed and constructed:
 - (i) in accordance with relevant standards;
 - (ii) to be convenient and accessible;
 - (iii) so that they do not adversely impact on the safety and efficiency of the surrounding road network;
 - (iv) so that they do not disrupt the on-street parking arrangements in the surrounding area.

9.4.8.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.8.3.a – Parking and access code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Parking rates	
<p>PO1 On-site vehicle and bicycle parking is provided to accommodate the demand generated by the development.</p>	<p>AO1.1 Development provides on-site car parking spaces not less than the minimum rates outlined in Table 9.4.8.3.b.</p> <p>Note – Where a conflict exists between the rates specified in Table 9.4.8.3.b and those proposed, a Traffic Impact Assessment Report prepared in accordance with Planning scheme policy – Parking and access is required to demonstrate that sufficient vehicle parking is provided for the development.</p> <hr/> <p>AO1.2 Development provides accessible vehicle parking spaces on-site not less than the minimum rates outlined in Table 9.4.8.3.c.</p> <p>Note – Accessible parking spaces are not required where less than five (5) vehicle parking spaces are required for the proposed development.</p>

Performance outcomes	Acceptable outcomes
	<p>AO1.3 Development provides on-site bicycle parking spaces not less than the minimum rates outlined in Table 9.4.8.3.d.</p> <p>Note – Variations to the rates contained in Table 9.4.8.3.b, 9.4.8.3.c and 9.4.8.3.d may be included in Part 7 Local Plans</p>
Parking space design	
<p>PO2 Vehicle parking spaces are designed and constructed in accordance with relevant standards.</p>	<p>AO2.1 Vehicle parking spaces are designed and constructed in accordance with Australian Standard:</p> <ul style="list-style-type: none"> (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.
Access requirements	
<p>PO3 Access points are designed and constructed:</p> <ul style="list-style-type: none"> (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles; (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements. (g) so that they do not adversely impact upon existing services within the road reserve adjacent to the site 	<p>AO3.1 Access is limited to one access crossover per site and is:</p> <ul style="list-style-type: none"> (a) An existing access point; or (b) an access point located, designed and constructed in accordance with: <ul style="list-style-type: none"> (i) Australian Standard AS2890.1; (ii) Planning scheme policy – FNQROC Regional Development Manual - access crossovers. <p>Note – Where development is for Dual occupancy, AO7.1 of the Dual occupancy code prevails over the number crossovers stated above.</p> <p>AO3.2 Access, including driveways or access crossovers:</p> <ul style="list-style-type: none"> (a) are not placed over an existing: <ul style="list-style-type: none"> (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer manhole; (iv) water valve or hydrant. (b) are designed to accommodate any adjacent footpath; (c) adhere to minimum sight distance in accordance with Australian Standard AS2890.1

Performance outcomes	Acceptable outcomes
	<p>AO3.3 Driveways are:</p> <ul style="list-style-type: none"> (a) designed to follow as close as possible to the existing contours but are no steeper than the gradients outlined in Planning scheme policy – FNQROC Regional Development Manual; (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres. On gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure that the crossfall of the driveway is one-way and directed into the hill, for vehicle safety and drainage purposes. (c) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve. (d) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the road, storm water drainage system.
For assessable development	
Parking area design	
<p>PO4 On-site parking areas are designed and constructed to:</p> <ul style="list-style-type: none"> (a) provide for shared vehicle (including cyclists) and pedestrian use; (b) provide for the desired character and amenity of the area in the vicinity of the development. 	<p>AO4.1 No acceptable outcomes are provided.</p>
<p>PO5 Vehicle, cyclist and pedestrian pathways are:</p> <ul style="list-style-type: none"> (a) delineated and identified with clear way-finding and awareness signage and markings; (b) establish clear and practical routes around the parking area; (c) separate users in high conflict areas; (d) discourage high speeds; (e) connected to the external transport network, including external existing and future bicycle paths in a safe and practical way. 	<p>AO5.1 Vehicle, cyclist and pedestrian pathways are designed and constructed in accordance with Australian Standard:</p> <ul style="list-style-type: none"> (a) AS2890.1; (b) AS2890.3.
On street works	
<p>PO6 On-street parking may be provided in lieu of on-site parking where:</p> <ul style="list-style-type: none"> (a) development involves the re-use of an existing building; or (b) development does not front a major 	<p>AO6.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
<p>transport corridor as identified on the Transport network overlay maps contained in Schedule 2;</p> <p>(c) located within the immediate frontage of the site</p> <p>(d) designed and constructed in accordance with the relevant standards;</p> <p>(e) designed and constructed so as not to detract from the character and amenity of the surrounding streetscape.</p> <p>Note – A Traffic Impact Assessment Report prepared in accordance with Planning scheme policy – Parking and access is one way to demonstrate achievement of the Performance Outcome.</p> <p>Note – PO6 only applies to undertaking new on-street works. Existing on-street car parking spaces will not be considered as on-street works in lieu of on-site car parking.</p>	
End of trip facilities	
<p>PO7</p> <p>On-site end of trip facilities are incorporated into the design for the following developments:</p> <p>(a) office development with GFA greater than 2000m²; or</p> <p>(b) shop or shopping centre with a GFA greater than 2000m²; or</p> <p>(c) educational establishment with a GFA greater than 2000m²; or</p> <p>(d) hospital with a GFA greater than 2000m².</p>	<p>AO7.1</p> <p>End of trip facilities are provided, designed and constructed in accordance with:</p> <p>(a) Australian Standard AS2890.3;</p> <p>(b) The Queensland Development Code MP4.1.</p>
Service vehicle requirements	
<p>PO8</p> <p>Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <p>(a) in accordance with relevant standards;</p> <p>(b) so that they do not interfere with the amenity of the surrounding area;</p> <p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles on the site.</p>	<p>AO8.1</p> <p>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with Australian Standard AS 2890.1 and AS 2890.2.</p> <p>AO8.2</p> <p>Service and loading areas are contained wholly within the site.</p> <p>AO8.3</p> <p>The movement of service vehicles and service operations are designed so that they:</p> <p>(a) do not impede access to parking spaces;</p> <p>(b) do not impede vehicle or pedestrian traffic movement.</p>
Vehicle queuing requirements	
<p>PO9</p> <p>Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p>AO9.1</p> <p>Development provides adequate area for on-site vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including but not limited to the following land</p>

Performance outcomes	Acceptable outcomes
	<p>uses:</p> <ul style="list-style-type: none"> (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where involving a drive-through facility; (f) hotel, where involving a drive-through facility; (g) service station.
	<p>AO9.2 Queuing and set down areas are designed and constructed in accordance with Australian Standard AS2890.1.</p>

Table 9.4.8.3.b – Car parking requirements

Note - Where the number of spaces required is not a whole number, the number of spaces to be provided is the next highest whole number.

Note - Where the proposed development involves one or more land use, the minimum number of spaces for the proposed development will be calculated using the minimum number of spaces specified for each land use component.

Land use	Minimum number of spaces
Adult store	1 space per 25m ² of GFA
Agricultural supplies store	1 space per 50m ² of GFA and outdoor display area
Brothel	1 space per bedroom
Bulk landscape supplies	1 space per 25m ² of GFA of Office
Caretaker's accommodation	A minimum of 1 space
Cemetery	A minimum of 30 spaces
Child care centre	<ul style="list-style-type: none"> (a) 1 space per 10 children; and (b) 1 space per employee. <p>Note – space for set down and pick up areas is provided in accordance with the vehicle queuing requirements detailed in this code.</p>
Club and Club (small scale)	1 space per 25m ² of GFA
Community care centre	1 space per 20m ² of GFA
Community residence	A minimum of 2 spaces
Community use	1 space per 15m ² of GFA
Crematorium	1 space per 15m ² of GFA
Dual occupancy	<ul style="list-style-type: none"> (a) A minimum of 2 spaces per dwelling, which may be in tandem, with a minimum of 1 covered space per dwelling; or (b) A maximum of one space per dwelling, where an existing house on the site is retained in a Neighbourhood character area.

Land use	Minimum number of spaces
Dwelling house	<p>(a) 2 car parking spaces per dwelling house.</p> <p>Where involving a secondary dwelling: (a) The 2 car parking spaces per dwelling house; (b) 1 space for the secondary dwelling.</p> <p>Note – The car parking requirement for a Dwelling house is contained within the Queensland Development Code</p>
Dwelling unit	<p>(a) 1.5 spaces per one or 2 bedroom unit; or (b) 2 spaces per 3 bedroom unit</p>
Educational establishment	<p>(a) 1 space per employee; plus</p> <p>Where for a secondary school, college, university or technical institute: (a) 1 space per 10 students.</p> <p>Note - space for set down and pick up areas is provided in accordance with the vehicle queuing requirements detailed in this code.</p> <p>Note – where the type of Educational establishment is not listed above, the use is considered to be 'not otherwise specified in this table'. Refer to the last row of this table for the minimum number of spaces required.</p>
Food and drink outlet	<p>1 space per 25m² GFA and outdoor dining area</p> <p>Note - space for queuing of vehicles for drive through facilities is provided in accordance with the vehicle queuing requirements detailed in this code.</p>
Function facility	1 space per 15m ² of GFA
Funeral parlour	1 space per 15m ² of GFA
Garden centre	1 space per 50m ² of GFA and outdoor display area
Hardware and trade supplies	1 space per 50m ² of GFA and outdoor display area
Health care services	1 space per 20m ² of GFA
High impact industry	1 space per 100m ² of GFA
Home based business	<p>Where for a bed and breakfast: (a) The 2 car parking spaces required for the dwelling house; (b) 1 space per bed and breakfast bedroom.</p> <p>Where for any other Home based business: (a) The 2 car parking spaces required for the dwelling house; (b) 1 space per non-resident employee; (c) 1 space per 25m² of GFA.</p> <p>Note – The car parking requirement for a Dwelling house is contained within the Queensland Development Code</p>
Hospital	<p>(a) 1 space per 4 beds; (b) 2 spaces per consulting room; (c) 0.5 spaces per employee.</p>
Hotel	<p>(a) 1 space per 15m² of GFA and licensed outdoor area; and (b) 1 space per 50m² of GFA for liquor barn or bulk liquor sales area.</p>
Indoor sport and recreation	<p>Where for Squash courts: (a) 4 spaces per court.</p>

Land use	Minimum number of spaces
	<p>Where for Indoor sports (e.g. basketball, netball, soccer, cricket): (a) 20 spaces per court / pitch.</p> <p>Where for Ten pin bowling: (a) 3 spaces per bowling lane.</p> <p>Where for a Gymnasium: (a) 1 space per 15m² of GFA; or (b) 1 space per 25m² GFA where located in a Centre zone.</p> <p>Note – Where the type of Indoor sport and recreation is not listed above, the use is considered to be 'not otherwise specified in this table'. Refer to the last row of this table for the minimum number of spaces required.</p> <p>Note – Centre zones are defined in Schedule 1.2.</p>
Low impact industry	<p>(a) 1 space per 100m² of GFA; or</p> <p>Where for motor vehicle repair workshop: (b) 1 space per 50m² GFA.</p>
Marine industry	1 space per 100m ² of GFA
Medium impact industry	<p>(a) 1 space per 100m² of GFA; or</p> <p>Where for motor vehicle repair workshop: (b) 1 space per 50m² GFA.</p>
Multiple dwelling	<p>(a) 1.25 spaces per one or 2 bedroom unit; or (b) 1.75 spaces per 3 or more bedroom unit; and (c) 0.25 spaces per unit for visitors.</p> <p>or</p> <p>Where the site is located within the Building height overlay or the Cairns city centre local plan as shown on the maps contained in Schedule 2: (a) 1 space per one or 2 bedroom unit; or (b) 1.5 spaces per 3 or more bedroom unit; and (c) 1 spaces per 10 units for visitors.</p>
Nature based tourism	<p>(a) 1 space per lodge, hut, tent site or cabin; (b) 0.1 space per lodge, hut, tent site or cabin for visitor parking; (c) 1 space for an on-site manager.</p>
Office	1 space per 25m ² of GFA
Outdoor sales	1 space per 25m ² GFA of Office
Outdoor sport and recreation	<p>Where for Football fields: (a) 50 spaces per field.</p> <p>Where for Lawn bowls: (a) 30 spaces per green.</p> <p>Where for a Swimming pool: (a) 15 spaces.</p> <p>Where for Tennis courts: (a) 4 spaces per court.</p> <p>Where for Netball courts:</p>

Land use	Minimum number of spaces
	<p>(a) 20 spaces per court.</p> <p>Where for a Golf course:</p> <p>(a) 4 spaces per tee on the course.</p> <p>Where for a Driving or Firing Range:</p> <p>(a) 1 space per tee or firing station</p> <p>Note – where the type of Outdoor sport and recreation is not listed above, the use is considered to be ‘not otherwise specified in this table’. Refer to the last row of this table for the minimum number of spaces required.</p>
Place of worship	1 space per 15m ² of GFA
Relocatable home park	<p>(a) 1 space per relocatable home site;</p> <p>(b) 0.1 space per relocatable home site for visitor parking;</p> <p>(c) 1 space for on-site management.</p>
Research and technology industry	1 space per 100m ² of GFA.
Residential care facility	<p>(a) 1 space per 10 beds;</p> <p>(b) 0.5 spaces per bed for visitor parking;</p> <p>(c) 0.5 spaces per employee.</p>
Resort complex	<p>Use the minimum number of spaces for each land use component of the Resort complex.</p> <p>Note – For example, where the development involves a Short-term accommodation and a Food and drink outlet, the minimum number of spaces for the Resort complex will be calculated using the minimum number of spaces specified for Short-term accommodation and Food and drink outlet.</p>
Retirement facility	<p>Where for self-contained accommodation units:</p> <p>(a) 1 space per accommodation unit;</p> <p>(b) 0.25 spaces per unit for visitor parking;</p> <p>(c) 0.5 spaces per employee.</p> <p>Where for all other accommodation units:</p> <p>(a) 1 space per 5 accommodation units;</p> <p>(b) 0.25 spaces per unit for visitor parking;</p> <p>(c) 0.5 spaces per employee.</p>
Rooming accommodation	<p>(a) The greater of 1 space per 2 bedrooms or 1 space per 4 beds;</p> <p>(b) 1 space for on-site management (where applicable).</p>
Sales office	A minimum of 1 space
Service industry	1 space per 100m ² of GFA
Service station	1 space per 25m ² of GFA
Shop	1 space per 25m ² of GFA
Shopping centre	<p>(a) 1 space per 25m² GFA;</p> <p>(b) 1 space per 100m² of internal storage and loading.</p> <p>Note – Internal storage and loading areas are those areas used by shops or tenancies within the shopping centre for storage and loading of products or goods.</p>
Short-term accommodation	<p>Where for self-contained accommodation units:</p> <p>(a) 1.25 spaces per one or 2 bedroom accommodation unit;</p> <p>(b) 1.75 spaces per 3 or more bedroom accommodation unit;</p> <p>(c) 0.25 spaces per accommodation unit for visitors, staff and</p>

Land use	Minimum number of spaces
	<p>service vehicles;</p> <p>Where for non-self-contained accommodation units:</p> <p>(a) 0.5 spaces per accommodation unit;</p> <p>(b) 0.25 spaces per accommodation unit for visitors, staff and service vehicles;</p> <p>Where for self-contained accommodation units and on a site located within the Building height overlay or the Cairns city centre local plan as shown on the maps contained in Schedule 2:</p> <p>(a) 1 space per one or 2 bedroom accommodation unit; or</p> <p>(b) 1.5 spaces per 3 or more bedroom accommodation unit; and</p> <p>(c) 1 spaces per 10 accommodation units for visitors, staff and service vehicles;</p> <p>Where for non-self-contained accommodation units and on a site located within the Building height overlay or the Cairns city centre local plan as shown on the maps contained in Schedule 2:</p> <p>(a) 0.25 spaces per accommodation unit;</p> <p>(b) 1 space per 10 accommodation units for visitors, staff and service vehicles;</p> <p>Where for Backpackers accommodation:</p> <p>(a) 1 space per 10 beds.</p> <p>Note – Where developments include ‘dual key’ units, each unit is counted as one accommodation unit for the purposes of calculating car parking spaces.</p> <p>Note – where the type of Short-term accommodation is not listed above, the use is considered to be ‘not otherwise specified in this table’. Refer to the last row of this table for the minimum number of spaces required.</p>
Showroom	<p>(a) 1 space per 50m² of GFA;</p> <p>(b) 1 space per 50m² GFA and outdoor display area for any Outdoor sales component.</p>
Special industry	1 space per 100m ² of GFA
Theatre	1 space per 15m ² of GFA
Veterinary services	1 space per 25m ² of GFA
Warehouse	1 space per 100m ² of GFA
Any use not otherwise specified in this table.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.

Table 9.4.8.3.c – Accessible parking requirement

Land use	Minimum number of spaces
Resort complex Retirement facility Rooming accommodation Short term accommodation	<p>Calculated by multiplying the total number of car parking spaces by the percentage of:</p> <p>(a) accessible self-contained units to the total number of sole occupancy units; or</p> <p>(b) accessible bedrooms to the total number of bedrooms.</p> <p>Note – For the purposes of calculating parking spaces required above – An accessible self-contained unit or bedroom means a self-contained unit or bedroom that has features to enable use by people with a disability.</p>
Community care centre	1 space for every 100 car parking spaces or part thereof.

Land use	Minimum number of spaces
Residential care facility	
Agricultural supplies store Bulk landscape supplies Garden centre Hardware and trade supplies High impact industry Low impact industry Marine industry Medium impact industry Office Outdoor sales Sales office Service industry Showroom Warehouse	1 space for every 100 car parking spaces or part thereof.
Adult Store Brothel Car Wash Food and Drink Outlet Home Based Business Hotel Market Service Station Shop Shopping Centre Veterinary Services	(a) up to 1000 car parking spaces - 1 space for every 50 car parking spaces or part thereof; (b) for each additional 100 car parking spaces or part thereof in excess of 1000 car parking spaces – 1 space.
Health care services	1 space for every 50 car parking spaces or part thereof.
Hospital	Where for any non-outpatient area: (a) 1 space for every 100 car parking spaces or part thereof. Where for any outpatient area: (a) up to 1000 car parking spaces - 1 space for every 50 car parking spaces or part thereof; (b) for each additional 100 car parking spaces or part thereof in excess of 1000 car parking spaces – 1 space.
Child care centre Club Community use Crematorium Function facility Funeral parlour Indoor sport and recreation Major sport, recreation and entertainment facility Nightclub entertainment facility Outdoor sport and recreation Place of worship Theatre Tourist attraction	(a) up to 1000 car parking spaces - 1 space for every 50 car parking spaces or part thereof; (b) for each additional 100 car parking spaces or part thereof in excess of 1000 car parking spaces – 1 space.
Educational establishment	1 space for every 100 car parking spaces or part thereof.

Note – Where the number of spaces required is not a whole number, the number of spaces to be provided is the next highest whole number.

Table 9.4.8.3.d – Bicycle parking requirements

Land use	Minimum number of spaces
Club	1 space per 200m ² of GFA
Community use	1 space per 200m ² of GFA
Educational establishment	<p><u>Where for a Primary educational establishment:</u> (a) 1 per 10 students over year 4.</p> <p><u>Where for a Secondary educational establishment:</u> (a) 1 per 10 students.</p> <p><u>Where for a Tertiary educational establishment:</u> (a) 1 per 50 students.</p>
Food and drink outlet	1 space per 250m ² of GFA
Function facility	1 space per 500m ² of GFA
Hardware and trade supplies	1 space per 500m ² of GFA
Health care services	1 space per 250m ² of GFA
Hospital	1 space per 500m ² of GFA
Hotel	1 space per 250m ² of GFA
Indoor sport and recreation	<p>Where for Squash courts: (a) 1 space per court.</p> <p>Where for Indoor sports (e.g. soccer, cricket, basketball, netball): (a) 2 spaces per court.</p> <p>Where for Ten pin bowling: (a) 1 space per bowling lane.</p> <p>Where for a Gymnasium: (a) 1 space per 200m² of GFA.</p>
Multiple dwelling	1 space per dwelling unit which may be provided as internal storage areas for the multiple dwelling.
Office	1 space per 250m ² of GFA
Outdoor sport and recreation	<p>Where for Football fields: (a) 3 spaces per field.</p> <p>Where for Lawn bowls: (a) 5 space per green</p> <p>Where for a Swimming pool: (a) 1 space per swimming lane</p> <p>Where for Tennis courts:</p>

Land use	Minimum number of spaces
	<p>(a) 1 space per court</p> <p>Where for Netball Courts: (a) 3 spaces per court</p> <p>Where for a Golf Course: (a) 1 space per 15m² of GFA for Club for clubhouse component</p> <p>Where for a Driving or Firing Range: (a) 1 space per 4 tees or firing stations.</p>
Place of worship	1 space per 250m ² of GFA
Service station	1 space per 250m ² of GFA
Shop	1 space per 250m ² of GFA
Shopping centre	<p>(a) 0m² GFA – 5,000m² GFA - 1 space per 250m² of GFA; or</p> <p>(b) Greater than 5,001m² GFA – 1 space per 500m² GFA</p>
Showroom	1 space per 500m ² of GFA
Theatre	1 space per 250m ² of GFA

Note - Where the number of spaces required is not a whole number, the number of spaces to be provided is the next highest whole number.

9.4.9 Reconfiguring a lot code

9.4.9.1 Application

- (1) This code applies to assessing a development application for Reconfiguring a lot.
- (2) When using this code, reference should be made to Part 5.

9.4.9.2 Purpose

- (1) The purpose of the Reconfiguring a lot code is to ensure that development:
 - (a) contributes to a high standard of amenity;
 - (b) results in lots that are suitable for their intended use;
 - (c) results in lots that are orientated to respond to local climatic conditions;
 - (d) is responsive to land constraints;
 - (e) provides lawful and practical access arrangements;
 - (f) provides infrastructure and services to new lots and communities.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development results in a well-designed pattern of streets supporting walkable communities;
 - (b) lots have sufficient areas, dimensions and shapes to be suitable for their intended use, taking into account environmental features and site constraints;
 - (c) lot configuration and orientation facilitates climate responsive design;
 - (d) road networks provide connectivity that is integrated with adjoining existing or planned development while also catering for the safe and efficient access for pedestrians, cyclists and for public transport;
 - (e) lots are arranged to front all streets and parkland such that development enhances personal safety, traffic safety, property safety and security; and contributes to streetscape and open space quality;
 - (f) development does not diminish environmental and scenic values;
 - (g) people and property are not placed at risk from natural hazards;
 - (h) a range of functional parkland, including local and district parks, major areas of parkland with a region-wide focus and open space links are available for the use and enjoyment of residents and visitors to the region;
 - (i) the appropriate standard of infrastructure is provided and the potential safety and amenity impacts associated with infrastructure provision are minimised.

9.4.9.3 Criteria for assessment

Part A - Criteria for assessable development

Table 9.4.9.3.a – Reconfiguring a lot code – assessable development

Performance outcomes	Acceptable outcomes
For assessable development	
Lot areas and dimensions	
PO1 Lots have areas and dimensions that: <ol style="list-style-type: none"> (a) are consistent with the purpose and overall outcomes of the applicable zones or zone; (b) can accommodate land uses that are consistent with the purpose and overall outcomes of the applicable zone or zones; 	AO1.1 Lots comply with the lot reconfiguration outcomes in Table 9.4.9.3.b.
	AO1.2 Lots align with zone boundaries.
	AO1.3 New lots are generally rectangular in shape with functional areas for land uses intended by the

Performance outcomes	Acceptable outcomes
(b) are generally rectangular in shape.	zone. AO1.4 Boundary angles are not less than 45 degrees.
Climate and site responsive design	
PO2 The street design and lot orientation facilitates the construction of energy efficient buildings that respond to the local climate conditions by: (a) maximising solar access to the north; (b) minimising the extent of external walls facing to the east and west. (c) proportioning lots and building envelopes to accommodate energy efficient building orientation; (d) maximising access to prevailing winds to allow for air-permeability.	AO2.1 The lot design maximises the number of lots where the longest axis of the lot has a general east-west orientation. AO2.2 The street pattern maximises the number of streets running in a general north-south direction.
PO3 Development responds appropriately to its local context, natural systems and site features.	AO3.1 Existing site features such as: (a) significant vegetation and trees; (b) waterways and drainage paths; (c) vistas and vantage points are retained and/or are incorporated into open space, road reserves, near to lot boundaries or as common property.
Access	
PO4 Lots have safe, legal and practical access to a public road.	AO4.1 Each lot is provided with: (a) direct access to a gazetted road reserve; or (b) access to a gazetted road via a formal access arrangement registered on the title.
Safety	
PO5 Safety of users of the development and the surrounding community is considered and incorporated into the design of the reconfiguration. Note – Planning scheme policy – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.	AO5.1 No acceptable outcomes are provided.
Additional requirements for lots that are capable of further reconfiguration	
PO6 New lots that are of a size or shape capable of further reconfiguration are designed so the further reconfiguration will achieve: (a) sufficient area and dimensions to accommodate the appropriate intended land use; (b) the provision of a safe, efficient and effective infrastructure network; (c) limited proportions of rear allotments.	AO6.1 The ability to further reconfigure the site is demonstrated by submitting a concept plan that meets requirements for the applicable zone.

Performance outcomes	Acceptable outcomes
Additional requirements for the retention of existing buildings and structures	
<p>PO7 Where existing buildings or structures are to be retained, development results in:</p> <ul style="list-style-type: none"> (a) boundaries that offer rectangular lot shapes and usable spaces; (b) existing improvements complying with current building and amenity standards in relation to boundary setbacks. <p>Note – This may require buildings or structures to be modified, relocated or demolished to meet setback standards, resolve encroachments and the like.</p>	<p>AO7.1 Development ensures setbacks between existing buildings or structures and proposed boundaries satisfy relevant building standards or zone code requirements, whichever is the greater.</p>
Additional requirements for the creation of rear lots	
<p>PO8 Where rear lots are proposed, development:</p> <ul style="list-style-type: none"> (a) provides a high standard of amenity for residents and other users of the site and adjoining properties; (b) positively contributes to the character of adjoining properties and the area; (c) does not adversely affect the safety and efficiency of the road from which access is gained. 	<p>AO8.1 Where rear lots are proposed:</p> <ul style="list-style-type: none"> (a) the minimum area of the rear lot, exclusive of any access strip, complies with the lot reconfiguration outcomes in Table 9.4.9.3.b; (b) no more than 2 rear lots are located at the end of a cul-de-sac street; (c) rear lots are generally rectangular in shape; (d) no more than one rear lot is created behind any lot with a road frontage; (e) access strips to the rear lot are located on only one side of the front lot; (f) not more than 2 access strips to rear lots directly adjoin one another. <p>Note – Figure 9.4.9.3.a provides guidance on meeting the outcomes.</p> <p>AO8.2 Access strips are a minimum width of:</p> <ul style="list-style-type: none"> (a) 4.0 metres in a Residential zone; (b) not less than 8.0 metres in all other zones. <p>Note – Rear lots a generally not appropriate in non-Residential or non-Rural zones.</p> <p>Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>
Additional requirements for development within a Centre zone	
<p>PO9 Lot reconfiguration within a Centre zone results in a layout of lots that reinforce:</p> <ul style="list-style-type: none"> (a) a mix of adaptive buildings and continued centre activity uses; (b) large, rectangular shaped lots; (c) accessibility across land within the zone to key public transport and public places on adjacent roads and land. <p>Note – Refer to the definition of Centre zone contained in Schedule 1.2.</p>	<p>AO9.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
Additional requirements for development involving cane rail infrastructure	
<p>PO10 Development protects the cane rail network to support the on-going operation of the agricultural industry.</p>	<p>AO10.1 No acceptable outcomes are provided.</p> <p>Note – The cane rail network is shown on the Strategic framework maps and Transport network overlay maps contained in Schedule 2.</p>
Additional requirements for development on or adjacent to land within the rural zone	
<p>PO11 Lot reconfiguration on or adjacent to land within the Rural zone, provides an appropriate separation area on site to buffer development from impacts arising from uses which may occur on the land within the Rural zone.</p>	<p>AO11.1 No acceptable outcomes are provided.</p>
Additional requirements for rear laneways	
<p>PO12 Rear laneways in residential subdivisions are designed to:</p> <ul style="list-style-type: none"> (a) limit vehicular access to the lot via the laneway; (b) provide good passive surveillance along and across the rear laneway; (c) avoid continuous lines of garages and carports along the length of the rear laneway; (d) establish appropriately orientated lots; (e) discourage non-resident vehicular access. 	<p>AO12.1 Where rear laneways are used in residential subdivisions, they are designed to:</p> <ul style="list-style-type: none"> (a) be on a general north-south axis to avoid producing lots that have a long axis on an east-west orientation thereby minimising excessive heat from afternoon sun; (b) are no longer than 100 metres in length; (c) are not the primary access point for emergency vehicles; (d) include design treatments at either end to design a low speed environment; (e) maintain straight sightlines.
Additional requirements for the creation of small residential lots	
<p>PO13 Small residential lots are designed to a high standard of amenity for future communities and residents and the provision of a range of housing types.</p>	<p>AO13.1 Small residential lots are designed with a road frontage not less than 12 metres.</p>
	<p>AO13.2 Small lots are located and designed to ensure:</p> <ul style="list-style-type: none"> (a) vehicle parking areas are not a dominant feature of the future dwelling house and streetscape; (b) they are located adjacent to high amenity features of neighbourhoods (such as public open space or natural areas); (c) they are not the dominant lot type in neighbourhoods; (d) they avoid being located in clusters of more than 8 having the frontage to the same street.
	<p>AO13.3 Small lots are generally not less than 350m² except where design conditions can ensure that small lots meet AO13.2 and can also:</p> <ul style="list-style-type: none"> (a) provide for consistently designed and managed attached housing on individual lots; or

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (b) ensure dwelling houses can be managed through building envelopes; or (c) provide access to the rear of the lot by a laneway.
<p>Additional neighbourhood design requirements for:</p> <ul style="list-style-type: none"> a) a site included within the Emerging community zone; or (b) a site which is more than 5,000m² in any of the Residential zones; or (c) development involving the creation of new roads and/or public use land. <p>This part also applies to any application made under Section 242 of the <i>Sustainable Planning Act</i> which will involve, or enable future, lot reconfiguration.</p> <p>Note – This part is to be read in conjunction with the other parts of the code Note – Refer to the definition of Residential zones contained in Schedule 1.2.</p>	
<p>PO14 Development establishes a structured neighbourhood that provides for:</p> <ul style="list-style-type: none"> (a) integration with existing urban areas; (b) the growth of new communities with different lot layouts and neighbourhood blocks that provide for different land use intents over time; (c) a range of community infrastructure, including linear open space links, local open space which is adaptable to a variety of uses; (d) a network of interconnected roads and pathways which convey and connect local and wider vehicular traffic, public transport and active transport with activity centres, employment areas and focal points within communities; (e) a network of essential infrastructure including water, sewerage, electricity and telecommunications. <p>Note – A detailed structure plan prepared in accordance with Planning scheme policy – Structure planning is one way of demonstrating compliance with the performance outcomes.</p>	<p>AO14.1 No acceptable outcomes are provided.</p>
<p>PO15 Neighbourhood design results in a safe and connected network of walkable neighbourhoods.</p>	<p>AO15.1 Neighbourhood street networks provide an easy choice of routes within and to surrounding neighbourhoods, and connect to public transport, employment, open space and services.</p> <p>AO15.2 Development does not establish cul de sac streets unless:</p> <ul style="list-style-type: none"> (a) cul-de-sacs are a feature of the existing pattern of development in the area; (b) there is a physical feature or incompatible zone change that dictates the need to use cul de sac streets. <p>AO15.3 Where a cul de sac street is used, it:</p> <ul style="list-style-type: none"> (a) is designed to be no longer than 150 metres in length;

Performance outcomes	Acceptable outcomes
	<p>(b) is designed so that the end of the cul de sac is visible from its entrance;</p> <p>(c) provides connections from the top of the cul de sac to other streets for pedestrians and cyclists with a minimum width of 6 metres.</p>
<p>PO16 Neighbourhood design supports diverse housing choices through block sizes and lot design.</p>	<p>PO16.1 Changes in lot size and frontage widths are established to facilitate a mix of housing choice.</p>
<p>PO17 Neighbourhood design provides for non-residential uses appropriate to the respective zone and are focussed around local or neighbourhood activity centres, open space, community supportive uses and/or public transport.</p>	<p>AO17.1 Development provides opportunities for community facilities, services, public transport stops and parks to establish neighbourhood focal points.</p> <p>AO17.2 Neighbourhood focal points are located within 400m (measured according to the shortest route that reasonably may be used in travelling) of 90% of the proposed residences in the catchments that they are intended to service.</p>
<p>PO18 Lots surrounding neighbourhood focal points and activity centres are of a size that enables higher residential densities to support the facilities and/or public transport service.</p>	<p>AO18.1 No acceptable outcomes are provided.</p>
<p>PO19 Provision of physical and social infrastructure in developing residential neighbourhoods is facilitated through the orderly and sequential development of land.</p>	<p>AO19.1 No acceptable outcomes are provided.</p>
<p>PO20 Development provides land to:</p> <p>(a) meet the recreation needs of the community;</p> <p>(b) provide an amenity commensurate with the structure of neighbourhoods and land uses in the vicinity and adjacent to open space areas;</p> <p>(c) provide for green corridors and linkages.</p>	<p>AO20.1 No acceptable outcomes are provided.</p>
<p>PO21 Lot reconfiguration integrates major electricity infrastructure and substations within the overall neighbourhood layout. In particular, the neighbourhood design:</p> <p>(a) ensures land of sufficient size and suitability is allocated to accommodate the existing and future electricity infrastructure network;</p> <p>(b) as far as possible, minimises the likely visual prominence of electricity infrastructure;</p> <p>(c) provides for an interface or relationship</p>	<p>AO21.1 No acceptable outcomes are provided.</p>

Performance outcomes	Acceptable outcomes
with surrounding uses that minimises the potential for nuisance, health and safety concerns.	
<p>PO22 Major electricity infrastructure on private land is contained within an easement that satisfies the electricity provider’s requirements.</p>	<p>AO22.1 Existing easements for major electricity infrastructure are retained.</p> <p>or</p> <p>AO22.2 Where major electricity infrastructure is not contained within an easement, new easements are created that satisfy the electricity provider’s requirements.</p>
<p>PO23 Lot size, dimensions, frontage and orientation permits buildings to be established that will facilitate casual surveillance to open space.</p>	<p>AO23.1 Open space is regular in shape.</p> <p>AO23.2 At least 50% of the open space’s frontage is provided as road.</p> <p>AO23.3 Open space areas are positioned to be capable of being overlooked by surrounding development.</p> <p>Note – Figure 9.4.9.3.b provides guidance on meeting the outcomes.</p> <p>AO23.4 Surrounding lots are orientated so that facades will front and overlook the urban parkland and other open space.</p> <p>Note – Figure 9.4.9.3.b provides guidance on meeting the outcomes.</p> <p>AO23.5 The number of lots that back onto the urban parkland and other open space is minimised.</p> <p>Note – Figure 9.4.9.3.b provides guidance on meeting the outcomes.</p>
<p>PO24 Development provides a street pattern that caters for the extension of public transport routes and infrastructure including safe pedestrian pick-up and set-down facilities.</p>	<p>AO24.1 No acceptable outcomes are provided.</p>
<p>PO25 Private subdivisions (gated communities) do not compromise the establishment of connected and integrated infrastructure and open space networks.</p>	<p>PO25.1 No acceptable outcomes are provided.</p>
<p>PO26 The function of new roads is clearly identified and legible and provides integration, safety and convenience for all users.</p> <p>Note – The design and construction standards are set</p>	<p>AO26.1 No acceptable outcomes are provided.</p>



Performance outcomes	Acceptable outcomes
<p>out in Planning scheme policy – FNQROC Regional Development Manual, with reference to the specifications set out in Sections D1 and D3.</p>	
<p>PO27 Street design supports an urban form that creates walkable neighbourhoods and the design: (a) is appropriate to the function(s) of the street; (b) meets the needs of users and gives priority to the needs of vulnerable users.</p>	<p>AO27.1 No acceptable outcomes are provided.</p>

Table 9.4.9.3.b – Lot reconfiguration outcomes

Zone	Minimum lot sizes Minimum width and dimension ²	
Community facilities	No minimum lot size or road frontage is provided.	
Conservation	No minimum lot size or road frontage is provided. Note – Lot reconfiguration in the Conservation zone results in no additional lots, except where associated with a lease exceeding 10 years and associated with an existing or approved Telecommunications facility. The Conservation zone code contains additional lot reconfiguration outcomes.	
District centre	No minimum lot size or road frontage is provided. Note – The District centre zone code contains additional lot reconfiguration outcomes.	
Emerging community	40ha or As identified within an approved structure plan.	250m or As identified within an approved structure plan.
Environmental management	No minimum lot size or road frontage is provided. Note – Lot reconfiguration in the Environmental management zone results in no additional lots, except where associated with a lease exceeding 10 years and associated with an existing or approved Telecommunications facility. The Environmental management zone code contains additional lot reconfiguration outcomes.	
High impact industry	2000m ²	40m
Local centre	No minimum lot size or road frontage is provided. Note – The Local centre zone code contains additional lot reconfiguration outcomes.	
Low density residential	600m ²	15m
Low impact industry	800m ²	20m
Low-medium residential	450m ² or 350m ² (where compliant with the small residential lot provisions of this code)	12m
Major centre	No minimum lot size or road frontage is provided.	
Medium density residential	600m ²	15m
Medium impact industry	1000m ²	20m
Mixed use	800m ²	20m
Neighbourhood centre	No minimum lot size or road frontage is provided. Note – The Neighbourhood centre zone code contains additional lot reconfiguration outcomes	
Open space	No minimum lot size or road frontage is provided.	

² This is the minimum width of the lot measured at any point and the minimum dimension of any boundary. This excludes access strips.



Zone	Minimum lot sizes	Minimum width and dimension ²
Principal centre	No minimum lot size or road frontage is provided.	
Rural residential	4,000m ² , incorporating: (a) a minimum of 2000m ² which is exclusive of land with slopes exceeding 1 in 4 (25%); (b) a minimum dimension of 30 metres; (c) sufficient area to cater for on-site waste water management systems. or 2,000m ² (where serviced by reticulated sewerage infrastructure and adjoining land within a Residential zone. Note – refer to the definition of Residential zones contained in Schedule 1.2.	30m
Rural	40ha, unless: (a) the reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments to resolve encroachments); or (b) the reconfiguration is limited to one additional lot created to accommodate: (i) an emergency services facility; or (ii) water cycle management infrastructure; or (iii) waste management facility; or (iv) telecommunications infrastructure.	250m
Special purpose	No minimum lot size or road frontage is provided.	
Specialised centre	No minimum lot size or road frontage is provided.	
Sport and recreation	No minimum lot size or road frontage is provided.	
Tourism	No minimum lot size or road frontage is provided.	
Tourist accommodation	800m ²	20m
Township	600m ²	15m
Waterfront and marine industry	1000m ²	20m

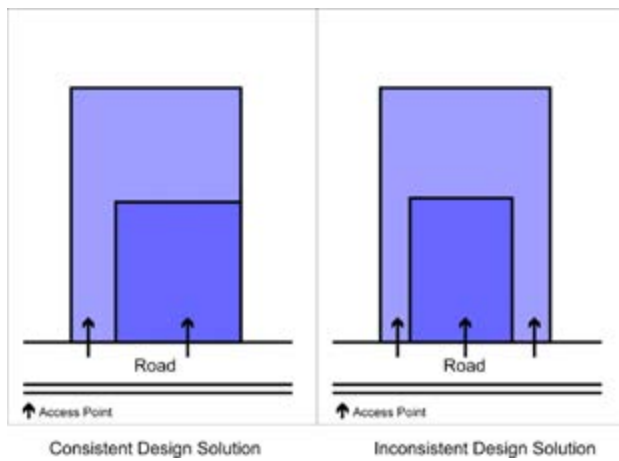


Figure 9.4.9.3.a – Design solutions for access



Figure 9.4.9.3.b – Consistent design solution for the orientation of lots surrounding open space and parkland

9.4.10 Vegetation management code

9.4.10.1 Application

- (1) This code applies to assessing development for or involving Vegetation damage.

Note – Refer to the definition of Vegetation damage contained in Schedule 1.3.

- (2) When using this code, reference should be made to Part 5.

9.4.10.2 Purpose

- (1) The purpose of the Vegetation management code is to ensure that vegetation damage occurs in an appropriate and sustainable manner.
- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) vegetation is protected from inappropriate damage;
 - (b) where vegetation damage does occur it is undertaken in a sustainable manner;
 - (c) significant trees are maintained and protected;
 - (d) biodiversity and ecological values are protected and maintained;
 - (e) habitats for rare, threatened and endemic species of flora and fauna are protected and maintained;
 - (f) landscape character and scenic amenity is protected and maintained;
 - (g) heritage values are protected and maintained.

9.4.10.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development

Table 9.4.10.3.a – Vegetation management – self-assessable and assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
Vegetation damage	
<p>PO1 Vegetation is protected to ensure that:</p> <ul style="list-style-type: none"> (a) the character and amenity of the local area is maintained; (b) vegetation damage does not result in fragmentation of habitats; (c) vegetation damage is undertaken in a sustainable manner; (d) the regions biodiversity and ecological values are maintained and protected; (e) vegetation of historical, cultural and / or visual significance is retained; (f) vegetation is retained for erosion prevention and slope stabilisation. 	<p>AO1.1 Vegetation damage is undertaken by a statutory authority land that the statutory authority has control over;</p> <p>or</p> <p>AO1.2 Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government;</p> <p>or</p> <p>AO1.3 Vegetation damage other than referenced to in AO1.1 or AO1.2 is the damage of:</p> <ul style="list-style-type: none"> (a) vegetation declared as a pest pursuant to the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>; or (b) vegetation identified within the local governments register of declared plants pursuant to the local governments local laws; or (c) vegetation which is an exotic species; or (d) vegetation on a lot less than 800m²; or

Performance outcomes	Acceptable outcomes
	<p>(e) vegetation is located within an urban area or the Rural residential zone and the trunk is located within six metres of an existing or approved building or structure or within 3 metres of a boundary fence; or</p> <p>(f) vegetation is located within the Rural zone and the trunk is located within ten metres of an existing or approved building or structure or within 3 metres of a boundary fence; or</p> <p>(g) vegetation is located within the Conservation zone or Environmental management zone and the trunk is located within 3 metres of an existing or approved structure, not including a boundary fence; or</p> <p>(h) vegetation which was planted for landscaping purposes; and</p> <p>(i) The damage is not the removal of a significant tree located on a site:</p> <ul style="list-style-type: none"> (i) identified the potential landslip hazard area identified on the Potential landslip hazard overlay maps contained in Schedule 2; or (ii) identified within the coastal scenery zone on the Landscape values overlay maps contained in Schedule 2; or (iii) identified as a place of local significance on the Places of significance overlay maps contained in Schedule 2. <p>or</p> <p>AO1.4 Vegetation damage that is reasonably necessary for carrying out work that is:</p> <ul style="list-style-type: none"> (a) authorised or required under legislation or a local law; (b) specified in a notice served by the local government or another regulatory authority; <p>or</p> <p>AO1.5 Vegetation damage for development where the damage is on land the subject of a valid development approval; and is necessary to give effect to the development approval;</p> <p>or</p> <p>AO1.6 Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the <i>Vegetation Management Act 1999</i> or current permit for the</p>



Performance outcomes	Acceptable outcomes
	<p>removal of vegetation granted under a local law;</p> <p>or</p> <p>AO1.7 Vegetation damage is undertaken on a lot within the Rural zone or Rural residential zone and the damage is for routine management, essential management or for property maintenance activities undertaken in accordance with a regular maintenance program;</p> <p>or</p> <p>AO1.8 Vegetation damage is essential for the survey of a property boundary by a licensed cadastral surveyor;</p> <p>or</p> <p>AO1.9 Vegetation damage is essential to the maintenance of an existing fire break;</p> <p>or</p> <p>AO1.10 Vegetation damage is essential to prevent interference to overhead service cabling;</p> <p>or</p> <p>AO1.11 Vegetation damage is part of a regular maintenance program for pruning to remove a portion of a tree that does not result in the removal of more than 15%, by volume, in any 12 month period;</p> <p>or</p> <p>AO1.12 Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the <i>Vegetation Management Act 1999</i>;</p> <p>or</p> <p>AO1.13 Vegetation damage is for a traditional Aboriginal or Torres Strait Islander cultural activity, other than a commercial activity;</p> <p>or</p> <p>AO1.14</p>

Performance outcomes	Acceptable outcomes
	Vegetation damage is undertaken in accordance with section 584 of the <i>Sustainable Planning Act 2009</i> .
<p>PO2 Vegetation damaged on a lot does not result in a nuisance</p>	<p>AO2.1 Damaged vegetation is removed and disposed of at an approved site;</p> <p>or</p> <p>AO2.2 Damaged vegetation is mulched or chipped and used onsite.</p>
<p>PO3 Vegetation damage does not result in the removal of a healthy, significant tree from the streetscape.</p>	<p>AO3.1 Vegetation damage does not result in the removal of a significant tree from whichever is the greater of:</p> <ul style="list-style-type: none"> (a) the setback between a building and the street front boundary; or (b) the area within six metres of the street front boundary. <p>or</p> <p>AO3.2 Vegetation damage is undertaken by a statutory authority on land that the statutory authority has control over.</p>
<p>PO4 Vegetation damage on a lot identified on the Neighbourhood Character Overlay does not result in a negative impact on or detract from the streetscape.</p>	<p>AO4.1 Vegetation damage results in the removal of vegetation other than a significant tree.</p> <p>or</p> <p>AO4.2 Vegetation damage is undertaken by a statutory authority on land that the statutory authority has control over.</p>
<p>PO5 Vegetation damage on a lot identified on Places of significance does not result in a negative impact on the sites heritage values.</p>	<p>AO5.1 Vegetation damage results in the removal of vegetation other than a significant tree.</p> <p>or</p> <p>AO5.2 Vegetation damage is undertaken by a statutory authority on land that the statutory authority has control over.</p>

Part 10 Other plans

10.1 Ports North Land Use Plan

Section 285 of the Transport Infrastructure Act 1994 requires each Port Authority to prepare a Land Use Plan. The Far North Queensland Ports Corporation Limited (Ports North) has prepared a [Land Use Plan](#) for all strategic port land under its control.

All development applications within strategic port land are assessed against the Land Use Plan, with Ports North as the assessment manager.

If land ceases to be strategic port land, the Land Use Plan, current at the date this planning scheme commenced, will continue to apply with Cairns Regional Council as the assessment manager.

10.2 Cairns Airport Land Use Plan

The [Cairns Airport Land Use Plan](#) has been prepared to satisfy the requirements of the *Airport Assets (Restructuring and Disposal) Act 2008*.

All development applications within airport land are assessed against the Land Use Plan with the Department of State Development, Infrastructure and Planning (DSDIP) as the assessment manager.

If land ceases to be airport land, the Land Use Plan, current at the date this planning scheme commenced, will continue to apply with Cairns Regional Council as the assessment manager.

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Schedule 1 Definitions

SC1.1 Use definitions

- (1) Use definitions have a specific meaning for the purpose of the planning scheme.
 - (2) Any use not listed in Table SC1.1.2 column 1 is an undefined use.
- Note – Development comprising a combination of defined uses is not considered to be an undefined use.
- (3) A use listed in Table SC1.1.2 column 1 has the meaning set out beside that term in column 2.
 - (4) The use definitions listed here are the definitions used in this planning scheme.
 - (5) Column 3 of Table SC1.1.2 identifies examples of the types of activities that are consistent with the use identified in column 1.
 - (6) Column 4 of Table SC1.1.2 identifies examples of activities that are not consistent with the use identified in column 1.
 - (7) Column 3 and 4 of Table SC1.1.2 are not exhaustive lists.
 - (8) Uses listed in Table SC1.1.2 columns 3 and 4 that are not listed in column 1, do not form part of the definition.

Table SC1.1.1 – Index of use definitions

ÿ Adult store	ÿ Health care services	ÿ Port services
ÿ Agricultural supplies store	ÿ High impact industry	ÿ Relocatable home park
ÿ Air services	ÿ Home based business	ÿ Renewable energy facility
ÿ Animal husbandry	ÿ Hospital	ÿ Research and technology industry
ÿ Animal keeping	ÿ Hotel	ÿ Residential care facility
ÿ Aquaculture	ÿ Indoor sport and recreation	ÿ Resort complex
ÿ Bar	ÿ Intensive animal industry	ÿ Retirement facility
ÿ Brothel	ÿ Intensive horticulture	ÿ Roadside stall
ÿ Bulk landscape supplies	ÿ Landing	ÿ Rooming accommodation
ÿ Caretaker's accommodation	ÿ Low impact industry	ÿ Rural industry
ÿ Car wash	ÿ Major electricity infrastructure	ÿ Rural workers' accommodation
ÿ Cemetery	ÿ Major sport, recreation and entertainment facility	ÿ Sales office
ÿ Child care centre	ÿ Marine industry	ÿ Service industry
ÿ Club	ÿ Market	ÿ Service station
ÿ Community care centre	ÿ Medium impact industry	ÿ Shop
ÿ Community residence	ÿ Motor sport facility	ÿ Shopping centre
ÿ Community use	ÿ Multiple dwelling	ÿ Short-term accommodation
ÿ Crematorium	ÿ Nature-based tourism	ÿ Showroom
ÿ Cropping	ÿ Nightclub entertainment facility	ÿ Special industry
ÿ Detention facility	ÿ Non-resident workforce accommodation	ÿ Substation
ÿ Dual occupancy	ÿ Office	ÿ Telecommunications facility
ÿ Dwelling house	ÿ Outdoor sales	ÿ Theatre
ÿ Dwelling unit	ÿ Outdoor sport and recreation	ÿ Tourist attraction
ÿ Educational establishment	ÿ Outstation	ÿ Tourist park
ÿ Emergency services	ÿ Park	ÿ Transport depot
ÿ Environment facility	ÿ Parking station	ÿ Utility installation
ÿ Extractive industry	ÿ Permanent plantation	ÿ Veterinary services
ÿ Food and drink outlet	ÿ Place of worship	ÿ Warehouse
ÿ Function facility		ÿ Wholesale nursery
ÿ Funeral parlour		ÿ Winery
ÿ Garden centre		
ÿ Hardware and trade supplies		

Table SC1.1.2 — Use definitions

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Adult store	Premises used as a shop where the primary purpose is for the display or sale of sexually explicit materials, products and devices associated with or used in a sexual practice or activity.	Sex shop.	Shop, newsagent, registered pharmacist or video hire, where the primary use of these are concerned with: <ul style="list-style-type: none"> • the sale, display or hire of printed or recorded matter (not of a sexually explicit nature); or • the sale or display of underwear or lingerie; or • the sale or display of an article or thing primarily concerned with or used in association with a medically recognised purpose.
Agricultural supplies store	Premises used for the sale of agricultural products and supplies including agricultural chemicals and fertilisers, seeds, bulk veterinary supplies, farm clothing, saddlery, animal feed and irrigation materials.		Bulk landscape supplies, garden centre, outdoor sales wholesale nursery.
Air services	Premises used for any of the following: <ul style="list-style-type: none"> • the arrival and departure of aircraft; • the housing, servicing, refuelling, maintenance and repair of aircraft; • the assembly and dispersal of passengers or goods on or from an aircraft; • any ancillary activities directly serving the needs of passengers and visitors to the use; • associated training and education facilities; 	Airport, airstrip, helipad, public or private airfield.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>aviation facilities.</p>		
Animal husbandry	<p>Premises used for production of animals or animal products on either native or improved pastures or vegetation.</p> <p>The use includes ancillary yards, coups, stables and temporary holding facilities and the repair and servicing of machinery.</p> <p>The use may involve supplementary or drought feeding.</p>	<p>Cattle studs, grazing of livestock, non-feedlot dairying.</p>	<p>Animal keeping, intensive animal industry, aquaculture, feedlots, piggeries.</p>
Animal keeping	<p>Premises used for boarding, breeding or training of animals.</p> <p>The use may include ancillary temporary or permanent holding facilities on the same site and ancillary repair and servicing of machinery.</p> <p>Note – Refer to the definition of Non-assessable animal keeping contained in Schedule 1.2.</p>	<p>Aviaries, catteries, kennels, stables.</p>	<p>Aquaculture, cattle studs, domestic pets, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, animal husbandry.</p>
Aquaculture	<p>Premises used for the cultivation of aquatic animals or plants in a confined area that may require the provision of food either mechanically or by hand.</p>	<p>Crocodile farm, pond farms, tank systems, hatcheries, raceway system, rack and line systems, sea cages.</p>	<p>Intensive animal industry.</p>
Bar	<p>Premises used primarily to sell liquor for consumption on the premises and that provides for a maximum capacity to seat sixty persons at any one time.</p> <p>The use may include ancillary sale of food for consumption on the premises and entertainment activities.</p>		<p>Club, hotel, nightclub entertainment facility, tavern.</p>

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Brothel	Premises made available for prostitution by two or more prostitutes at the premises.		Adult store, club, nightclub entertainment facility, shop.
Bulk landscape supplies	Premises used for bulk storage and sale of landscaping and gardening supplies, which may include soil, gravel, potting mix and mulch, where the majority of materials sold from the premises are not in pre-packaged form.		Garden centre, outdoor sales, wholesale nursery.
Caretaker's accommodation	A dwelling provided for a caretaker of a non-residential use on the same premises.		Dwelling house.
Car wash	Premises primarily used for commercially cleaning motor vehicles by an automatic or partly automatic process.		Service station.
Cemetery	Premises used for interment of bodies or ashes after death.	Burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum.	Crematorium, funeral parlour.
Child care centre	Premises used for minding, education and care, but not residence, of children.	Crèche, early childhood centre, kindergarten, outside hours school care.	Educational establishment, home based child care, family day care.
Club	<p>Premises used by persons associated for social, literary, political, sporting, athletic or other similar purposes for social interaction or entertainment.</p> <p>The use may include the ancillary preparation and service of food and drink.</p> <p>Note – See also the definition of Club (small scale) contained in Schedule 1.2.</p>	Club house, guide and scout clubs, surf lifesaving club, RSL, bowls club.	Hotel, nightclub entertainment facility, place of worship, theatre, Club (small scale).

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Community care centre	Premises used to provide social support where no accommodation is provided. Medical care may be provided but is ancillary to the primary use.	Disability support services, drop in centre, respite centre, integrated Indigenous support centre.	Child care centre, family day care, home based child care, health care services, residential care facility.
Community residence	Any dwelling used for accommodation for a maximum of six persons who require assistance or support with daily living needs, share communal spaces and who may be unrelated. The use may include a resident support worker engaged or employed in the management of the residence.	Hospice.	Dwelling house, dwelling unit, rooming accommodation, residential care facility, short-term accommodation.
Community use	Premises used for providing artistic, social or cultural facilities and community support services to the public and may include the ancillary preparation and provision of food and drink.	Art gallery, community centre, community hall, library, museum.	Cinema, club, hotel, nightclub entertainment facility, place of worship.
Crematorium	Premises used for the cremation or aquamation of bodies.		Cemetery.
Cropping	Premises used for growing plants or plant material for commercial purposes where dependent on the cultivation of soil. The use includes harvesting and the storage and packing of produce and plants grown on the site and the ancillary repair and servicing of machinery used on the site. The use may include the storage of vehicles and machinery associated with the use on the site or associated with cropping on adjoining or nearby sites.	Fruit, nut, vegetable and grain production, forestry for wood production, fodder and pasture production, plant fibre production, sugar cane growing, vineyard.	Permanent plantations, intensive horticulture, rural industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Detention facility	Premises used for the confinement of persons committed by a process of law.	Prison, detention centre.	
Dual occupancy	Premises containing two dwellings, each for a separate household, and consisting of: <ul style="list-style-type: none"> • a single lot, where neither dwelling is a secondary dwelling • two lots sharing common property where one dwelling is located on each lot. 	Duplex, two dwellings on a single lot (whether or not attached), two dwellings within one single community title scheme under the <i>Body Corporate and Community Management Act 1997</i> , two dwellings within one body corporate to which the <i>Building Units and Group Title Act 1980</i> continues to apply.	Dwelling house, multiple dwelling.
Dwelling house	A residential use of premises for one household that contains a single dwelling. The use includes domestic out-buildings and works normally associated with a dwelling and may include a secondary dwelling.		Caretaker's accommodation, dual occupancy, rooming accommodation, short-term accommodation, student accommodation, multiple dwelling.
Dwelling unit	A single dwelling within a premise containing non-residential use(s).	"Shop-top" apartment.	Caretaker's accommodation, dwelling house.
Educational establishment	Premises used for training and instruction designed to impart knowledge and develop skills. The use may include outside hours school care for students or on-site student accommodation.	Pre-preparatory, preparatory and primary school, secondary school, special education, college, university, technical institute, outdoor education centres.	Child care centre, home based child care, family day care.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Emergency services	Premises used by government bodies or community organisations to provide essential emergency services or disaster management services including management support facilities for the protection of persons, property and the environment.	State emergency service facility, ambulance station, rural fire brigade, auxiliary fire and rescue station, urban fire and rescue station, police station, emergency management support facility, evacuation centres.	Community use, hospital, residential care facility.
Environment facility	Facilities used for the conservation, interpretation and appreciation of areas of environmental, cultural or heritage value.	Nature-based attractions, walking tracks, seating, shelters, boardwalks, observation decks, bird hides.	
Extractive industry	Premises used for the extraction and/or processing of extractive resources and associated activities, including their transportation to market.	Quarry.	
Food and drink outlet	Premises used for preparation and sale of food and drink to the public for consumption on or off the site. The use may include the ancillary sale of liquor for consumption on site.	Bistro, café, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, take-away, tea room.	Bar, club, hotel, shop, theatre, nightclub entertainment facility.
Function facility	Premises used for conducting receptions or functions that may include the preparation and provision of food and liquor for consumption on site.	Conference centre, reception centre.	Community use, hotel.
Funeral parlour	Premises used to arrange and conduct funerals, memorial services and the like, but do not include burial or cremation. The use includes a mortuary		Cemetery, crematorium, place of worship.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	and the storage and preparation of bodies for burial or cremation.		
Garden centre	Premises used primarily for the sale of plants and may include sale of gardening and landscape products and supplies where these are sold mainly in pre-packaged form. The use may include an ancillary food and drink outlet.	Retail plant nursery.	Bulk landscape supplies, wholesale nursery, outdoor sales.
Hardware and trade supplies	Premises used for the sale, display or hire of hardware and trade supplies including household fixtures, timber, tools, paint, wallpaper, plumbing supplies and the like.		Shop, showroom, outdoor sales and warehouse.
Health care services	Premises for medical, paramedical, alternative therapies and general health care and treatment of persons that involves no overnight accommodation.	Dental clinics, medical centres, natural medicine practices, nursing services, physiotherapy clinic, cosmetic or beauty services that involve injectables	Community care centre, hospital.
High impact industry	Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes: Y potential for significant impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise; Y potential for significant offsite impacts in the event of fire, explosion or toxic release;	Abattoirs, concrete batching plant, boiler making and engineering and metal foundry. Note -additional examples are shown in SC1.1.2 industry thresholds.	Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers, service industry, low impact industry, medium impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> • generates high traffic flows in the context of the locality or the road network; • generates a significant demand on the local infrastructure network; • the use may involve night time and outdoor activities; • onsite controls are required for emissions and dangerous goods risks. 		
Home based business	A dwelling used for a business activity where subordinate to the residential use.	Bed and breakfast, home office, hair or beauty services, massage services, tailor.	Animal keeping, office, parking station, place of worship, shop, sport and recreation activities, warehouse, transport depot, low impact industry, medium impact industry, high impact industry, outdoor sales.
Hospital	Premises used for medical or surgical care or treatment of patients whether or not involving overnight accommodation. The use may include ancillary accommodation for employees and ancillary activities directly serving the needs of patients and visitors.		Health care services, residential care facility.
Hotel	<p>Premises used primarily to sell liquor for consumption.</p> <p>The use may include short-term accommodation, dining and entertainment activities and facilities.</p>	pub, tavern.	Nightclub entertainment facility.
Indoor sport and recreation	Premises used for leisure, sport or recreation conducted wholly or mainly indoors.	Amusement parlour, bowling alley, yoga school, dance school, martial arts school, gymnasium, squash courts, enclosed tennis	Cinema, hotel, nightclub entertainment facility, theatre.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
		courts, swim school (where located indoors).	
Intensive animal industry	<p>Premises used for the intensive production of animals or animal products in an enclosure that requires the provision of food and water either mechanically or by hand.</p> <p>The use includes the ancillary storage and packing of feed and produce.</p>	Feedlots, piggeries, poultry and egg production (where not otherwise defined as Animal husbandry).	Animal husbandry (including where involving supplementary feeding), aquaculture, drought feeding, milking sheds, shearing sheds, weaning pens.
Intensive horticulture	<p>Premises used for the intensive production of plants or plant material on imported media and located within a building or structure or where outdoors, artificial lights or containers are used.</p> <p>The use includes the storage and packing of produce and plants grown on the subject site.</p>	Greenhouse and shade house plant production, hydroponic farms, mushroom farms.	Wholesale nursery.
Landing	A structure for mooring, launching, storage and retrieval of vessels where passengers embark and disembark.	Boat ramp, jetty, pontoon.	Marina.
Low impact industry	<p>Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes:</p> <ul style="list-style-type: none"> • negligible impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise; • minimal traffic generation and heavy-vehicle usage; • demands imposed upon the local infrastructure 	<p>Repairing motor vehicles, fitting and turning workshop</p> <p>Note - additional examples are shown in SC1.1.2 industry thresholds.</p>	Panel beating, spray painting or surface coating, tyre recycling, drum re-conditioning, wooden and laminated product manufacturing, service industry, medium impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>network consistent with surrounding uses;</p> <ul style="list-style-type: none"> • the use generally operates during the day (e.g. 7am to 6pm); • offsite impacts from storage of dangerous goods are negligible; • the use is primarily undertaken indoors. 		
Major electricity infrastructure	<p>All aspects of development for either the transmission grid or electricity supply networks as defined under the <i>Electricity Act 1994</i>.</p> <p>The use may include ancillary telecommunication facilities.</p>	Powerlines greater than 66kV.	Minor electricity infrastructure, substation.
Major sport, recreation and entertainment facility	Premises with large scale built facilities designed to cater for large scale events including major sporting, recreation, conference and entertainment events.	Convention and exhibition centres, entertainment centres, sports stadiums, horse racing.	Indoor sport and recreation, local sporting field, motor sport, park, outdoor sport and recreation.
Marine industry	<p>Premises used for waterfront based marine industries involved in any activity relating to the manufacturing, storage, repair or servicing of vessels and maritime infrastructure.</p> <p>The use may include the provision of fuel and disposal of waste.</p>	Boat building, boat storage, dry dock.	Marina.
Market	<p>Premises used for the sale of goods to the public on a regular basis, where goods are primarily sold from temporary structures such as stalls, booths or trestle tables.</p> <p>The use may include entertainment provided for the enjoyment of customers.</p>	Flea market, farmers market, car boot sales.	Shop, roadside stall.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Medium impact industry	<p>Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes:</p> <ul style="list-style-type: none"> • potential for noticeable impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise; • potential for noticeable offsite impacts in the event of fire, explosion or toxic release; • generates high traffic flows in the context of the locality or the road network; • generates an elevated demand on the local infrastructure network; • onsite controls are required for emissions and dangerous goods risks; • the use is primarily undertaken indoors; • evening or night activities are undertaken indoors and not outdoors. 	<p>Spray painting and surface coating, wooden and laminated product manufacturing (including cabinet making, joining, timber truss making or wood working).</p> <p>Note—additional examples are shown in SC1.1.2 industry thresholds.</p>	<p>Concrete batching, tyre manufacturing and retreading, metal recovery (involving a fragmentiser), textile manufacture, chemically treating timber and plastic product manufacture, service industry, low impact industry, high impact industry, special industry.</p>
Motor sport facility	<p>Premises used for organised or recreational motor sports whether on or off-road, which may include permanent, temporary or informal provision for spectators and other supporting uses.</p>	<p>Go-karting, lawn mower race tracks, trail bike parks, 4WD and all terrain parks, motocross tracks, off road motorcycle facility, motorcycle or car race tracks.</p>	<p>Major sport, recreation and entertainment facility, outdoor sport and recreation.</p>
Multiple dwelling	<p>Premises containing three or more dwellings for separate households.</p>	<p>Apartments, flats, units, townhouses, row housing, triplex.</p>	<p>Rooming accommodation, dual occupancy, duplex, granny flat, residential care facility, retirement</p>

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
			facility.
Nature-based tourism	<p>The use of land or premises for a tourism activity, including tourist and visitor short-term accommodation, that is intended for the conservation, interpretation and appreciation of areas of environmental, cultural or heritage value, local ecosystem and attributes of the natural environment.</p> <p>Nature-based tourism activities typically:</p> <ul style="list-style-type: none"> • maintain a nature based focus or product; • promote environmental awareness, education and conservation; • carry out sustainable practices. 	Environmentally responsible accommodation facilities including lodges, cabins, huts and tented camps.	Environment facility.
Nightclub entertainment facility	<p>Premises used to provide entertainment, which may include cabaret, dancing and music.</p> <p>The use generally includes the sale of liquor and food for consumption on site.</p>		Club, hotel, tavern, pub, indoor sport and recreation, theatre, concert hall.
Non-resident workforce accommodation	<p>Premises used to provide accommodation for non-resident workers.</p> <p>The use may include provision of recreational and entertainment facilities for the exclusive use of residents and their visitors.</p>	Contractor's camp, construction camp, single person's quarters, temporary workers' accommodation.	Relocatable home park, short-term accommodation, tourist park.
Office	<p>Premises used for an administrative, secretarial or management service or the practice of a profession, where no goods or materials are made, sold or hired and where the principal activity provides for the following:</p> <ul style="list-style-type: none"> • business or professional advice; • service of goods that are not physically on the 	Bank, real estate agent, administration building.	Home based business, home office, shop, outdoor sales.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>premises;</p> <p>Y office based administrative functions of an organisation.</p>		
Outdoor sales	<p>Premises used for the display, sale, hire or lease of products where the use is conducted wholly or predominantly outdoors and may include construction, industrial or farm plant and equipment, vehicles, boats and caravans. The use may include ancillary repair or servicing activities and sale or fitting of accessories.</p>	<p>Agricultural machinery sales yard, motor vehicles sales yard.</p>	<p>Bulk landscape supplies, market.</p>
Outdoor sport and recreation	<p>Premises used for a recreation or sport activity that is carried on outside a building and requires areas of open space and may include ancillary works necessary for safety and sustainability.</p> <p>The use may include ancillary food and drink outlet(s) and the provision of ancillary facilities or amenities conducted indoors such as changing rooms and storage facilities.</p>	<p>Driving range, golf course, swimming pool, tennis courts, swim school, football ground, cricket oval.</p>	<p>Major sport, recreation and entertainment facility, motor sport, park, community use.</p>
Outstation	<p>Premises used for cultural and/or recreational activities undertaken by Aboriginal and Torres Strait Islander people.</p> <p>The use provides for intermittent short stay and/or long-term camping.</p> <p>The use may involve permanent low scale built infrastructure.</p>	<p>Indigenous camp site.</p>	<p>Dwelling house, hostel, multiple dwellings, relocatable home park, short-term accommodation, tourist park.</p>

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Park	<p>Premises accessible to the public generally for free sport, recreation and leisure, and may be used for community events or other community activities.</p> <p>Facilities may include children's playground equipment, informal sports fields and ancillary vehicle parking and other public conveniences.</p>	Urban common.	Tourist attraction, outdoor sport and recreation.
Parking station	Premises used for parking vehicles where the parking is not ancillary to another use.	Car park, 'park and ride', bicycle parking.	
Permanent plantation	Premises used for growing plants not intended to be harvested.	Permanent plantations for carbon sequestration, biodiversity or natural resource management.	Forestry for wood production, biofuel production.
Place of worship	<p>Premises used by an organised group for worship and religious activities.</p> <p>The use may include ancillary facilities for social, educational and associated charitable activities.</p>	Church, chapel, mosque, synagogue, temple.	Community use, child care centre, funeral parlour, crematorium.
Port services	<p>Premises used for the following:</p> <ul style="list-style-type: none"> • the arrival and departure of vessels; • the movement of passengers or goods on or off vessels; • any ancillary activities directly serving the needs of passengers and visitors or the housing, servicing, maintenance and repair of vessels. 	Marina, ferry terminal.	Landing.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Relocatable home park	<p>Premises used for relocatable dwellings (whether they are permanently located or not) that provides long-term residential accommodation.</p> <p>The use may include a manager's residence and office, ancillary food and drink outlet, kiosk, amenity buildings and the provision of recreation facilities for the exclusive use of residents.</p>		Tourist park.
Renewable energy facility	Premises used for the generation of electricity or energy from renewable (naturally reoccurring) sources.	Solar farm, wind farm, tidal power.	Wind turbine or solar panels supplying energy to domestic or rural activities on the same site.
Research and technology industry	<p>Premises used for innovative and emerging technological industries involved in research design, manufacture, assembly, testing, maintenance and storage of machinery, equipment and components.</p> <p>The use may include emerging industries such as energy, aerospace, and biotechnology.</p>	Aeronautical engineering, computer component manufacturing, medical laboratories, computer server facility.	
Residential care facility	A residential use of premises for supervised accommodation where the use includes medical and other support facilities for residents who cannot live independently and require regular nursing or personal care.	Convalescent home, nursing home.	Community residence, dwelling house, dual occupancy, hospital, multiple dwelling, retirement facility.
Resort complex	<p>Premises used for tourist and visitor short-term accommodation that include integrated leisure facilities including:</p> <ul style="list-style-type: none"> • restaurants and bars; • meeting and function facilities; • sporting and fitness facilities; 	Island resort.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> • staff accommodation; • transport facilities directly associated with the tourist facility such as a ferry terminal and air services. 		
Retirement facility	<p>A residential use of premises for an integrated community and specifically built and designed for older people.</p> <p>The use includes independent living units and may include serviced units where residents require some support with health care and daily living needs.</p> <p>The use may also include a manager's residence and office, food and drink outlet, amenity buildings, communal facilities and accommodation for staff.</p>	Retirement village.	Residential care facility.
Roadside stall	Premises used for the roadside display and sale of goods in rural areas.	Produce stall.	Market.
Rooming accommodation	<p>Premises used for the accommodation of one or more households where each resident:</p> <ul style="list-style-type: none"> • has a right to occupy one or more rooms • does not have a right to occupy the whole of the premises in which the rooms are situated • may be provided with separate facilities for private use • may share communal space with one or more of the other residents. <p>The use may include:</p> <ul style="list-style-type: none"> • rooms not in the same building on site • provision of a food or other service • on site management of staff and associated accommodation. 	Boarding house, hostel, monastery, off-site student accommodation	Hospice, community residence, dwelling house, short-term accommodation, multiple dwelling

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	Facilities includes furniture and equipment as defined in the <i>Residential Tenancies and Rooming Accommodation Act 2008</i>		
Rural industry	<p>Premises used for storage, processing and packaging of products from a rural use.</p> <p>The use includes processing, packaging and sale of products produced as a result of a rural use where these activities are ancillary to a rural use on or adjacent to the site.</p>	Packing shed.	Intensive animal husbandry, intensive horticulture, roadside stall, wholesale nursery, winery, abattoir, agricultural supply store.
Rural workers' accommodation	Any premises used as quarters for staff employed in the use of land for rural purposes, such as agriculture, intensive animal husbandry and forestry, conducted on a lot in the same ownership whether or not such quarters are self-contained.	Farm workers' accommodation.	Short-term accommodation building, caretaker's accommodation, dual occupancy, dwelling house, nature or rural based tourist accommodation, non-resident workforce accommodation, multiple dwellings.
Sales office	<p>The temporary use of premises for displaying a land parcel or buildings that can be built for sale or can be won as a prize.</p> <p>The use may include a caravan or relocatable dwelling or structure.</p>	Display dwelling.	Bank, office.
Service industry	Premises used for industrial activities that have no external air, noise or odour emissions from the site and can be suitably located with other non-industrial uses.	Audio visual equipment repair, film processing, bicycle repairs, clock and watch repairs, computer repairs, dry cleaning, hand engraving, jewellery making, laundromat, locksmith, picture framing,	Small engine mechanical repair workshop, cabinet making, shop fitting, sign writing, tyre depot, low impact industry, medium impact, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
		shoe repairs, tailor.	
Service station	<p>Premises used for the sale of fuel including petrol, liquid petroleum gas, automotive distillate and alternative fuels.</p> <p>The use may include, where ancillary, a shop, food and drink outlet, maintenance, repair servicing and washing of vehicles, the hire of trailers, and supply of compressed air.</p>		Car wash.
Shop	<p>Premises used for the display, sale or hire of goods or the provision of personal services or betting to the public.</p> <p>Note – See also the definition of Department store and Supermarket contained in Schedule 1.2.</p>	Hairdresser, liquor store, department store, discount department store, discount variety stores, betting agencies, supermarket, corner store.	Adult store, food and drink outlet, showroom, market.
Shopping centre	Premises comprising two or more individual tenancies that is comprised primarily of shops, and that function as an integrated complex.		
Short-term accommodation	<p>Premises used to provide short-term accommodation for tourists or travellers for a temporary period of time (typically not exceeding three consecutive months) and may be self-contained.</p> <p>The use may include a manager's residence and office and the provision of recreation facilities for the exclusive use of visitors.</p>	Motel, backpackers, cabins, serviced apartments, accommodation hotel, farm stay.	Hostel, rooming accommodation, tourist park.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Showroom	<p>Premises used primarily for the sale of goods of a related product line that are of a size, shape or weight that requires:</p> <ul style="list-style-type: none"> • a large area for handling, display or storage • direct vehicle access to the building by members of the public for loading and unloading items purchased or hired. 	Bulky goods sales, motor vehicles sales showroom, bulk stationary supplies.	Food and drink outlet, shop, outdoor sales.
Special industry	<p>Premises used for industrial activities that include the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products and have one or more of the following attributes:</p> <ul style="list-style-type: none"> • potential for extreme impacts on sensitive land uses due to offsite emissions including aerosol, fume, particle, smoke, odour and noise • potential for extreme offsite impacts in the event of fire, explosion or toxic release • onsite controls are required for emissions and dangerous goods risks • the use generally involves night time and outdoor activities • the use may involve the storage and handling of large volumes of dangerous goods • requires significant separation from non-industrial uses. 	<p>Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers.</p> <p>Note—additional examples are shown in SC1.1.2 industry thresholds.</p>	Low impact industry, medium impact industry, high impact industry, service industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Substation	<p>Premises forming part of a transmission grid or supply network under the <i>Electricity Act 1994</i>, and used for:</p> <ul style="list-style-type: none"> • converting or transforming electrical energy from one voltage to another • regulating voltage in an electrical circuit • controlling electrical circuits • switching electrical current between circuits • a switchyard or • communication facilities for “operating works” as defined under the <i>Electricity Act 1994</i> or for workforce operational and safety communications. 	Substations, switching yards.	Major electricity infrastructure, minor electricity infrastructure.
Telecommunications facility	Premises used for systems that carry communications and signals by means of radio, including guided or unguided electromagnetic energy, whether such facility is manned or remotely controlled.	Telecommunication tower, broadcasting station, television station.	Aviation facility, “low-impact telecommunications facility” as defined under the <i>Telecommunications Act 1997</i> .
Theatre	<p>Premises used for providing film, live entertainment or music to the public and may include provision of food and liquor for consumption on the site.</p> <p>The use may include the production of film or music, including associated ancillary facilities, which are associated with the production, such as sound stages, wardrobe and laundry facilities, makeup facilities, set construction workshops, editing and post-production facilities.</p>	Cinema, movie house, concert hall, dance hall, film studio, music recording studio.	Community hall, hotel, indoor sport and recreation facility, temporary film studio.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Tourist attraction	<p>Premises used for providing on- site entertainment, recreation or similar facilities for the general public.</p> <p>The use may include provision of food and drink for consumption on site.</p>	Theme park, zoo.	Hotel, major sport, recreation and entertainment facility, nightclub entertainment facility.
Tourist park	<p>Premises used to provide for accommodation in caravans, self-contained cabins, tents and similar structures for the public for short term holiday purposes.</p> <p>The use may include, where ancillary, a manager's residence and office, kiosk, amenity buildings, food and drink outlet, or the provision of recreation facilities for the use of occupants of the tourist park and their visitors, and accommodation for staff.</p>	Camping ground, caravan park, holiday cabins.	Relocatable home park, tourist attraction, short-term accommodation, non-resident workforce accommodation.
Transport depot	<p>Premises used for the storage, for commercial or public purposes, of more than one motor vehicle. The use includes premises for the storage of taxis, buses, trucks, heavy machinery and uses of a like nature. The term may include the ancillary servicing, repair and cleaning of vehicles stored on the premises.</p>	Contractor's depot, bus depot, truck yard, heavy machinery yard.	Home based business, warehouse, low impact industry, service industry.
Utility installation	<p>Premises used to provide the public with the following services:</p> <ul style="list-style-type: none"> • supply or treatment of water, hydraulic power or gas • sewerage, drainage or stormwater services • transport services including road, rail or water • waste management facilities or • network infrastructure. <p>The use includes</p>	Sewerage treatment plant, mail depot, pumping station, water treatment plant.	Telecommunications tower, major electricity infrastructure, minor electricity infrastructure, substation, renewable energy facility, transport depot.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>maintenance and storage depots and other facilities for the operation of the use.</p> <p>Note – See also the definition of Non-assessable utility installation contained in Schedule 1.2.</p>		
Veterinary services	Premises used for veterinary care, surgery and treatment of animals that may include provision for the short-term accommodation of the animals on the premises.		Animal keeping.
Warehouse	<p>Premises used for the storage and distribution of goods, whether or not in a building, including self-storage facilities or storage yards.</p> <p>The use may include sale of goods by wholesale where ancillary to storage.</p> <p>The use does not include retail sales from the premises or industrial uses.</p>	Self storage sheds.	Hardware and trade supplies, outdoor sales, showroom, shop.
Wholesale nursery	<p>Premises used for the sale of plants, but not to the general public, where the plants are grown on or adjacent to the site.</p> <p>The use may include sale of gardening materials where these are ancillary to the primary use.</p>		Bulk landscape supplies, garden centre.
Winery	Premises used for manufacturing of wine, which may include the sale of wine manufactured on site.		Rural industry.

SC1.1.1 Defined activity groups

- (a) Defined uses listed in Table SC1.1.2 are able to be clustered into activity groups.
- (b) An activity group listed in column 1 clusters the defined uses listed in column 2.
- (c) An activity group is able to be referenced in Part 5.
- (d) The activity groups listed here are the defined activity groups for the purpose of the planning scheme.

Table SC1.1.1.1 — Index of defined activity groups

Y	Accommodation activities
Y	Centre activities
Y	Industry activities
Y	Sport and recreation activities

Table SC1.1.1.2 — Defined activity groups

Column 1 Activity group	Column 2 Uses
Accommodation activities	Community residence Dual occupancy Dwelling house Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation
Centre activities	Adult store Bar Club (other than small scale) Food and drink outlet Function facility Health care services Hotel Nightclub entertainment facility Office Service industry Shop Shopping centre Showroom Theatre Veterinary services
Industry activities	Low impact industry Marine industry Medium impact industry High impact industry
Sport and recreation activities	Indoor sport and recreation Outdoor sport and recreation

SC1.1.2 Industry thresholds

- (1) The industry thresholds listed below are to be used in conjunction with the defined uses listed in Table SC1.1.2 - Low impact industry, medium impact industry, high impact industry and special industry.

Table SC1.1.2.1 - Industry thresholds

Use	Additional examples include
Low impact industry	<ul style="list-style-type: none"> (1) Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting (2) Repairing and servicing lawn mowers and outboard engines (3) Fitting and turning workshop (4) Assembling or fabricating products from sheet metal or welding steel, producing less than 10 tonnes a year and not including spray painting (5) Assembling wood products not involving cutting, routing, sanding or spray painting (6) Dismantling automotive or mechanical equipment, not including debonding brake or clutch components;.
Medium impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing less than 10 tonnes of metal castings per annum (2) Boiler making or engineering works producing less than 10 000 tonnes of metal product per annum (3) Facility, goods yard or warehouse for the storage and distribution of dangerous goods not involving manufacturing processes and not a major hazard facility under the <i>Work Health and Safety Act 2011</i> (4) Abrasive blasting facility using less than 10 tonnes of abrasive material per annum (5) Enamelling workshop using less than 15 000 litres of enamel per annum (6) Galvanising works using less than 100 tonnes of zinc per annum (7) Anodising or electroplating workshop where tank area is less than 400 square metres (8) Powder coating workshop using less than 500 tonnes of coating per annum (9) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using less than 20 000 litres of paint per annum (10) Scrap metal yard (not including a fragmentiser), dismantling automotive or mechanical equipment including debonding brake or clutch components (11) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, less than 200 tonnes per annum (12) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 200 tonnes per annum (13) Vegetable oil or oilseed processing in works with a design production capacity of less than 1000 tonnes per annum (14) Manufacturing wooden products including cabinet making, joinery, wood working, producing less than 500 tonnes per annum (15) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, less than 250 tonnes per annum

Use	Additional examples include
	<ul style="list-style-type: none"> (16) Sawmilling, wood chipping and kiln drying timber and logs, producing less than 500 tonnes per annum (17) Recycling and reprocessing batteries (18) Repairing or maintaining boats (19) Manufacturing substrate for mushroom growing (20) Manufacturing or processing plaster, producing less than 5000 tonnes per annum (21) Recycling or reprocessing tyres including retreading (22) Printing advertising material, magazines, newspapers, packaging and stationery (23) Transport depot, distribution centre, contractors depot and storage yard (24) Manufacturing fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, less than 5 tonnes per annum (except fibreglass boats, tanks and swimming pools) (25) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, less than 10 000 tonnes per annum; (26) Reconditioning metal or plastic drums (27) Glass fibre manufacture less than 200 tonnes per annum (28) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.
High impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing 10 tonnes or greater of metal castings per annum (2) Boiler making or engineering works producing 10 000 tonnes or greater of metal product per annum (3) Major hazard facility for the storage and distribution of dangerous goods not involving manufacturing processes (4) Scrap metal yard including a fragmentiser (5) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, greater than 200 tonnes per annum (6) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, greater than 200 tonnes per annum (7) Vegetable oil or oilseed processing in works with a design production capacity of greater than 1 000 tonnes per annum (8) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum (9) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, 250 tonnes or greater per annum (10) Sawmilling, wood chipping and kiln drying timber and logs, producing greater than 500 tonnes per annum (11) Manufacturing or processing plaster, producing greater than 5000 tonnes per annum (12) Enamelling workshop using 15 000 litres or greater of enamel per annum (13) Galvanising works using 100 tonnes or greater of zinc per annum (14) Anodising or electroplating workshop where tank area is 400 square metres or greater (15) Powder coating workshop using 500 tonnes or greater of coating per annum (16) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using 20 000 litres or greater of paint

Use	Additional examples include
	<p>per annum</p> <ul style="list-style-type: none"> (17) Concrete batching and producing concrete products (18) Treating timber for preservation using chemicals including copper, chromium, arsenic, borax and creosote (19) Manufacturing soil conditioners by receiving, blending, storing, processing, drying or composting organic material or organic waste, including animal manures, sewage, septic sludges and domestic waste (20) Manufacturing fibreglass pools, tanks and boats (21) Manufacturing, fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, 5 tonnes or greater per annum (except fibreglass boats, tanks and swimming pools) (22) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, 10 000 tonnes or greater per annum (23) Manufacturing tyres, asbestos products, asphalt, cement; glass or glass fibre, mineral wool or ceramic fibre (24) Abattoir (25) Recycling chemicals, oils or solvents (26) Waste disposal facility (other than waste incinerator) (27) Recycling, storing or reprocessing regulated waste (28) Manufacturing batteries (29) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum (30) Abrasive blasting facility using 10 tonnes or greater of abrasive material per annum (31) Crematoria (32) Glass fibre manufacture producing 200 tonnes or greater per annum (33) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.
Special industry	<ul style="list-style-type: none"> (1) Oil refining or processing (2) Producing, refining or processing gas or fuel gas (3) Distilling alcohol in works producing greater than 2500 litres per annum (4) Power station (5) Producing, quenching, cutting, crushing or grading coke (6) Waste incinerator (7) Sugar milling or refining (8) Pulp or paper manufacturing (9) Tobacco processing (10) Tannery or works for curing animal skins, hides or finishing leather (11) Textile manufacturing, including carpet manufacturing, wool scouring or carbonising, cotton milling, or textile bleaching, dyeing or finishing (12) Rendering plant (13) Manufacturing chemicals, poisons and explosives (14) Manufacturing fertilisers involving ammonia (15) Manufacturing polyvinyl chloride plastic.

SC1.2 Administrative definitions

- (1) Administrative definitions assist with the interpretation of the planning scheme but do not have a meaning in relation to a use.
- (2) A term listed in table SC1.2.2 column 1 has the meaning set out beside that term in column 2 under the heading.
- (3) The administrative definitions listed here are the definitions for the purpose of the planning scheme.

Table SC1.2.a - Index of administrative definitions

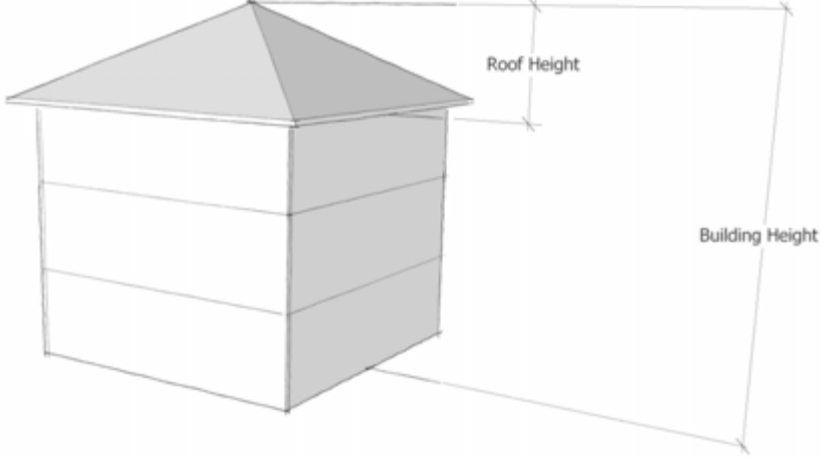
ÿ Acid sulfate soils	ÿ Department store	ÿ Pre-existing development commitment
ÿ Access strip	ÿ Development footprint*	ÿ Primary street frontage
ÿ Active frontage	ÿ Domestic outbuilding*	ÿ Projection area(s)*
ÿ Active transport	ÿ Dwelling*	ÿ Public realm
ÿ Adjoining premises*	ÿ Edge of wetland	ÿ Rear lot
ÿ Advertising device*	ÿ Erosion prone area	ÿ Residential zones
ÿ Ancillary clearing	ÿ Gateway site	ÿ Roof height
ÿ Ancillary use	ÿ Greenfield development	ÿ Secondary dwelling*
ÿ Annual exceedance probability (AEP)	ÿ Gross floor area*	ÿ Secondary street frontage
ÿ Areas of environmental significance	ÿ Ground level*	ÿ Sensitive land use
ÿ Articulation	ÿ Habitable room	ÿ Service catchment*
ÿ Australian height datum (AHD)	ÿ Hazardous Material	ÿ Setback*
ÿ Average width*	ÿ Heavy rigid vehicle	ÿ Semi-public space
ÿ Base date*	ÿ Higher order centre	ÿ Significant tree
ÿ Basement*	ÿ Household*	ÿ Site*
ÿ Bed and breakfast	ÿ Industry zone	ÿ Site cover*
ÿ Bed space	ÿ Infill development	ÿ Small residential lot
ÿ Boundary clearance*	ÿ Landscape values	ÿ Storey*
ÿ Boundary realignment	ÿ Landscaping	ÿ Streetscape
ÿ Buffer	ÿ Legibility	ÿ Structure
ÿ Building height*	ÿ Major transport corridor	ÿ Supermarket
ÿ Burra Charter	ÿ Minor building work*	ÿ Tall building
ÿ Centre zone	ÿ Minor electricity infrastructure*	ÿ Temporary use*
ÿ Club (small scale)	ÿ Mixed use	ÿ Tower
ÿ Coastal processes	ÿ Net developable area*	ÿ Transit oriented development
ÿ Coastal-dependant development	ÿ Night time activity	ÿ Tropical urbanism
ÿ Community infrastructure	ÿ Non-assessable animal keeping	ÿ Ultimate development*
ÿ Crime prevention through environmental design (CPTED)	ÿ Non-assessable utility installation	ÿ Urban purposes*
ÿ Deep planting	ÿ Non-resident workers*	ÿ Urban waterway A
ÿ Defined inundation event	ÿ Non-urban waterway	ÿ Urban waterway B
ÿ Demand unit*	ÿ Outermost projection*	ÿ Vegetation
ÿ Demolition	ÿ Permeability	ÿ Vegetation damage
	ÿ Planning assumptions*	ÿ Vulnerable land use
	ÿ Plot ratio*	ÿ Waterway corridor
		ÿ Zone of influence

Note – * denotes a Queensland Planning Provisions (QPP) mandatory administrative definition.

Table SC1.2.b – Administrative definitions

Column 1 Term	Column 2 Definition
Acid sulfate soils	<p>Means soils, sediments, or other materials containing iron sulfate and/or acidity generated by their breakdown.</p> <p>Note – these materials are environmentally benign when left undisturbed in an aqueous, anoxic environment, but when exposed to oxygen, the iron sulfate break down, releasing large quantities of sulfuric acid and soluble iron. Both substances have considerable ability to degrade the natural and built environment, and the acid can mobilise other pollutants such as arsenic, lead and zinc</p>
Access strip	That part of a site which is used for providing access to a road
Active frontage	<p>A ground level façade of a building that provides interactions between the private and public realm through appearance and function by:</p> <ul style="list-style-type: none"> • ensuring internal uses are visible from the outside through the use of display windows utilising clear glazing; • where security grills are used, they are visually permeable and are internally mounted; • entrances front and open towards the street; • buildings are built to the front boundary; • vehicle ingress and egress, loading and unloading facilities, and waste and recyclable materials storage and collection areas are not dominant features; • the location of services including, but not limited to fire hydrants and boosters, and electricity sub-stations / pad mounts does not compromise activity or visual integration from the streetscape and the private realm. They are appropriately included within the design, located within the building and screened from view; • are broken into smaller components by vertical elements.
Active transport	Non-motorised travel such as walking and cycling.
Adjoining premises*	Premises that share all or part of a measurable common boundary. A common boundary may be a single point such as a corner point.
Advertising device*	<p>Any permanent structure, device, sign or the like intended for advertising purposes. It includes any framework, supporting structure or building feature that is provided exclusively or mainly as part of the advertisement.</p> <p>The types of advertising devices are as follows:</p> <p>Pylon signage – a free-standing structure which is taller than it is wide and is supported by one or more columns. The display may consist of multiple panels or slats which can be replaced or have interchangeable messages. Pylon signage provides advertising for uses, goods and services on site.</p> <p>Billboard sign – a free-standing structure, normally elevated from the ground and supported by one or more vertical supports used to display advertising matter. Billboard signage provides advertising for uses, goods and services off site.</p> <p>Projecting sign – a single or double faced structure projecting off the horizontal or vertical dimension of a building or structure which displays advertising matter. Projecting signage may also be known as a roof sign or above awning sign.</p> <p>Illuminated sign – signage illuminated by neon tubes, LCD or similar, other than in window or under awning signage.</p>
Ancillary clearing	Ancillary clearing is clearing necessary to establish approved development. It includes firebreaks and clearing for the provision of infrastructure. Ancillary clearing is minimised to the greatest extent possible.

Column 1 Term	Column 2 Definition
Ancillary use	A use that is directly associated with and subordinate to the primary use of the land.
Annual exceedance probability (AEP)	Means the likelihood of occurrence of a flood of a given size or larger in any one year; usually expressed as a percentage. Note – For example, if a peak flood discharge of 500 cubic metres per second has an AEP of five per cent, it means that there is a five per cent risk (i.e. probability of 0.05 or a likelihood of one in 20) of a peak flood discharge of 500 cubic metres per second or larger occurring in any one year. The AEP of a flood event gives no indication of when a flood of that size will occur next.
Areas of environmental significance	Areas of environmental significance are identified: Biodiversity areas, Wetlands, Waterways and riparian corridors and declared fish habitat areas. These areas are identified on the Natural areas overlays maps contained in Schedule 2. Note – Areas of environmental significance include Matters of National environmental significance, Matters of State environmental significance and Matters of local environmental significance.
Articulation	Designing a building, or the façade of a building, with clearly distinguishable parts and features.
Australian height datum (AHD)	The datum used for the determination of elevations in Australia. The determination uses a national network of bench marks and tide gauges, and sets mean sea level as zero elevation.
Average width*	In regard to a lot, the distance between the midpoints of the side boundaries of the lot.
Base date*	The date from which a local government has estimated its projected infrastructure demands and costs.
Basement*	A space that is situated between one floor level and the floor level next below where no part of the space projects more than one metre above ground level.
Bed and breakfast	A dwelling with rooms used for overnight paying guest accommodation.
Bed space	Means a space occupied by one person for the purpose of sleeping.
Boundary clearance*	The shortest distance from the outermost projection of a structural part of the building or structure to the property boundary, including: <ul style="list-style-type: none"> • if the projection is a roof and there is a fascia — the outside face of the fascia; or • if the projection is a roof and there is no fascia — the roof structure. The term does not include rainwater fittings or ornamental or architectural attachments.
Boundary realignment	The relocation of a common boundary between adjoining lots.
Buffer	An area required for ecological, acoustic, scenic amenity or potential hazard protection purposes that incorporates a separation distance and associated landscaping, structures and works: <ul style="list-style-type: none"> • between different land uses; or • from a major noise source; or • from a conservation area or a public recreation area; or • from a wetland, waterway or waterbody.

Column 1 Term	Column 2 Definition
<p>Building height*</p>	<p>If specified:</p> <ul style="list-style-type: none"> • in metres, the vertical distance between the ground level and the highest point of the building roof (apex) or parapet at any point but not including load-bearing antenna, aerial, chimney, flagpole or the like; • in storeys, the number of storeys above ground level; or • in both metres and storeys, both (a) and (b) apply.  <p>Note – Refer to administrative definition for roof height.</p>
<p>Burra Charter</p>	<p>The charter that provides guidance for the conservation and management of places of cultural significance and is based on the knowledge and experience of Australian members of the International Council on Monuments and Sites (ICOMOS).</p>
<p>Centre zone</p>	<p>For the purpose of the planning scheme, the following zones are considered to be centre zones:</p> <ul style="list-style-type: none"> • Principal centre zone; • Major centre zone; • District centre zone; • Local centre zone; • Neighbourhood centre zone.
<p>Club (small scale)</p>	<p>Club where not including an activity which requires a liquor license or a gaming licence and where not exceeding 100m² GFA.</p>
<p>Coastal processes</p>	<p>Means the natural processes of the coast including sediment transport to and along the coast; fluctuations in the location and form of the foreshore, beach, dunes and associated ecosystems; waves, tides; changes in sea-level and coastal hazards (for example, storm tide), ecological processes (for example, migration of plant and animal species) and the natural water cycle (for example coastal wetlands' role in filtration and flood mitigation).</p>
<p>Coastal-dependant development</p>	<p>Means development that requires land adjoining the foreshore and access to tidal water to function. The term does not include residential development, waste management facilities (landfills, sewerage treatment plants) or transport infrastructure (other than for access to the coast).</p> <p>Editor's note: Coastal-dependant development may include:</p> <ul style="list-style-type: none"> • Industrial and commercial facilities such as ports, harbours and navigation channels and facilities, aquaculture involving marine species, desalination plants, tidal generators, erosion control structures and beach nourishment • Tourism facilities for marine (boating) purposes or that are part of an integrated development proposal incorporating a marina.

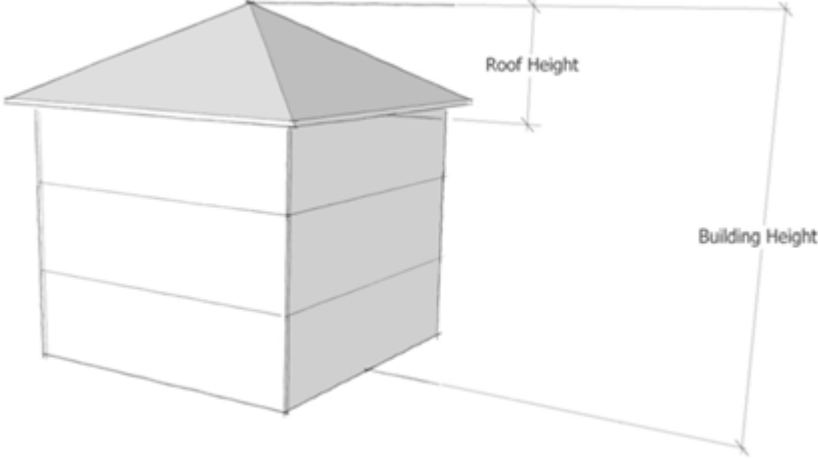
Column 1 Term	Column 2 Definition
Community infrastructure	<p>The following types of community infrastructure that provide services vital to the wellbeing of the community:</p> <ul style="list-style-type: none"> • air services; • community use where involving facilities for the storage of valuable records or items of cultural or historic significance, including public libraries, museums, galleries and the like; • educational establishment; • emergency services; • hospitals and associated facilities; • utility installation, where involving: • communication network facilities; • rail lines, stations and associated facilities; • a State-controlled road or sub-arterial road; • water cycle management infrastructure; or • works of an electricity entity.
Crime prevention through environmental design (CPTED)	CPTED is a crime prevention philosophy based on proper design and effective use of the built environment leading to a reduction in opportunities for concealment and crime and increased perceptions of safety.
Deep planting	Deep planting is the planting of shrubs and trees within the natural ground of the site where there are no structures or basements below the surface of the ground. Deep planting allows sufficient area and conditions to accommodate the normal full growth of large scale trees. Planting in containers or planter boxes is not considered to be deep planting.
Defined inundation event	The highest level of inundation of either the 1% AEP flood event or 1% AEP storm tide inundation event over land.
Demand unit*	Demand units provide a standard of unit measurement to express demand on a trunk infrastructure network.
Demolition	<p>Full or partial demolition of a building or structure.</p> <p>Where within the Places of significance overlay, demolition means the full or partial demolition of a building or structure, where the demolition materially affects the cultural significance of the place.</p> <p>Note – Council advice should be sought in determining if development is for demolition on a site within the Places of significance overlay.</p>
Department store	Incorporates multiple internal departments selling a variety of products in a single tenancy with a floor area over 1,500m ² . It commonly includes any shop referred to as a department store, discount department store or discount variety store. It does not include a supermarket.
Development footprint*	The location and extent of all development proposed on a site. This includes all buildings and structures, open space, all associated facilities, landscaping, on-site stormwater drainage, on-site wastewater treatment, all areas of disturbance, on-site parking, access and manoeuvring areas.
Domestic outbuilding*	A Class 10a building, as defined in the Building Code of Australia, that is ancillary to a residential use on the same premises and is limited to non-habitable buildings for the purpose of a shed, garage and carport.

Column 1 Term	Column 2 Definition
Dwelling*	<p>A building or part of a building used or capable of being used as a self-contained residence that must include the following:</p> <ul style="list-style-type: none"> ÿ food preparation facilities ÿ a bath or shower ÿ a toilet and wash basin ÿ clothes washing facilities. <p>This term includes outbuildings, structures and works normally associated with a dwelling.</p>
Edge of wetland	<p>The edge of wetland is identified using prominent on ground features such as a definitive change in vegetation, soils and or presence of water.</p> <p>Note – the <i>Queensland Wetland Definition and Delineation Guideline</i> can provide further guidance on establishing the edge of wetland.</p>
Erosion prone area	<p>An area declared to be an erosion prone area under section 70(1) of the <i>Coastal Protection and Management Act 1995</i>.</p> <p>Note – definition from the <i>Coastal Protection and Management Act 1995</i>.</p>
Gateway site	<p>A specific area identified on a local plan map, through the use of a symbol, that is in a key entry location to or within an activity centre. Gateway sites contribute to the character of places through the use of height, notable architectural excellence, mixed use activity and connections to public transport, pedestrian activity and public spaces.</p> <p>Note – A gateway site may comprise part or all of a lot, or an area not contained within a lot. Refer to the Local plan maps contained in Schedule 2 for locations of gateway sites.</p>
Greenfield development	<p>Development of vacant land within a predominantly undeveloped area intended for urban development.</p>
Gross floor area*	<p>The total floor area of all storeys of a building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:</p> <ul style="list-style-type: none"> ÿ building services, plant and equipment ÿ access between levels ÿ ground floor public lobby ÿ a mall ÿ the parking, loading and manoeuvring of motor vehicles ÿ unenclosed private balconies whether roofed or not. <p>Note – For the purpose of calculating Gross floor area, the following are not included:</p> <ul style="list-style-type: none"> ÿ toilets; ÿ janitors cupboards; and ÿ tea rooms.
Ground level*	<p>The level of the natural ground, or, where the level of the natural ground has been changed, the level as lawfully changed.</p>
Habitable room	<p>A room used for normal domestic activities, and:</p> <ul style="list-style-type: none"> ÿ includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room and sunroom; but ÿ excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes-drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.

Column 1 Term	Column 2 Definition
	Note – definition from the Building Code of Australia.
Hazardous Material	<p>A substance with potential to cause harm to persons, property or the environment because of one or more of the following:</p> <ul style="list-style-type: none"> • the chemical properties of the substance; • the physical properties of the substance; • the biological properties of the substance. <p>Without limiting the first paragraph, all dangerous goods, combustible liquids and chemicals are hazardous materials.</p> <p>Note – definition from the Dangerous Goods Safety Management Act 2001.</p>
Heavy rigid vehicle	A rigid or articulated motor vehicle or omnibus which has three or more axles and a gross vehicle mass of greater than 8 tonnes.
Higher order centre	A Principal, Major or District centre.
Household*	An individual or a group of two or more related or unrelated people who reside in the dwelling, with the common intention to live together on a long-term basis and who make common provision for food or other essentials for living.
Industry zone	<p>For the purpose of the planning scheme, the following zones are considered to be industry zones:</p> <ul style="list-style-type: none"> • Low impact industry zone; • Medium impact industry zone; • High impact industry zone; • Waterfront and marine industry zone.
Infill development	Development of a vacant or underdeveloped site within a predominantly developed urban area.
Landscape values	Landscape attributes perceived by the community and visitors as contributing to the attractive scenery and distinctive visual imagery of the Cairns region, comprising significant landscape elements and features, valued landscape character types and areas of high and moderate scenic amenity, taking into account scenic preferences and visual exposure. These attributes include (but are not limited to) mountain ranges, coastal headlands, beaches, rivers, valleys and gorges, rainforest, canefields, wetlands and estuaries, character towns, islands and seascape; and also views from lookouts, gateways and scenic routes.
Landscaping	Landscaping is the planting of trees, shrubs, grasses and other plants.
Legibility	The extent to which people who are unfamiliar with an area are able to find their way to or around a place.
Major transport corridor	<p>Major transport corridors are identified in the Transport network overlay maps and Strategic framework maps contained in schedule 2, as:</p> <ul style="list-style-type: none"> • state controlled roads; • state controlled railways; • sub-arterial roads (or Future sub-arterial roads or Upgrade to an existing sub-arterial roads); • rural major road (or Future rural major road or Upgrade to an existing rural major road); • a Future transport connection or Transport investigation corridor.

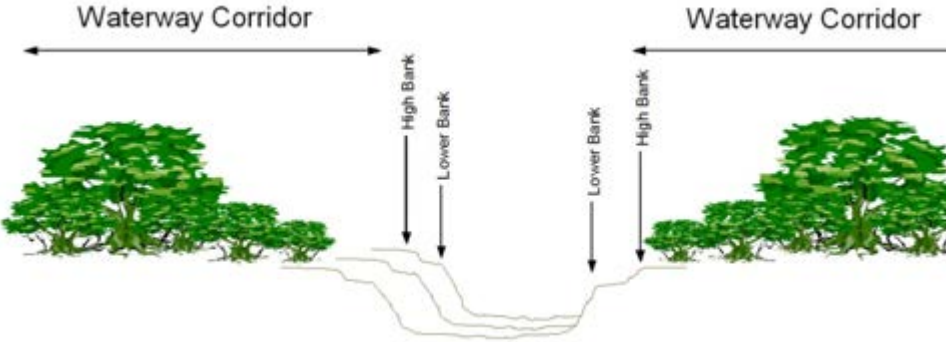
Column 1 Term	Column 2 Definition
Minor building work*	<p>An alteration, addition or extension to an existing building(s) which results in an increase in the gross floor area of the building(s) of less than five per cent of the gross floor area of the existing buildings(s) or 50 square metres, whichever is the lesser.</p> <p>Note – Council advice should be sought in determining if development materially affects the cultural significance of the place.</p>
Minor electricity infrastructure*	<p>All aspects of development for an electricity supply network as defined under the <i>Electricity Act 1994</i>, (or for private electricity works that form an extension of, or provide service connections to properties from the network), if the network operates at standard voltages up to and including 66kV.</p> <p>This includes:</p> <ul style="list-style-type: none"> • augmentations/upgrades to existing powerlines where the voltage of the infrastructure does not increase • augmentations to existing substations (including communication facilities for controlling works as defined under the <i>Electricity Act 1994</i>) where the voltage of the infrastructure does not increase, and where they are located on an existing substation lot.
Mixed use	Development containing a mix of residential, retail, commercial, government, community, cultural, education, health, sport and recreation, entertainment and other leisure activities within a building or in close proximity to each other.
Net developable area*	<p>The area of land available for development. It does not include land that cannot be developed due to constraints such as acid sulfate soils, conservation land, flood affected land or steep slope.</p> <p>Note – for the purpose of a local government infrastructure plan, net developable area is usually measured in hectares, net developable hectares (net dev ha).</p>
Night time activities	Development that operates between the hours of 10.00pm and 6.00am.
Non-assessable animal keeping	The use of premises for the keeping of animals that is otherwise regulated by Council's Local Laws.
Non-assessable utility installation	The use of premises for an undertaking for the supply of water, gas or electricity (other than high voltage electricity) or the provision of telecommunication cable networks, sewerage systems, water supply systems or drainage systems, provided that this does not include the erection and operation of any building or structure (other than a pole or mast supporting electricity or telecommunication lines) having a gross floor area greater than twenty (20) square metres within the urban area. This does not include utility installation, as otherwise defined.
Non-resident workers*	<p>Workers who reside in areas for extended periods when employed on projects directly associated with resource extraction, major industry, major infrastructure or rural uses, but have a permanent place of residence in another area.</p> <p>This includes workers engaged in fly-in/fly-out or drive-in/drive-out arrangements.</p>
Non-urban waterway	A waterway that traverses a zone other than an urban zone.
Outermost projection*	The outermost projection of any part of a building or structure including, in the case of a roof, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like, but does not include retractable blinds, fixed screens, rainwater fittings, or ornamental attachments.

Column 1 Term	Column 2 Definition
Permeability	The extent to which people and vehicles, can access and move through a place or an area, or the ease with which connections through it can be made, or the extent and ease at which people can see through a place, site, an area or a building.
Planning assumptions*	Assumptions about the type, scale, location and timing of future growth.
Plot ratio*	The ratio of gross floor area to the area of the site.
Pre-existing development commitment	Where within the Hazardous and explosive facilities overlay, a pre-existing development commitment includes any of the following: <ul style="list-style-type: none"> • Development consistent with a valid development permit; • Development consistent with a valid preliminary approval; • Development consistent with a valid preliminary approval that varies the effect of the planning scheme; • Development consistent with a designation for community infrastructure;
Primary street frontage	The frontage of an allotment to the highest order road, or where both roads are the same, the road frontage of the least length. Where a site has frontage to a constructed Esplanade, the Esplanade is the primary road frontage.
Projection area(s)*	Area or areas within a local government area for which a local government carries out demand growth projections.
Public realm	Any publicly accessible streets, pathways, cross-block links, parks, open spaces, foreshores and any public and civic building and facilities.
Rear lot	A lot that has access to a road only by means of an access strip that forms part of the lot or via an easement over adjoining land.
Residential zones	For the purpose of the planning scheme, the following zones are considered residential zones: <ul style="list-style-type: none"> • Low density residential zone; • Low-medium density residential zone; • Medium density residential zone; • Tourist accommodation zone.

Column 1 Term	Column 2 Definition
Roof height	<p>The vertical distance between the upper most point of the exterior wall of the building and highest point of the building roof (apex) or parapet at any point but not including non-load bearing antenna, aerial, chimney, flagpole or the like.</p> <p>Roof height is contained within the Building height.</p>  <p>Note – Refer to administrative definition for Building height.</p>
Secondary dwelling*	<p>A dwelling used in conjunction with, and subordinate to, a dwelling house on the same lot.</p> <p>A secondary dwelling may be constructed under a dwelling house, be attached to a dwelling house or be free standing.</p>
Secondary street frontage	<p>A street frontage that is not the primary street frontage.</p>
Sensitive land use	<p>Means the following uses:</p> <ul style="list-style-type: none"> ÿ caretakers accommodation; ÿ child care centre; ÿ community care centre; ÿ community residence; ÿ detention facility; ÿ dual occupancy; ÿ dwelling house; ÿ dwelling unit; ÿ educational establishment; ÿ health care services; ÿ hospital; ÿ hotel; ÿ multiple dwelling; ÿ non-resident workforce accommodation; ÿ relocatable home park; ÿ residential care facility; ÿ resort complex; ÿ retirement facility; ÿ rooming accommodation; ÿ rural workers accommodation; ÿ short-term accommodation;

Column 1 Term	Column 2 Definition
	<ul style="list-style-type: none"> • tourist park. <p>Where development is for an Adult store, sensitive land use means the following uses:</p> <ul style="list-style-type: none"> • child care centre; • place of worship; • educational establishment (where catering for children of primary and secondary school age).
Service catchment*	<p>An area serviced by an infrastructure network. An infrastructure network is made up of one or more service catchments. Service catchments are determined by the network type and how it has been designed to operate and provide service to the urban areas.</p> <p>Note – for example:</p> <ul style="list-style-type: none"> • stormwater network service catchments can be delineated to align with watershed boundaries • open space network service catchment can be determined using local government accessibility standards • water network service catchment can be established as the area serviced by a particular reservoir.
Setback*	<p>For a building or structure, the shortest distance measured horizontally from the outer most projection of a building or structure to the vertical projection of the boundary of the lot.</p>
Semi-public space	<p>Any publicly accessible buildings (or parts thereof), structures, streets, pathways, cross-block links, parks, open spaces and or facilities on private land which are commonly used (example: shopping centre).</p>
Significant tree	<p>A tree greater than 7.5m in height when measured from the natural ground level to the top of the crown.</p>
Site*	<p>Any land on which development is carried out or is proposed to be carried out whether such land comprises the whole or part of one lot or more than one lot if each of such lots is contiguous.</p>
Site cover*	<p>The proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and expressed as a percentage.</p> <p>The term does not include:</p> <ul style="list-style-type: none"> • any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; basement car parking areas located wholly below ground level • eaves and sun shading devices.
Small residential lot	<p>A lot in a residential zone, or created for residential or accommodation purposes, that is less than 450m².</p> <p>Note – Refer to administrative definition of Residential zone.</p>
Storey*	<p>A space situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but not a space that contains only:</p> <ul style="list-style-type: none"> • a lift shaft, stairway or meter room • a bathroom, shower room laundry, water closet, or other sanitary compartment • a combination of the above. <p>A mezzanine is a storey.</p>

Column 1 Term	Column 2 Definition
	<p>A roofed structure on or part of a rooftop that does not solely accommodate building and equipment is a storey.</p> <p>A basement is not a storey.</p>
Streetscape	The collective combination of urban form elements that constitute the view of a street and its public and private realms. These elements include buildings, roads, footpaths, vegetation, open spaces and street furniture.
Structure	Includes a constructed element that has a built presence on or above land. It includes a wall or fence and anything fixed to or projecting from a building, wall, fence or other structure.
Supermarket	A large form of the traditional grocery store providing a wide variety of food and household products. Generally requires a larger floor space and products are generally organised into aisles. The term does not include a Department store.
Tall building	A building with a height greater than 14 metres.
Temporary use*	A use that is impermanent and may be irregular or infrequent that does not require the construction of a permanent building or the installation of permanent infrastructure or services.
Tower	The part of a building which is located above a podium.
Transit oriented development	A mixed use development incorporating a public transport hub, designed to maximise access to public transport through higher density development and pedestrian-friendly environments.
Tropical urbanism	Tropical urbanism is the integration of landscape and tropical design elements in the built environment.
Ultimate development*	The realistic extent of development anticipated to be achieved when a site (or projection area or infrastructure service catchment) is fully developed.
Urban purposes*	For the purpose of local government infrastructure plans, urban purposes includes residential (other than rural residential), retail, commercial, industrial, community and government related purposes.
Urban waterway A	A waterway that traverses an urban zone.
Urban waterway B	A waterway that traverses an urban zone and has been modified through the use of an erosion resistant lining (e.g. concrete, stone or other).
Vegetation	An individual tree or trees, plants and any other organisms of vegetable origin, not including marine plants.
Vegetation damage	Remove, cut down, ring bark, push over, poison or destroy in any way including by burning, flooding or draining.
Vulnerable land use	<p>Means the following land uses:</p> <ul style="list-style-type: none"> • child care centre; • community care centre; • educational establishment; • health care services; • hospital; • major electrical infrastructure; • retirement facility; • telecommunications facility; • utility installation.

Column 1 Term	Column 2 Definition
Waterway corridor	<p>Measured from the top of the high bank, applicable to both sides of the watercourse.</p>  <p>The diagram illustrates a cross-section of a watercourse. A central channel flows between two banks. On each side, there is a 'High Bank' (the upper, steeper slope) and a 'Lower Bank' (the flatter slope closer to the water). Two horizontal arrows labeled 'Waterway Corridor' extend from the top of the high banks on both sides, indicating the width of the corridor. Green trees are shown on the high banks.</p>
Zone of influence	<p>An area directly above and either side of a buried pipe where it is considered that a structure may impose a load through the ground on to the pipe, or where settlement or excavation of the sewer or water trench may cause damage to a pipe.</p>

Note – * denotes a Queensland Planning Provisions (QPP) mandatory administrative definition.

Schedule 2 Mapping

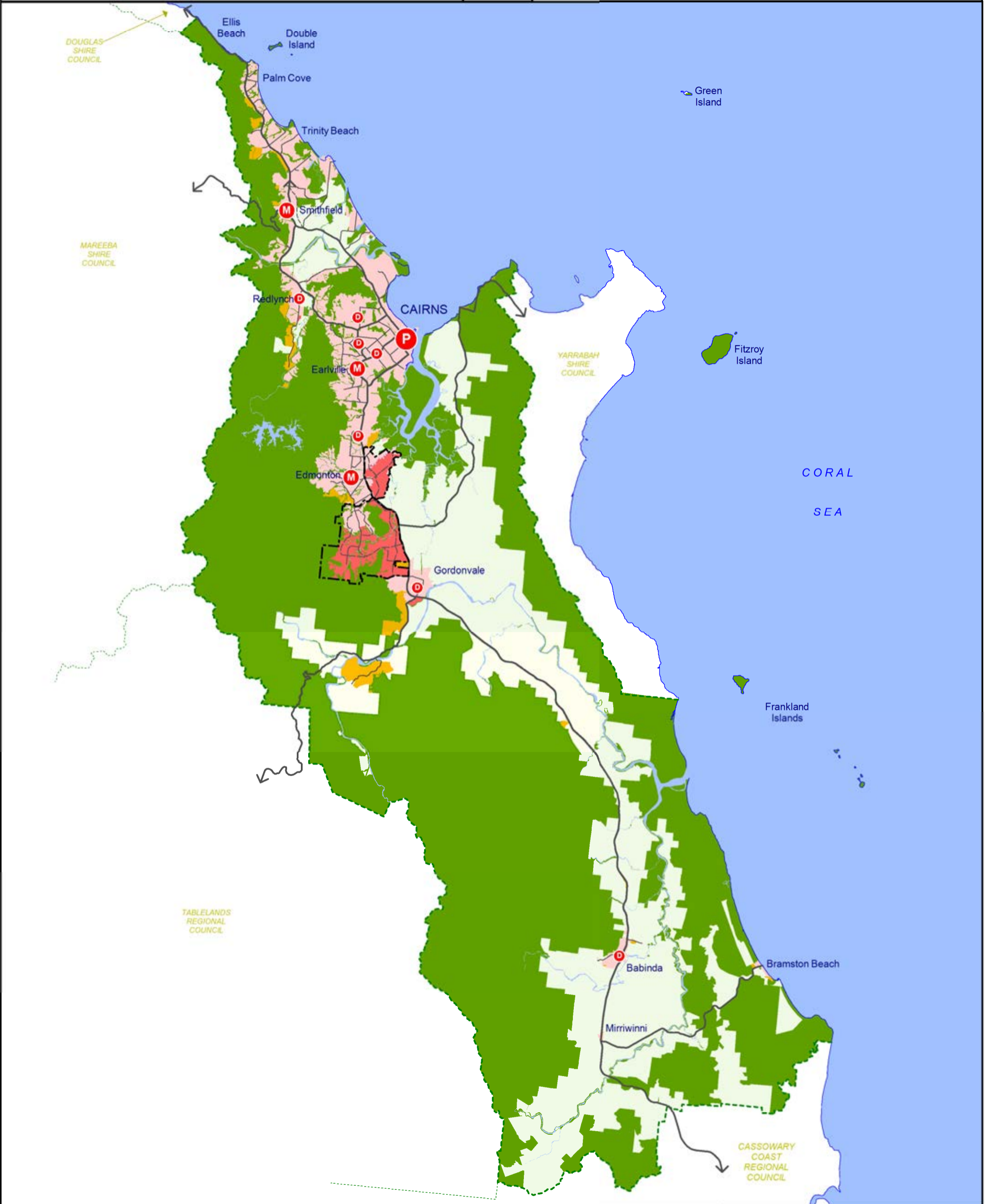
SC2.1 Map index

The table below lists any strategic framework, zone, local plan and overlay maps applicable to the planning scheme area.

Table SC2.1.a – Map index

Map number	Map title
Strategic framework maps	
SFM-01	Strategic framework map – Settlement pattern
SFM-02	Strategic framework map – Employment and Economic activity
SFM-03	Strategic framework map – Regional infrastructure
Zone maps	
ZM-001 (A-I)	Zone maps
Local plan maps	
LPM-001	Babinda local plan
LPM-002	City Centre local plan - Precincts
LPM-003	City Centre local plan – Active frontages and night time entertainment areas
LPM-004	City Centre local plan – Green streets and pedestrian arcades
LPM-005	City Centre local plan – Limited access streets
LPM-006	Earlville local plan
LPM-007	Edmonton local plan
LPM-008	Edmonton industry and business local plan
LPM-009	Gordonvale local plan
LPM-010	Mount Peter local plan – Precincts and initial development area
LPM-011	Mount Peter local plan – Indicative structure
LPM-012	Smithfield local plan
Overlay maps	
OM-01 (A-E)	Acid sulfate soils overlay
OM-02 (A)	Airport environs overlay - obstacle limitation surface (OLS)
OM-02 (B)	Airport environs overlay - public safety area
OM-02 (C)	Airport environs overlay – wildlife hazard
OM-02 (D)	Airport environs overlay - light intensity
OM-02 (E)	Airport environs overlay - Australian noise exposure Forecast (ANEF) contour
OM-02 (F)	Airport environs overlay - procedures for air navigation services - aircraft operational (PANS-OPS) surfaces
OM-02 (G-H)	Airport environs overlay - aviation facilities
OM-03	Building height overlay
OM-04 (A-E)	Bushfire hazard overlay
OM-05 (A-D)	Coastal processes overlay
OM-06 (A-B)	Extractive resources overlay
OM-07 (A- F)	Flood and inundation hazard overlay
OM-08 (A-B)	Hazardous and Explosive Facilities Overlay
OM-09 (A-E)	Hillslopes overlay
OM-010 (A-E)	Landscape values overlay
OM-11 (A-E)	Natural areas overlay
OM-12 (A-L)	Neighbourhood character overlay

OM-13 (A-F)	Places of significance overlay
OM-14 (A-E)	Potential landslip hazard overlay
OM-015 (A-E)	Transport network overlay – Road hierarchy and major transport corridors
OM-016 (A-E)	Transport network overlay – pedestrian and cycle network
Other Plans	
OP-001	Ports North and Cairns Airport land use plans



SETTLEMENT PATTERN

- Urban
- Future urban
- Rural residential
- Rural
- Environmental
- Southern growth corridor

ACTIVITY CENTRES

- P Principal activity centre
- M Major activity centre
- D District activity centre

Disclaimer:
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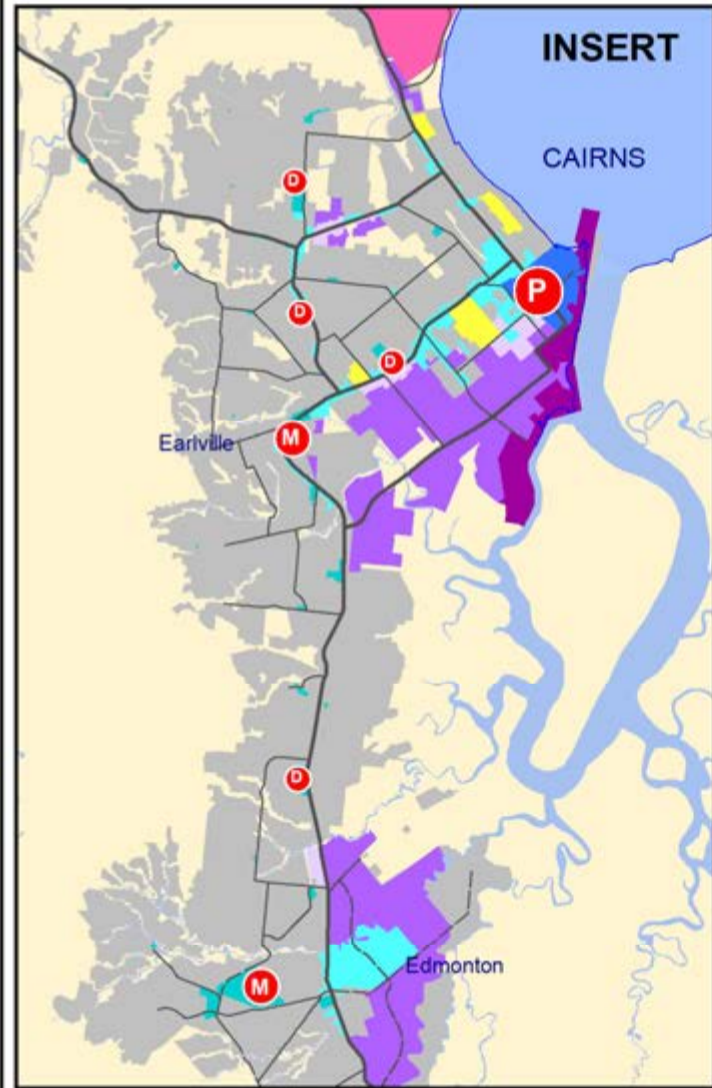
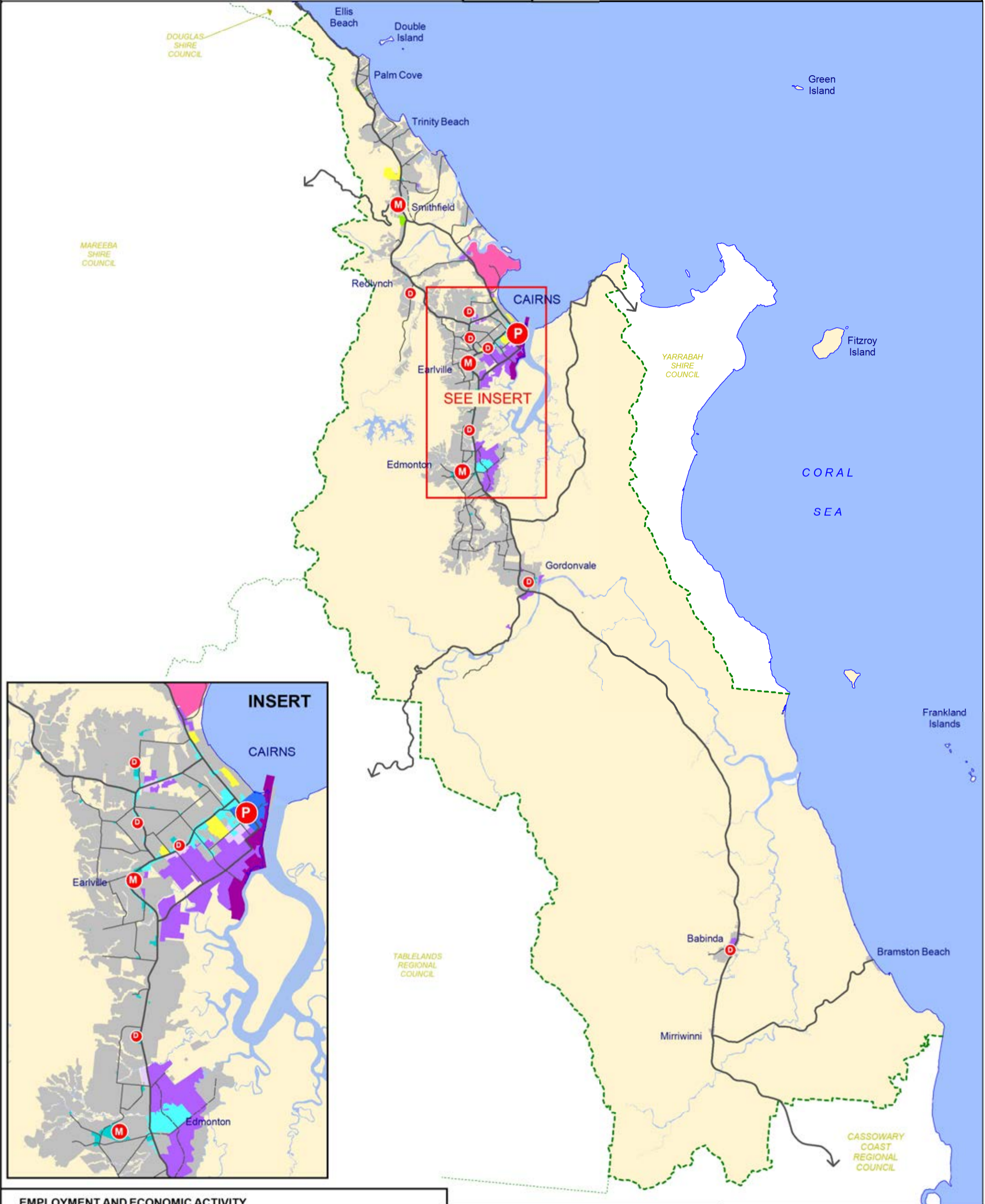
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0 7.5 15
Kilometres
Scale - 1:260,000 (@ A3 size)

Date
01/03/2016

Map Number: **SFM-01**



EMPLOYMENT AND ECONOMIC ACTIVITY

- | | | | |
|--|------------------|--|---------------------|
| | City centre | | Trades and Services |
| | Activity centres | | Industry |
| | Commercial | | Cairns Airport |
| | Tourism | | Port of Cairns |
| | Special centres | | Urban area |

ACTIVITY CENTRES

- Principal activity centre
- Major activity centre
- District activity centre

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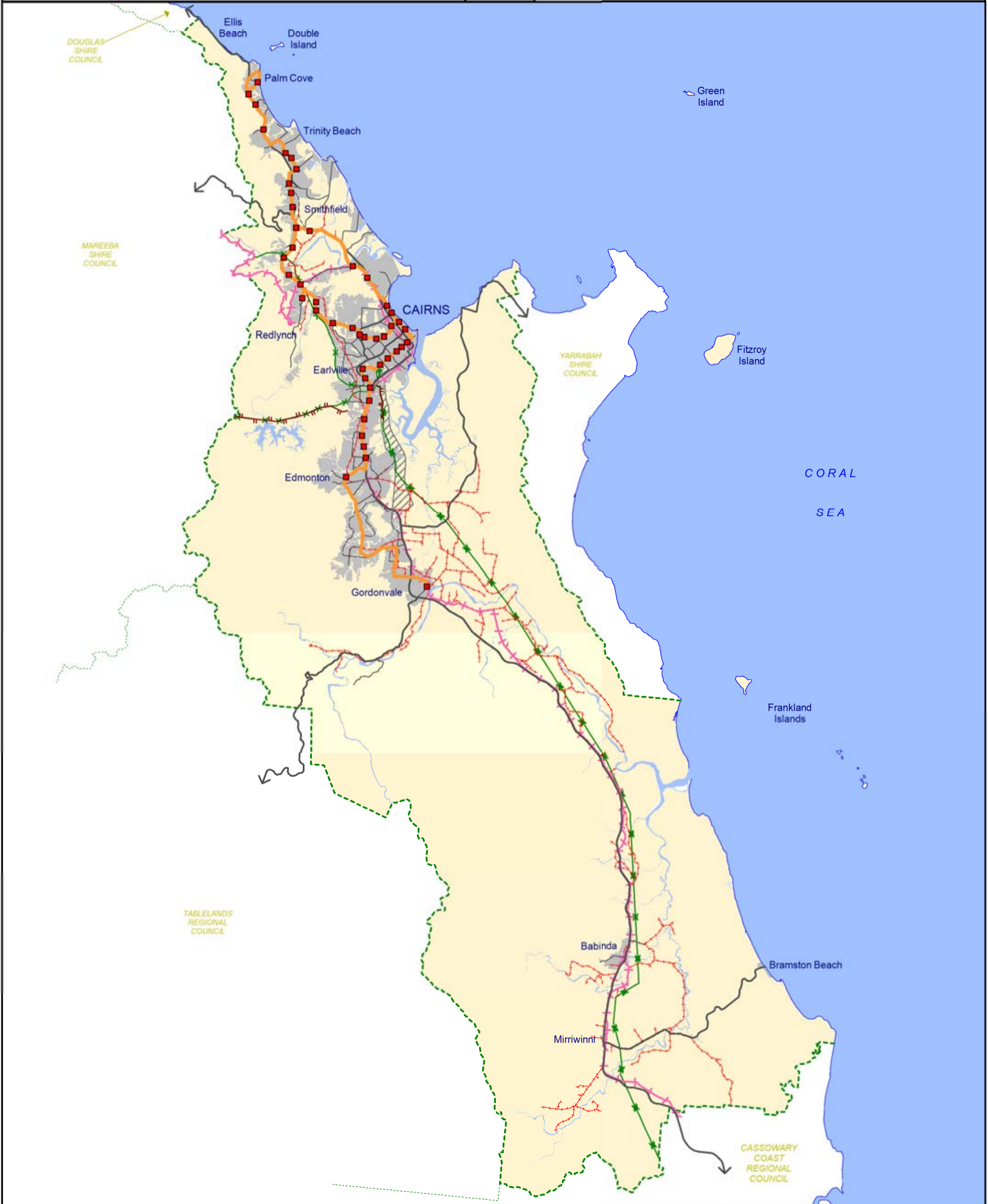
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Kilometres

Scale - 1:260,000 (@ A3 size)

Date
01/03/2016

Map Number: **SFM-02**



- | | | | |
|--|------------------------|--|--|
| | Major road | | Urban area |
| | Other road | | Transport investigation corridor |
| | Public transport route | | Electricity structure feeder 275kV |
| | State railway | | Electricity structure feeder 110-132kV |
| | Cane tramline | | Public transport station |

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Kilometres

Scale - 1:260,000 (@ A3 size)

Date 01/03/2016	Map Number: SFM-03
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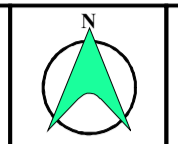
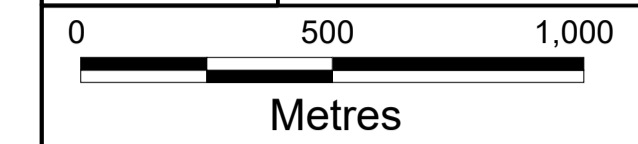
CAIRNSPLAN2016

One region, many communities

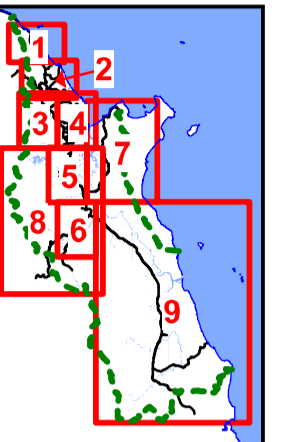
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

ZONING PLAN

Date 01/03/2016



MAP No.ZM-01A
Sheet 1 of 9



KEY TO SHEETS

SEE INSERT

ELLIS BEACH

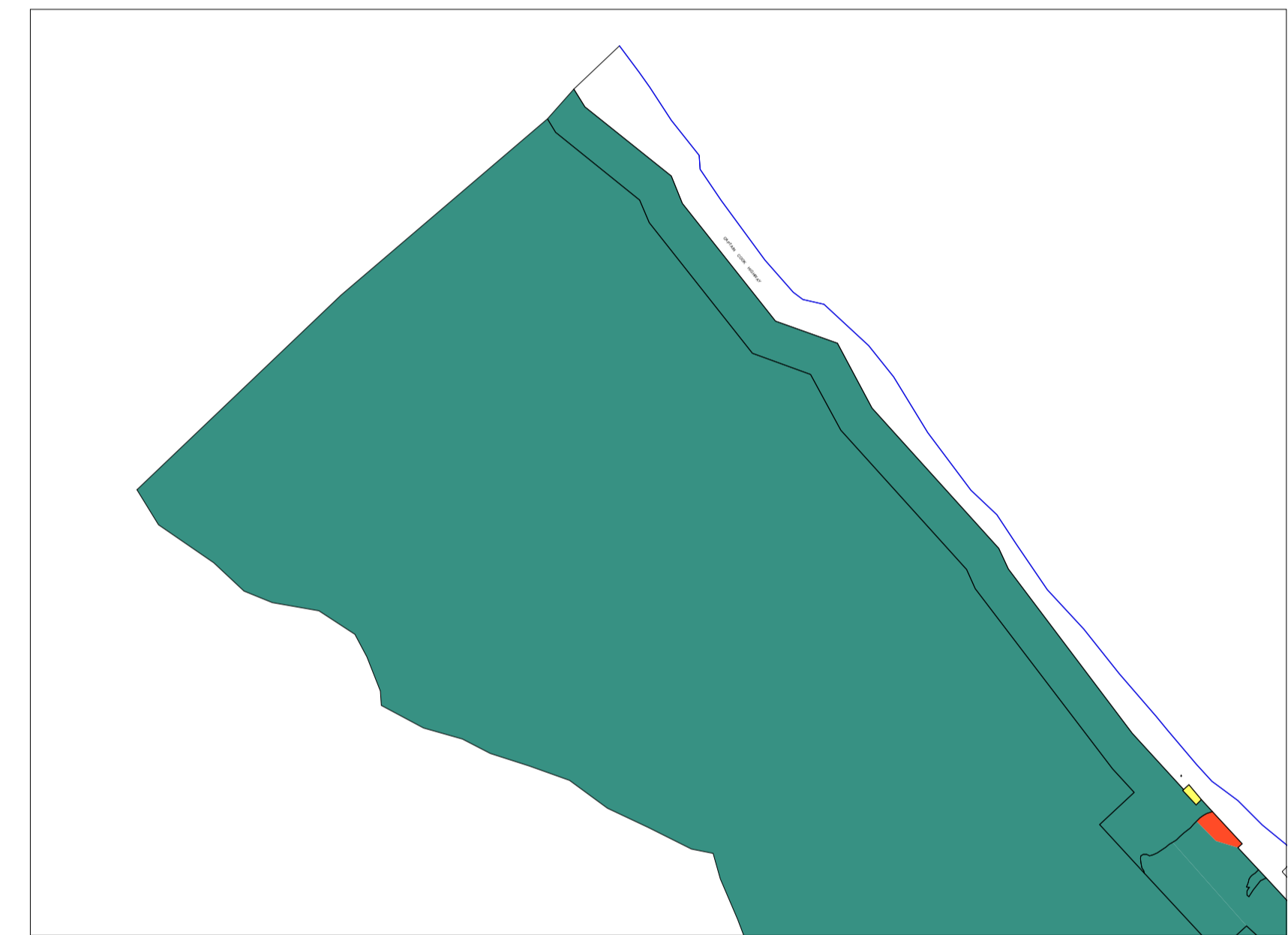
DOUBLE ISLAND

CORAL SEA

PALM COVE

MAREEBA SHIRE COUNCIL

CLIFTON BEACH



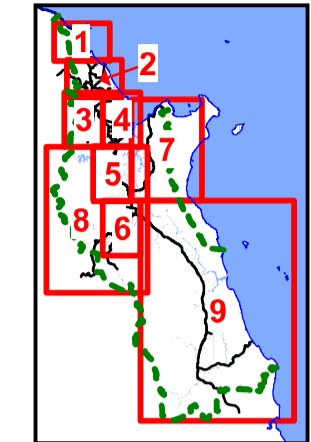
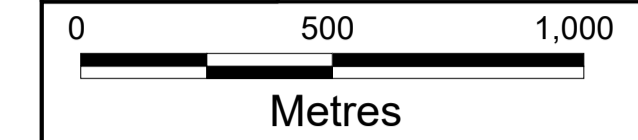
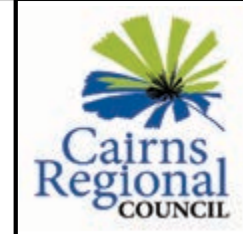
INSERT

KEWARRA BEACH

TRINITY BEACH

LEGEND

- Low Density Residential
- Low-medium Density Residential
- Medium Density Residential
- Tourist Accommodation
- Principal Centre
- Major Centre
- District Centre
- Local Centre
- Neighbourhood Centre
- Sport and Recreation
- Open Space
- Environmental Management
- Conservation
- Low Impact Industry
- Medium Impact Industry
- High Impact Industry
- Waterfront and Marine Industry
- Tourism
- Community Facilities
- Emerging Communities
- Mixed Use
- Rural
- Rural Residential
- Special Purpose
- Specialised Centre
- Township
- Area covered in Part 10 Plan
- Zone Precinct



KEY TO SHEETS

LEGEND	
[Light Pink]	Low Density Residential
[Light Red]	Low-medium Density Residential
[Medium Red]	Medium Density Residential
[Dark Red]	Tourist Accommodation
[Dark Blue]	Principal Centre
[Medium Blue]	Major Centre
[Light Blue]	District Centre
[Lightest Blue]	Local Centre
[Light Green]	Neighbourhood Centre
[Lightest Green]	Sport and Recreation
[Lightest Green]	Open Space
[Lightest Green]	Environmental Management
[Lightest Green]	Conservation
[Lightest Green]	Low Impact Industry
[Lightest Green]	Medium Impact Industry
[Lightest Green]	High Impact Industry
[Lightest Green]	Waterfront and Marine Industry
[Lightest Green]	Tourism
[Lightest Green]	Community Facilities
[Lightest Green]	Emerging Communities
[Lightest Green]	Mixed Use
[Lightest Green]	Rural
[Lightest Green]	Rural Residential
[Lightest Green]	Special Purpose
[Lightest Green]	Specialised Centre
[Lightest Green]	Township
[Lightest Green]	Area covered in Part 10 Plan
[Lightest Green]	Zone Precinct

MAREEBA
SHIRE
COUNCIL

YORKEYS KNOB

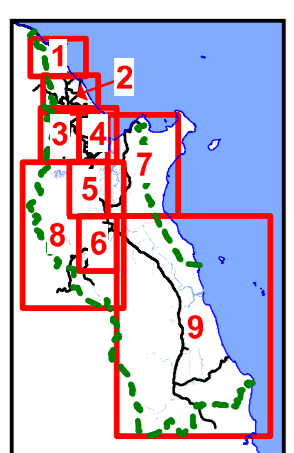
CORAL
SEA

HOLLOWAYS BEACH

MACHANS BEACH

MAREEBA
SHIRE
COUNCIL

LEGEND	
[Light Pink]	Low Density Residential
[Red]	Low-medium Density Residential
[Dark Red]	Medium Density Residential
[Orange]	Tourist Accommodation
[Dark Blue]	Principal Centre
[Medium Blue]	Major Centre
[Light Blue]	District Centre
[Very Light Blue]	Local Centre
[Lightest Blue]	Neighbourhood Centre
[Light Green]	Sport and Recreation
[Medium Green]	Open Space
[Dark Green]	Environmental Management
[Darkest Green]	Conservation
[Light Purple]	Low Impact Industry
[Medium Purple]	Medium Impact Industry
[Dark Purple]	High Impact Industry
[Blue-Grey]	Waterfront and Marine Industry
[Yellow]	Tourism
[Light Yellow]	Community Facilities
[Orange-Yellow]	Emerging Communities
[Orange]	Mixed Use
[Light Brown]	Rural
[Dark Brown]	Rural Residential
[Light Green-Yellow]	Special Purpose
[Grey]	Specialised Centre
[Lightest Green]	Township
[Red Outline]	Area covered in Part 10 Plan
[Blue Outline]	Zone Precinct



KEY TO SHEETS



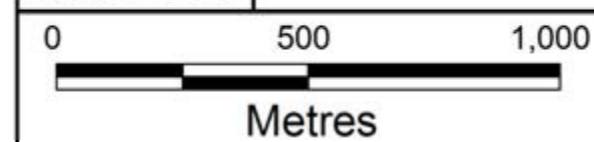
CAIRNSPLAN2016

One region. many communities

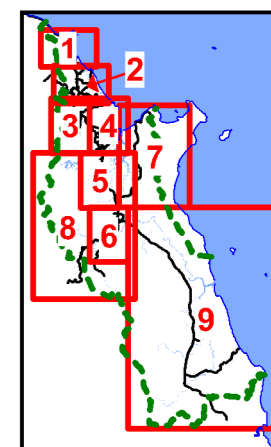
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

ZONING PLAN

Date 01/03/2016



MAP No. ZM-01D
Sheet 4 of 9



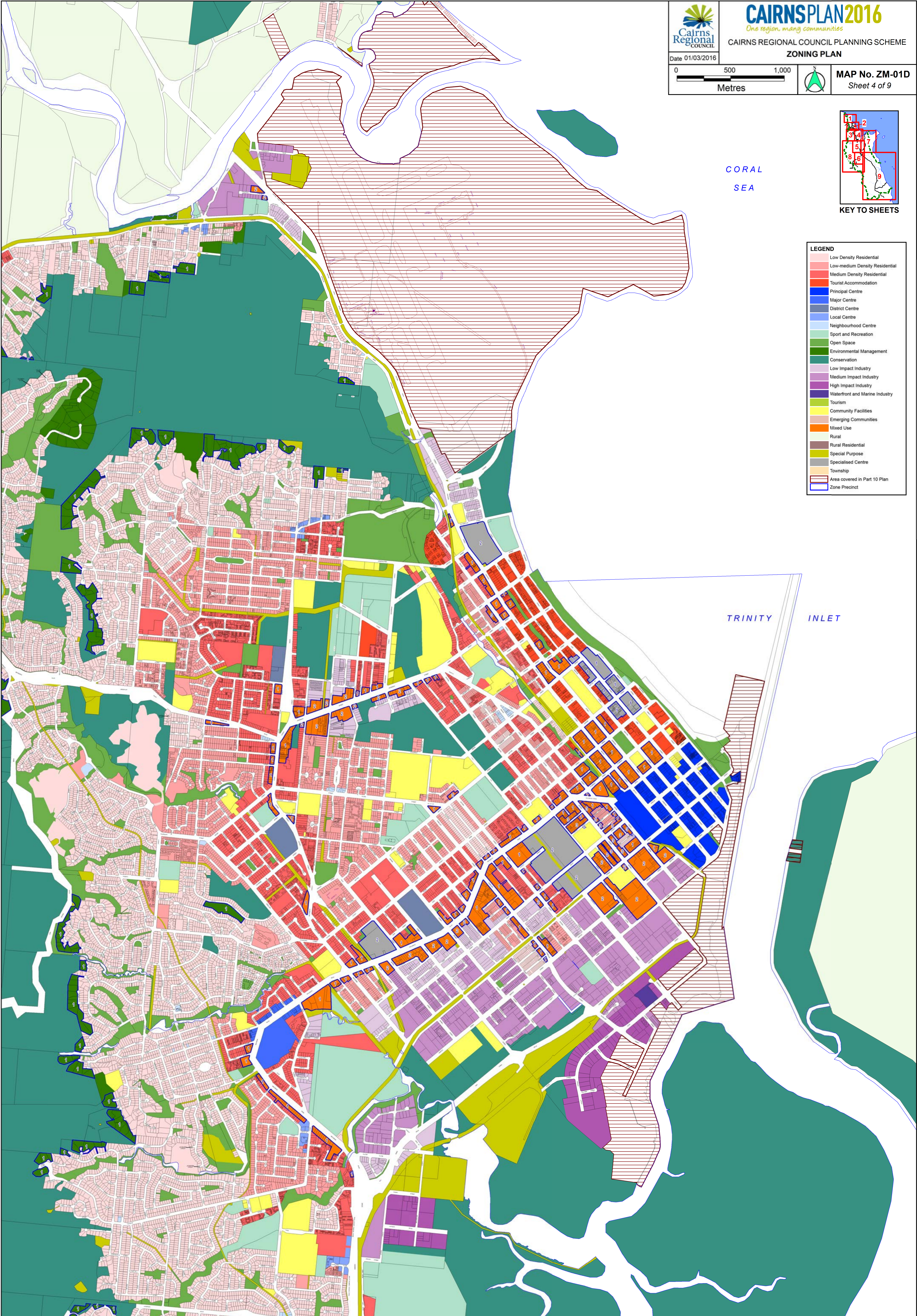
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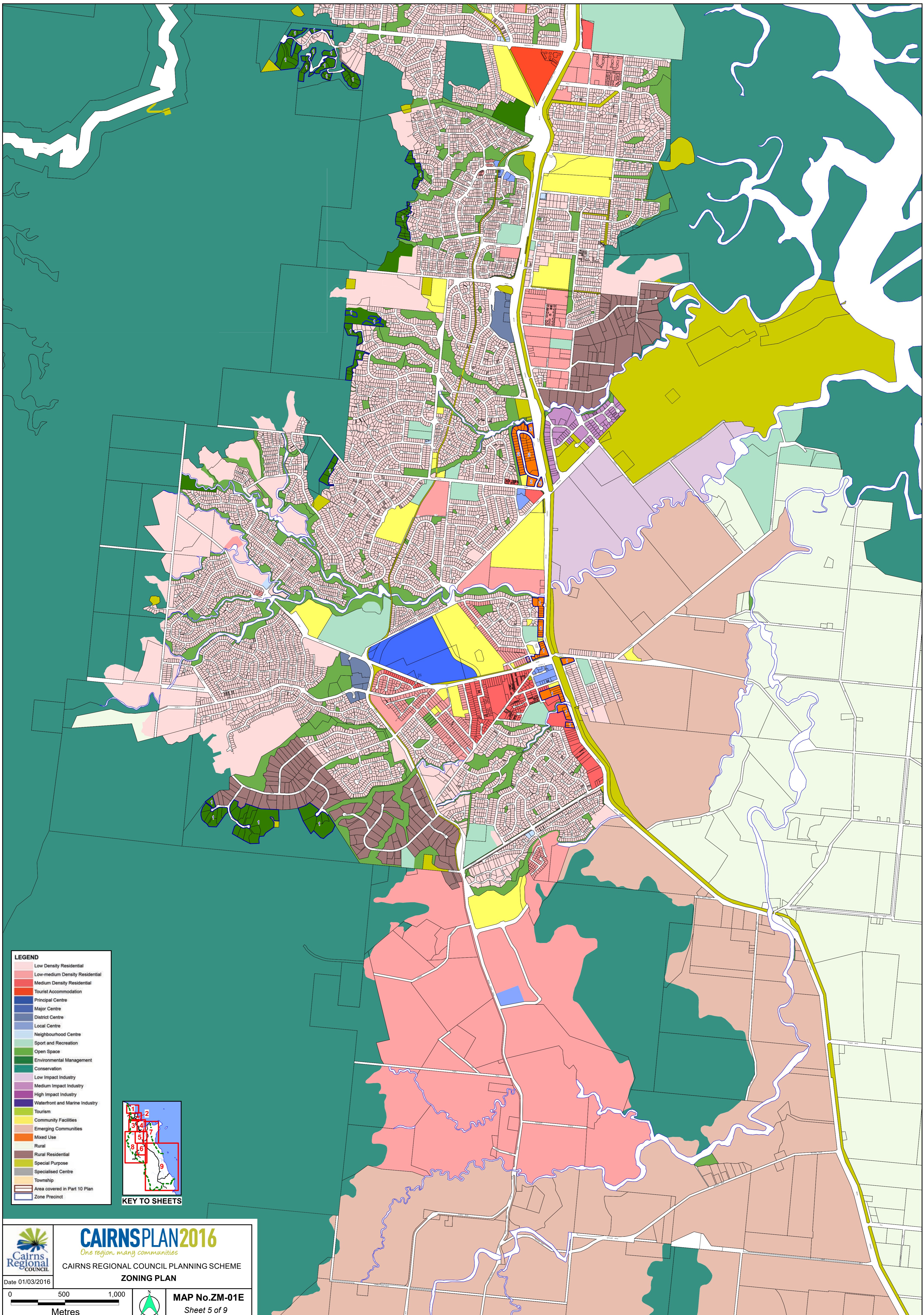
CORAL SEA

TRINITY INLET

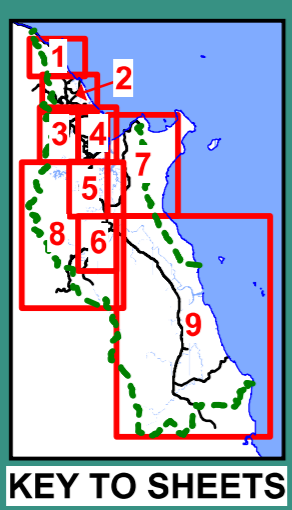
LEGEND

- Low Density Residential
- Low-medium Density Residential
- Medium Density Residential
- Tourist Accommodation
- Principal Centre
- Major Centre
- District Centre
- Local Centre
- Neighbourhood Centre
- Sport and Recreation
- Open Space
- Environmental Management
- Conservation
- Low Impact Industry
- Medium Impact Industry
- High Impact Industry
- Waterfront and Marine Industry
- Tourism
- Community Facilities
- Emerging Communities
- Mixed Use
- Rural
- Rural Residential
- Special Purpose
- Specialised Centre
- Township
- Area covered in Part 10 Plan
- Zone Precinct





- LEGEND**
- Low Density Residential
 - Low-medium Density Residential
 - Medium Density Residential
 - Tourist Accommodation
 - Principal Centre
 - Major Centre
 - District Centre
 - Local Centre
 - Neighbourhood Centre
 - Sport and Recreation
 - Open Space
 - Environmental Management
 - Conservation
 - Low Impact Industry
 - Medium Impact Industry
 - High Impact Industry
 - Waterfront and Marine Industry
 - Tourism
 - Community Facilities
 - Emerging Communities
 - Mixed Use
 - Rural
 - Rural Residential
 - Special Purpose
 - Specialised Centre
 - Township
 - Area covered in Part 10 Plan
 - Zone Precinct



CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ZONING PLAN

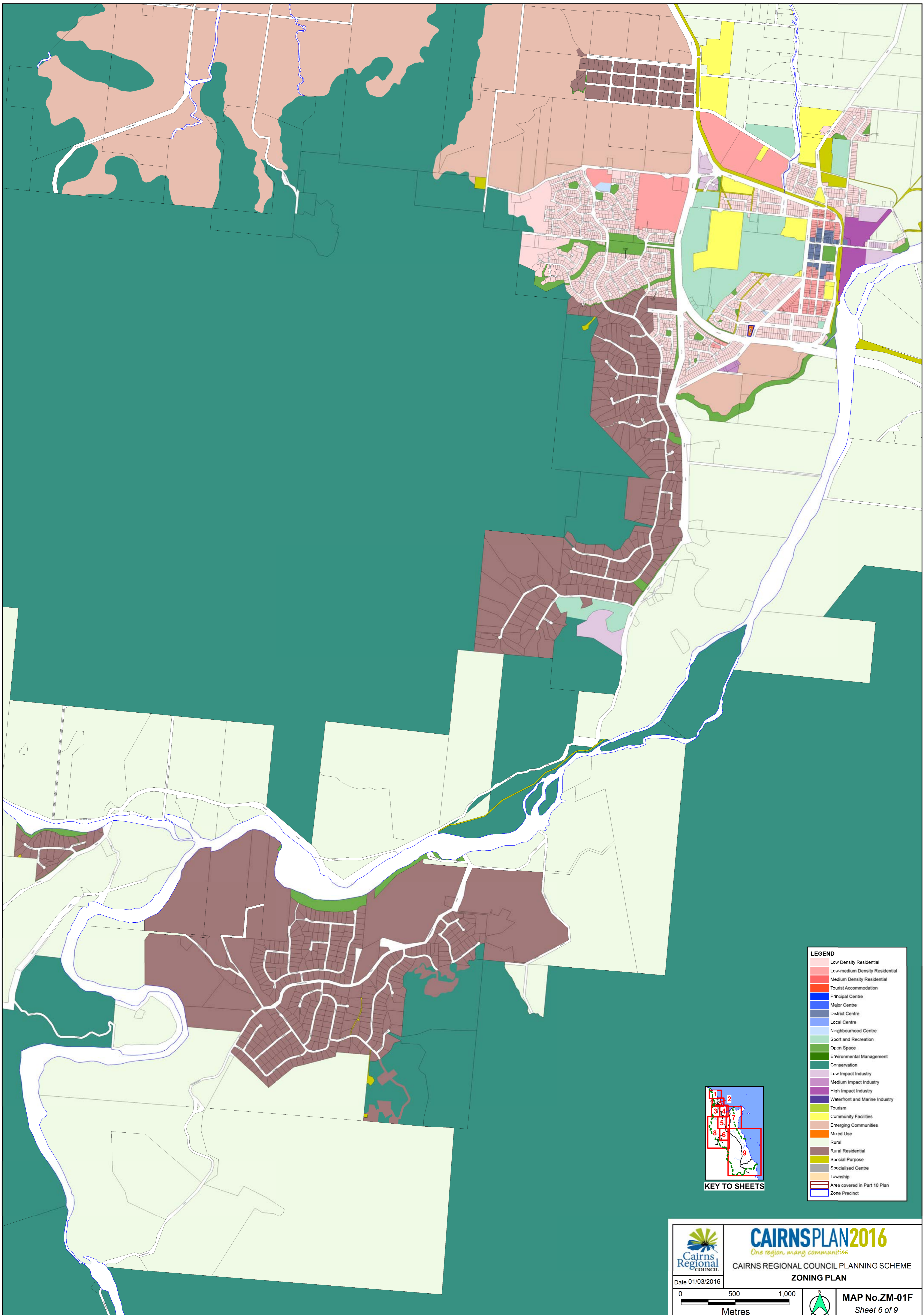
Date 01/03/2016

0 500 1,000

Metres

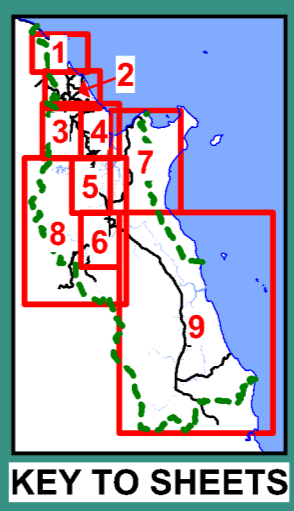
MAP No.ZM-01E


Sheet 5 of 9



LEGEND

- Low Density Residential
- Low-medium Density Residential
- Medium Density Residential
- Tourist Accommodation
- Principal Centre
- Major Centre
- District Centre
- Local Centre
- Neighbourhood Centre
- Sport and Recreation
- Open Space
- Environmental Management
- Conservation
- Low Impact Industry
- Medium Impact Industry
- High Impact Industry
- Waterfront and Marine Industry
- Tourism
- Community Facilities
- Emerging Communities
- Mixed Use
- Rural
- Rural Residential
- Special Purpose
- Specialised Centre
- Township
- Area covered in Part 10 Plan
- Zone Precinct

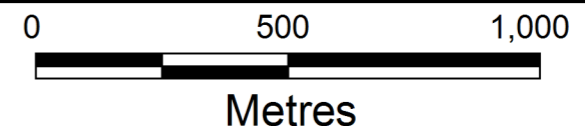





CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ZONING PLAN

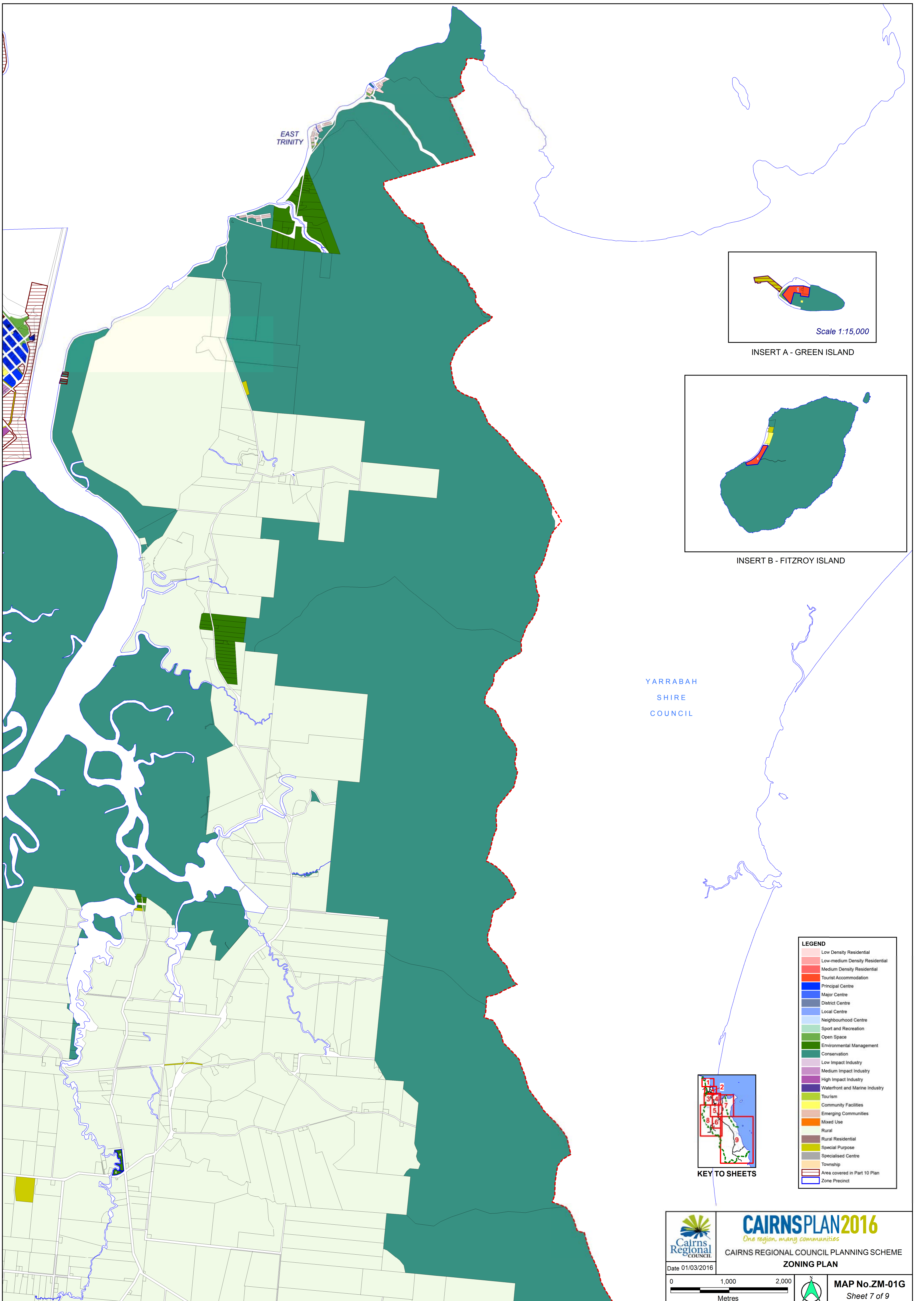
Date 01/03/2016



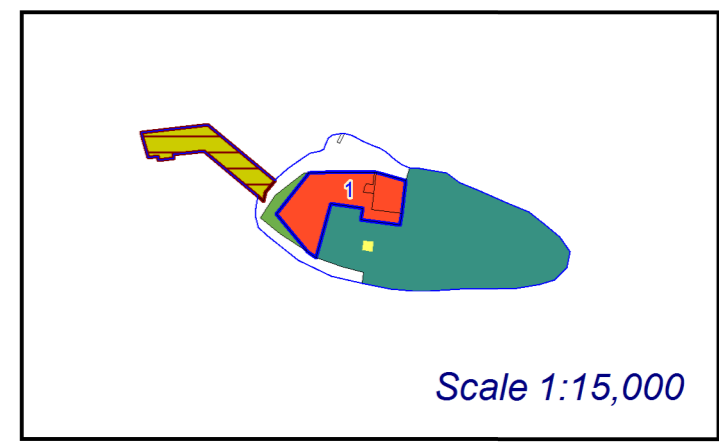
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Metres



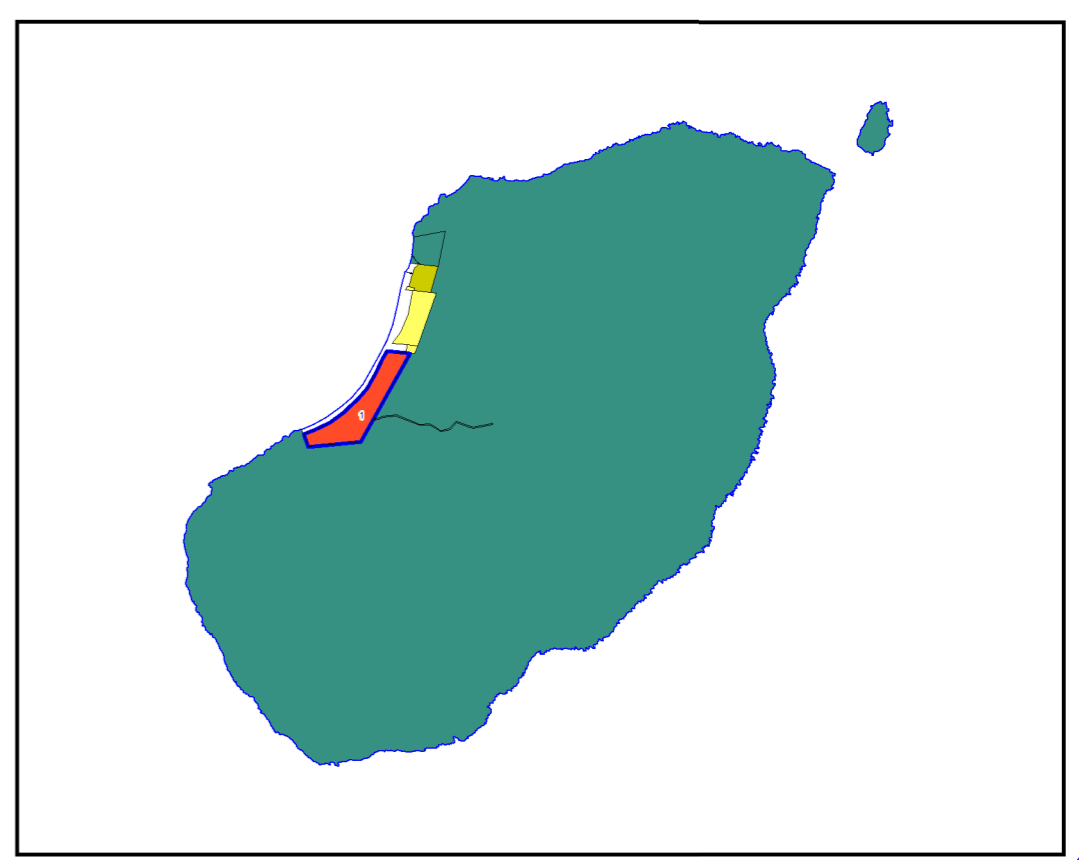
MAP No.ZM-01F
Sheet 6 of 9



EAST TRINITY



INSERT A - GREEN ISLAND

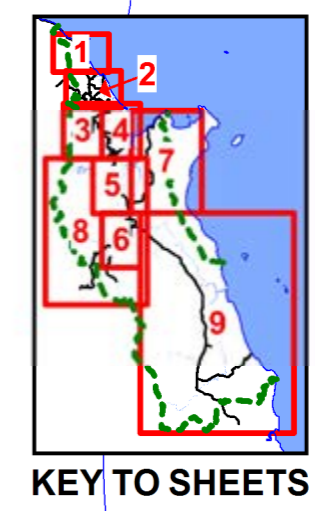


INSERT B - FITZROY ISLAND

YARRABAH
SHIRE
COUNCIL

LEGEND

[Light Green]	Low Density Residential
[Light Yellow]	Low-medium Density Residential
[Yellow]	Medium Density Residential
[Orange]	Tourist Accommodation
[Red]	Principal Centre
[Dark Red]	Major Centre
[Blue]	District Centre
[Light Blue]	Local Centre
[Light Blue-Grey]	Neighbourhood Centre
[Light Green-Grey]	Sport and Recreation
[Light Green]	Open Space
[Dark Green]	Environmental Management
[Green]	Conservation
[Light Purple]	Low Impact Industry
[Medium Purple]	Medium Impact Industry
[Dark Purple]	High Impact Industry
[Dark Blue]	Waterfront and Marine Industry
[Light Green]	Tourism
[Yellow-Green]	Community Facilities
[Light Green]	Emerging Communities
[Orange]	Mixed Use
[Light Green]	Rural
[Light Green]	Rural Residential
[Light Green]	Special Purpose
[Light Green]	Specialised Centre
[Light Green]	Township
[Red Outline]	Area covered in Part 10 Plan
[Blue Outline]	Zone Precinct



CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ZONING PLAN

Date 01/03/2016

0 1,000 2,000
Metres

MAP No.ZM-01G
Sheet 7 of 9

MAREEBA
SHIRE
COUNCIL

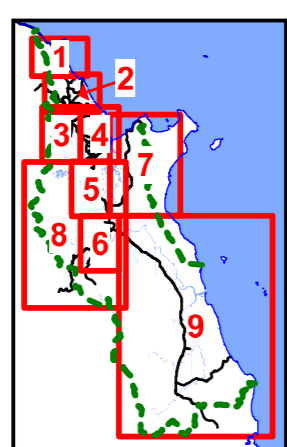
TABLELANDS
REGIONAL
COUNCIL

REFER TO MAP No. ZM-01E

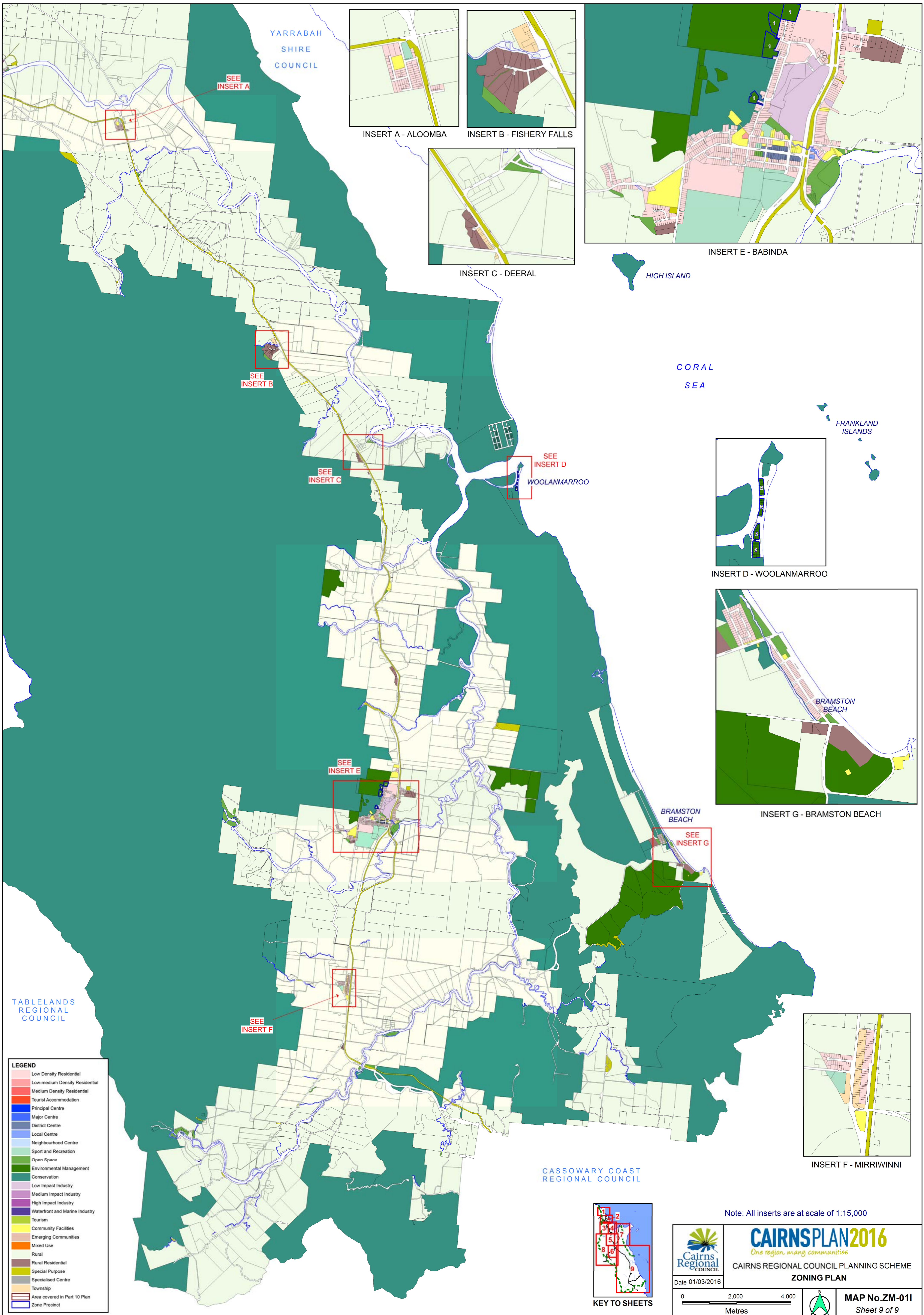
REFER TO
MAP No. ZM-01G

REFER TO MAP No. ZM-01F

LEGEND	
[Pink]	Low Density Residential
[Light Pink]	Low-medium Density Residential
[Red]	Medium Density Residential
[Orange]	Tourist Accommodation
[Dark Blue]	Principal Centre
[Medium Blue]	Major Centre
[Light Blue]	District Centre
[Very Light Blue]	Local Centre
[Lightest Blue]	Neighbourhood Centre
[Light Green]	Sport and Recreation
[Green]	Open Space
[Dark Green]	Environmental Management
[Teal]	Conservation
[Light Purple]	Low Impact Industry
[Medium Purple]	Medium Impact Industry
[Dark Purple]	High Impact Industry
[Dark Blue-Black]	Waterfront and Marine Industry
[Yellow]	Tourism
[Light Yellow]	Community Facilities
[Light Orange]	Emerging Communities
[Orange]	Mixed Use
[Brown]	Rural
[Dark Brown]	Rural Residential
[Grey]	Special Purpose
[Light Grey]	Specialised Centre
[White]	Township
[Red Dashed Line]	Area covered in Part 10 Plan
[Blue Line]	Zone Precinct



KEY TO SHEETS



YARRABAH SHIRE COUNCIL

SEE INSERT A



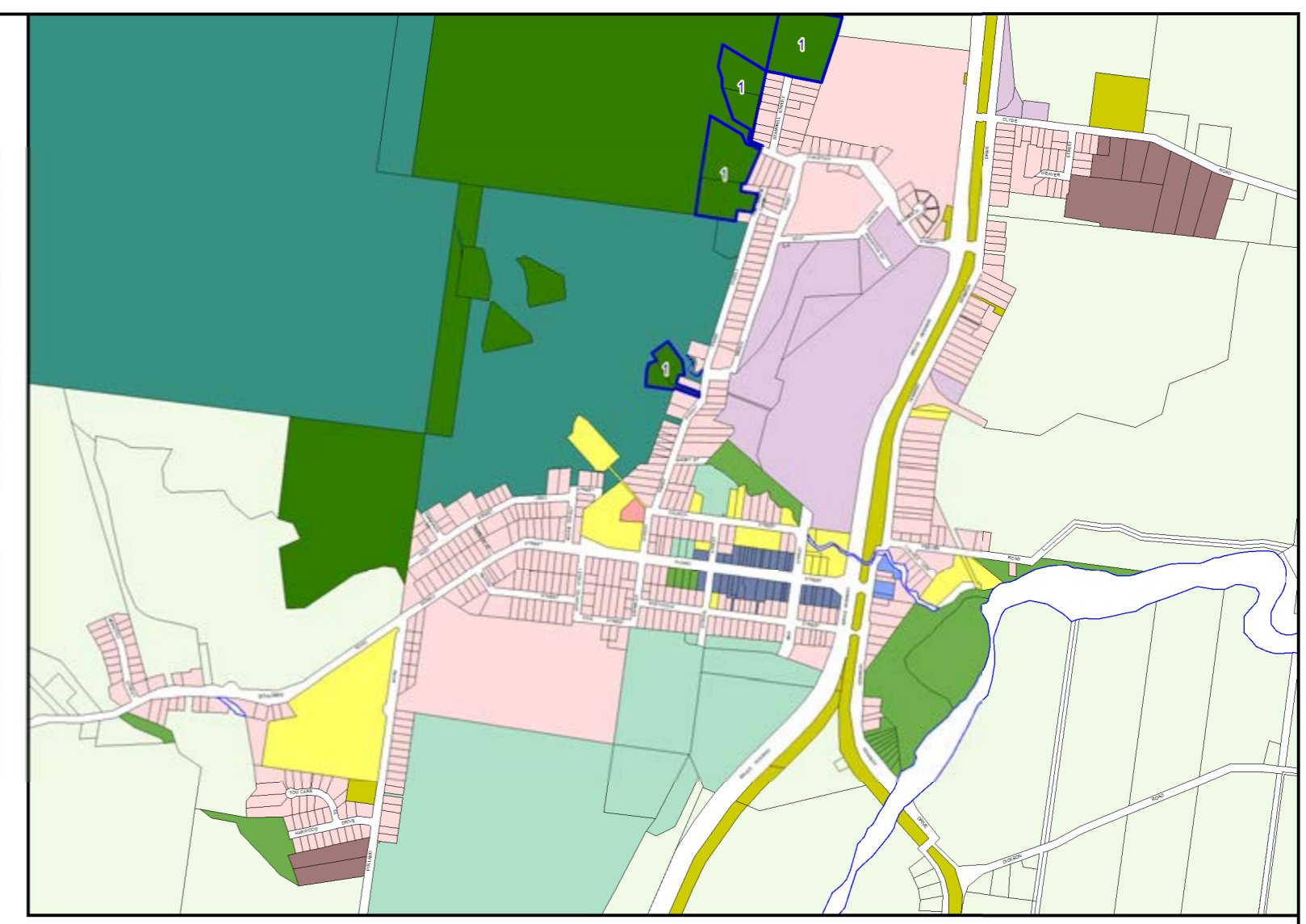
INSERT A - ALOOMBA



INSERT B - FISHERY FALLS



INSERT C - DEERAL



INSERT E - BABINDA

HIGH ISLAND

CORAL SEA

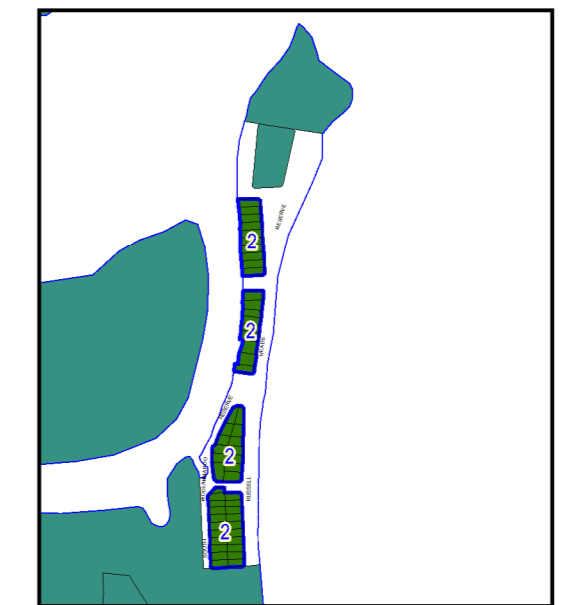
FRANKLAND ISLANDS

SEE INSERT B

SEE INSERT C

SEE INSERT D

WOOLANMARROO

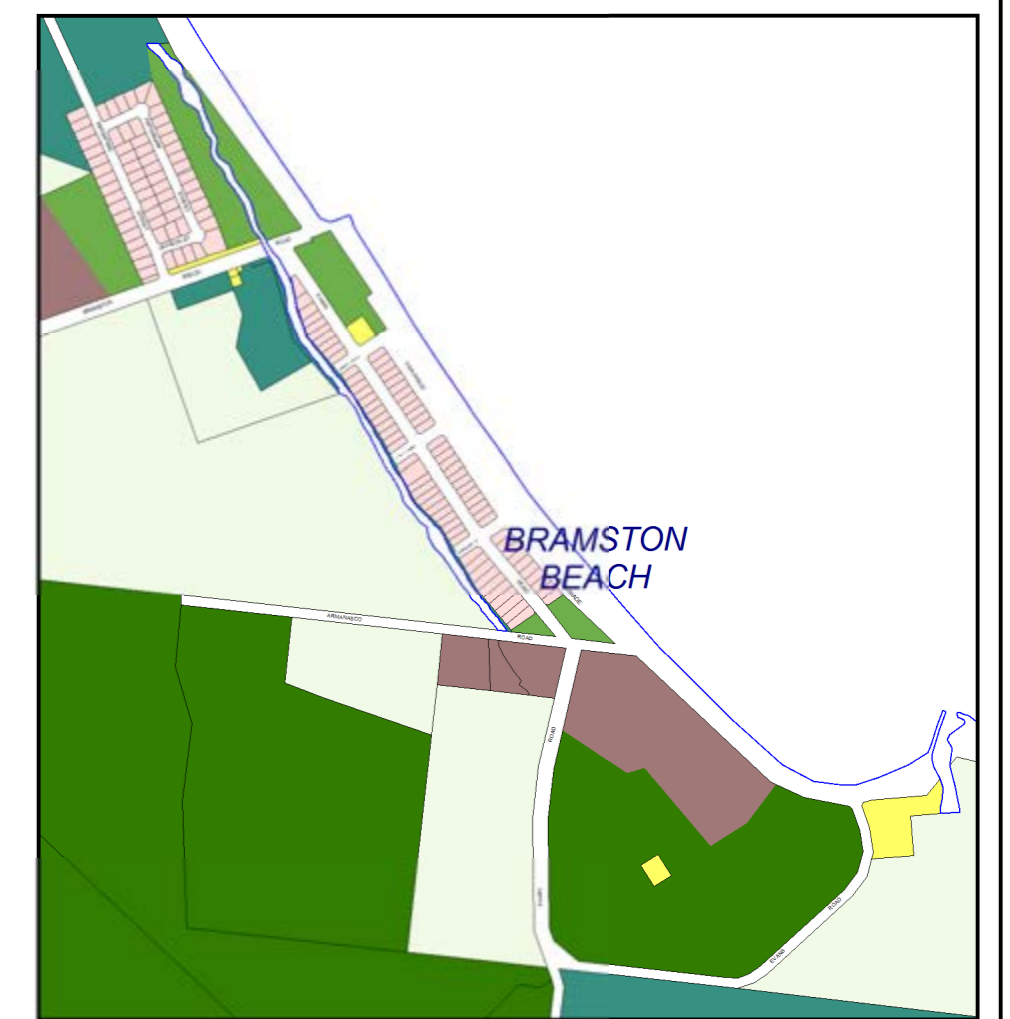


INSERT D - WOOLANMARROO

SEE INSERT E

BRAMSTON BEACH

SEE INSERT G

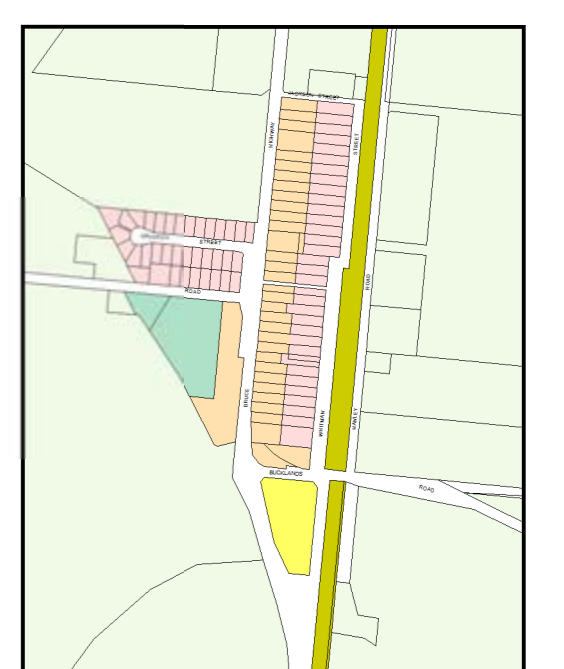


INSERT G - BRAMSTON BEACH

TABLELANDS REGIONAL COUNCIL

SEE INSERT F

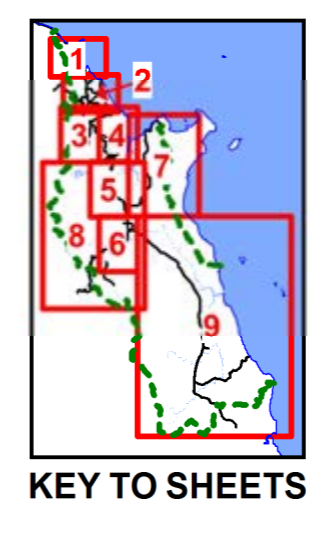
CASSOWARY COAST REGIONAL COUNCIL



INSERT F - MIRRIWINNI

LEGEND

- Low Density Residential
- Low-medium Density Residential
- Medium Density Residential
- Tourist Accommodation
- Principal Centre
- Major Centre
- District Centre
- Local Centre
- Neighbourhood Centre
- Sport and Recreation
- Open Space
- Environmental Management
- Conservation
- Low Impact Industry
- Medium Impact Industry
- High Impact Industry
- Waterfront and Marine Industry
- Tourism
- Community Facilities
- Emerging Communities
- Mixed Use
- Rural
- Rural Residential
- Special Purpose
- Specialised Centre
- Township
- Area covered in Part 10 Plan
- Zone Precinct



KEY TO SHEETS

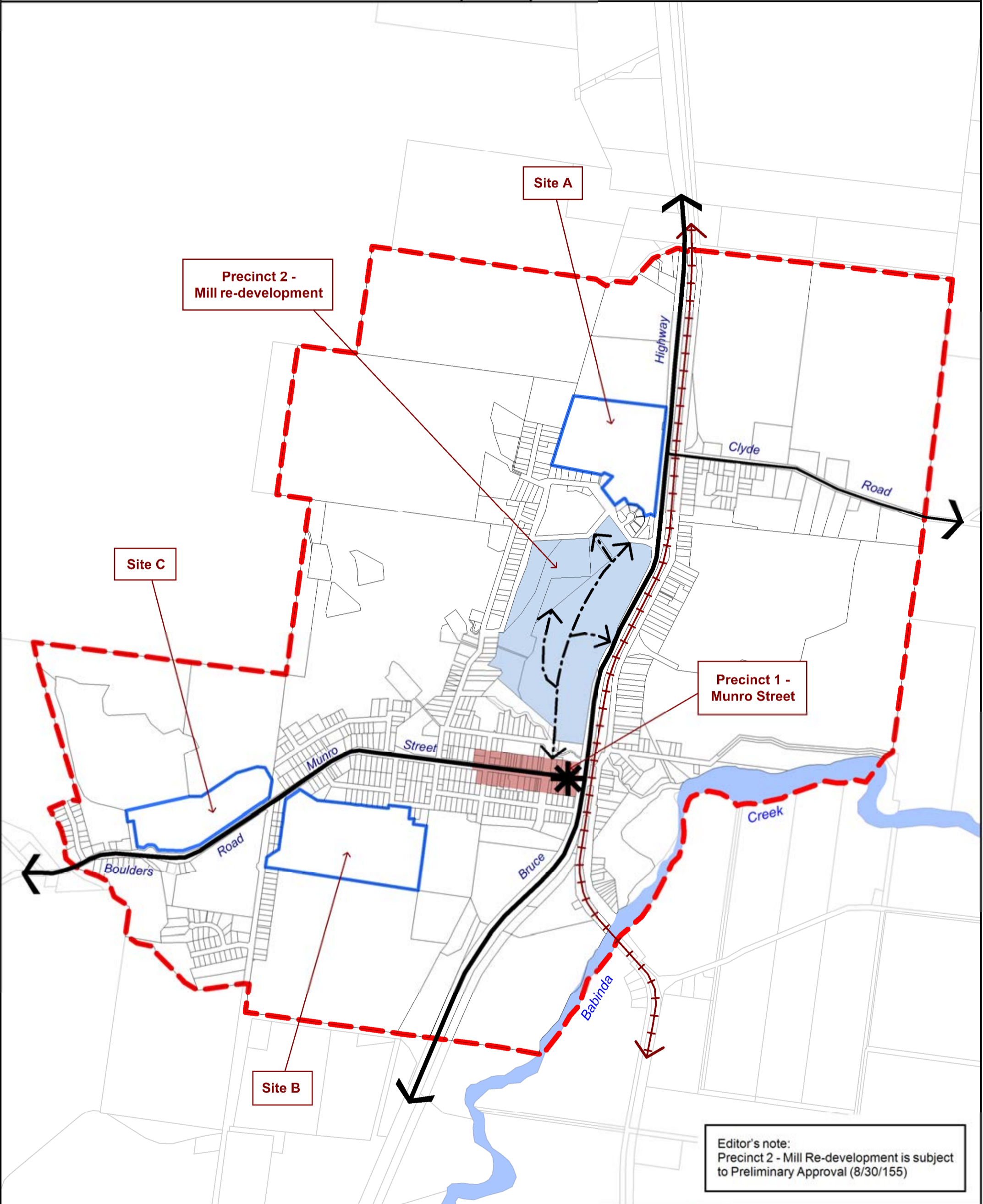
Note: All inserts are at scale of 1:15,000

CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ZONING PLAN

Date 01/03/2016

MAP No.ZM-011
Sheet 9 of 9



Editor's note:
Precinct 2 - Mill Re-development is subject to Preliminary Approval (8/30/155)

LOCAL PLAN LEGEND

- Local Plan boundary
- Major road
- Connector road
- Future connection
- State railway
- Gateway sites

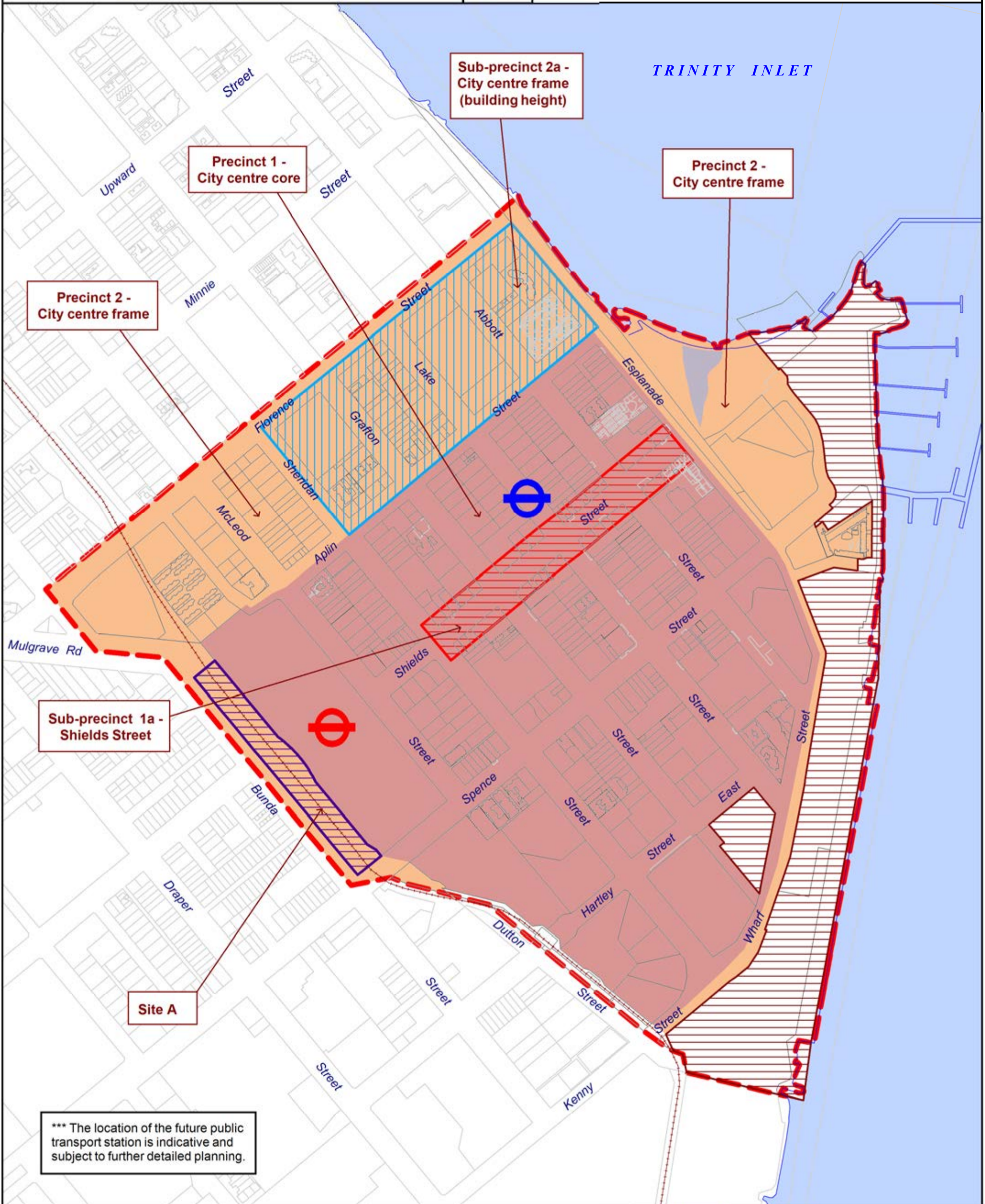
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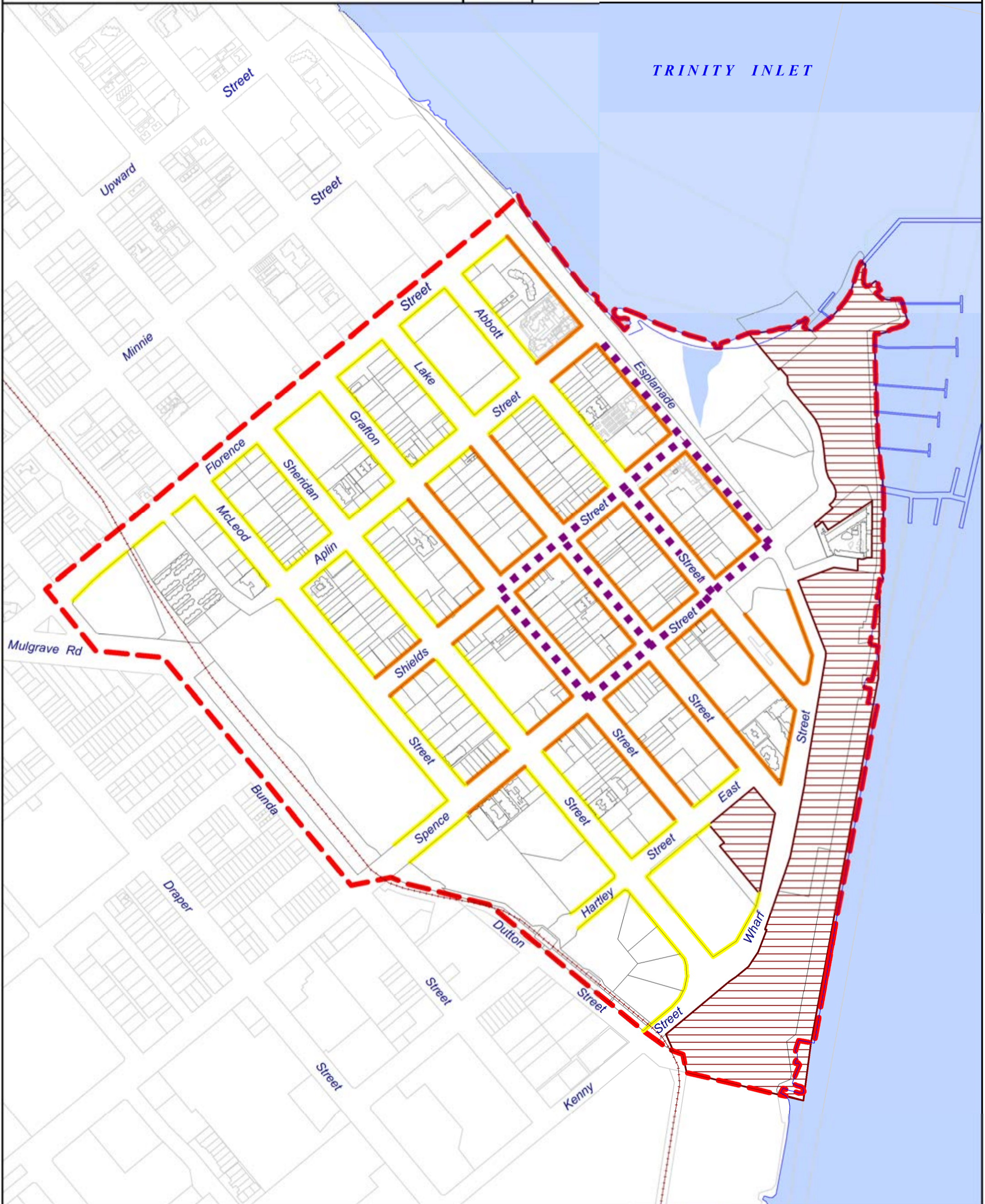
0 375 750
Metres
Scale - 1:13,000 (@ A3 size)

Date: 01/03/2016
Map Number: **LPM-001**



*** The location of the future public transport station is indicative and subject to further detailed planning.

<p>LOCAL PLAN LEGEND</p> <ul style="list-style-type: none"> Local Plan boundary State railway Far North Queensland Port Corporation Land Lake Street public transport station Cairns Central future public transport station *** 	<p><small>Disclaimer: While every care is taken to ensure the accuracy of this map, Cairns Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damage (including indirect or consequential damage) and costs which might incur as a result of the data being inaccurate or incomplete in any way and for any reason.</small></p> <p><small>Cadastral Disclaimer: Despite Department of Environment & Resource Management (DERM)'s best efforts, DERM makes no representations or warranties in relation to the information and to the extent permitted by law, excludes or limits all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the information.</small></p> <p><small>© The State of Queensland - Dept of Environment & Resource Management (DERM) 2016</small></p>		<p>0 150 300 Metres Scale - 1:6,000 (@ A3 size)</p> <p>Date: 01/03/2016 Map Number: LPM-002</p>
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LOCAL PLAN LEGEND

- - - Local Plan boundary
- Far North Queensland Port Corporation Land
- + State railway
- 80 percent active frontage
- 50 percent active frontage
- - - Night-time entertainment activities

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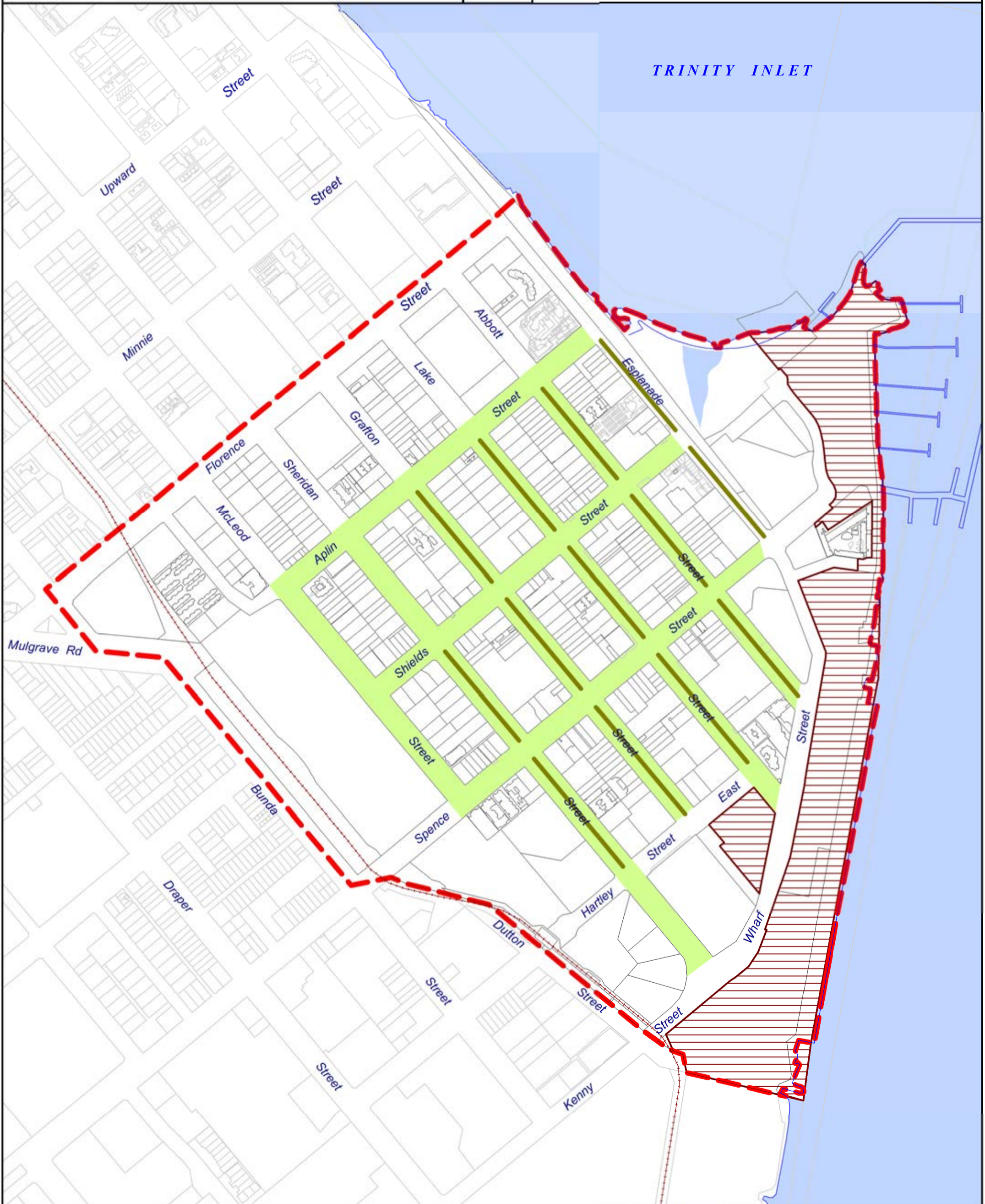


0 150 300
Metres

Date
01/03/2016

Scale - 1:6,000 (@ A3 size)

Map Number: **LPM-003**



LOCAL PLAN LEGEND

- Local Plan boundary
- State railway
- Far North Queensland Port Corporation Land
- Network of green streets
- Pedestrian Arcade Connections

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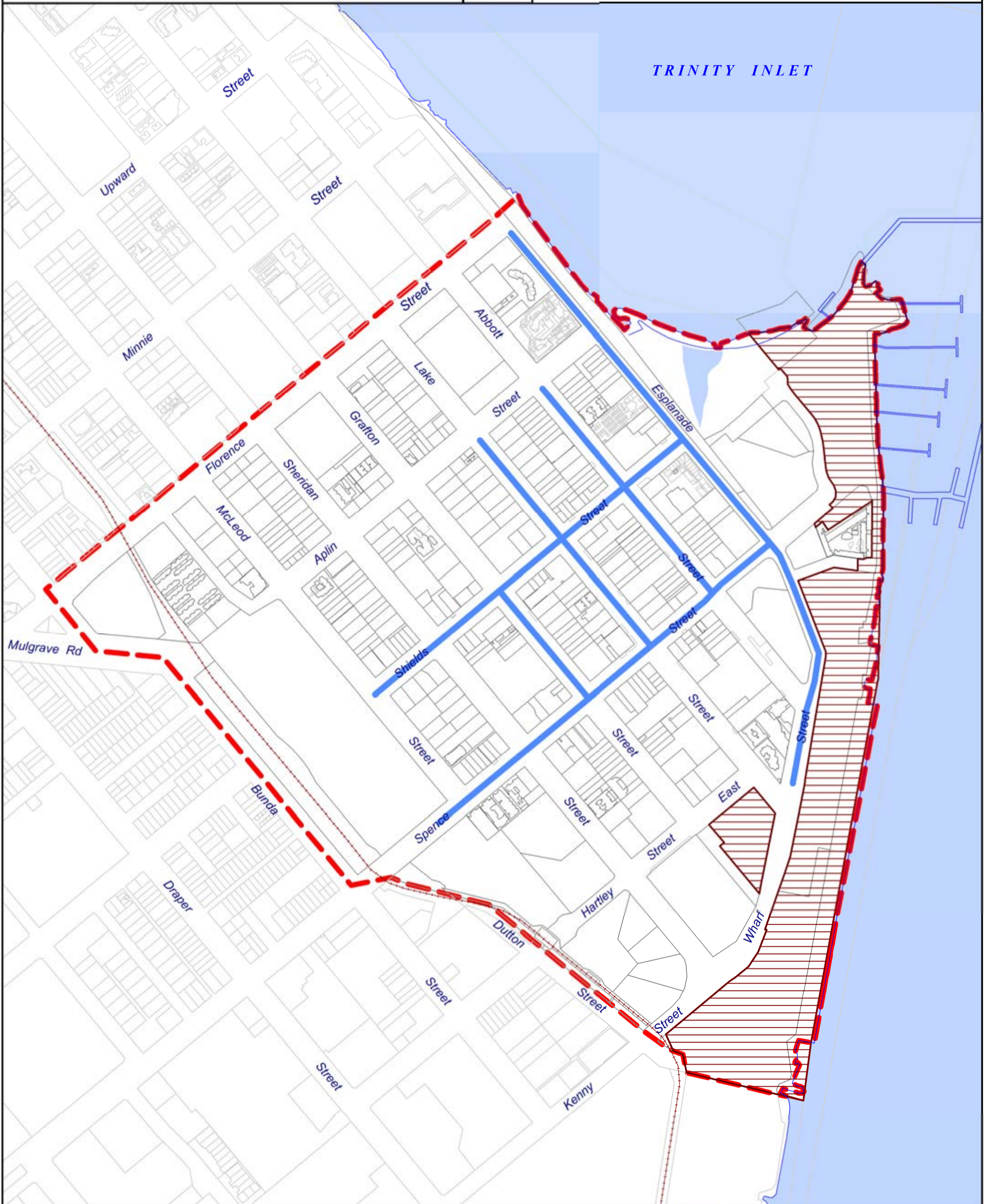


Metres

Scale - 1:6,000 (@ A3 size)

Date
01/03/2016

Map Number: **LPM-004**



LOCAL PLAN LEGEND

- Local Plan boundary
- Far North Queensland Port Corporation Land
- State railway
- Limited access streets

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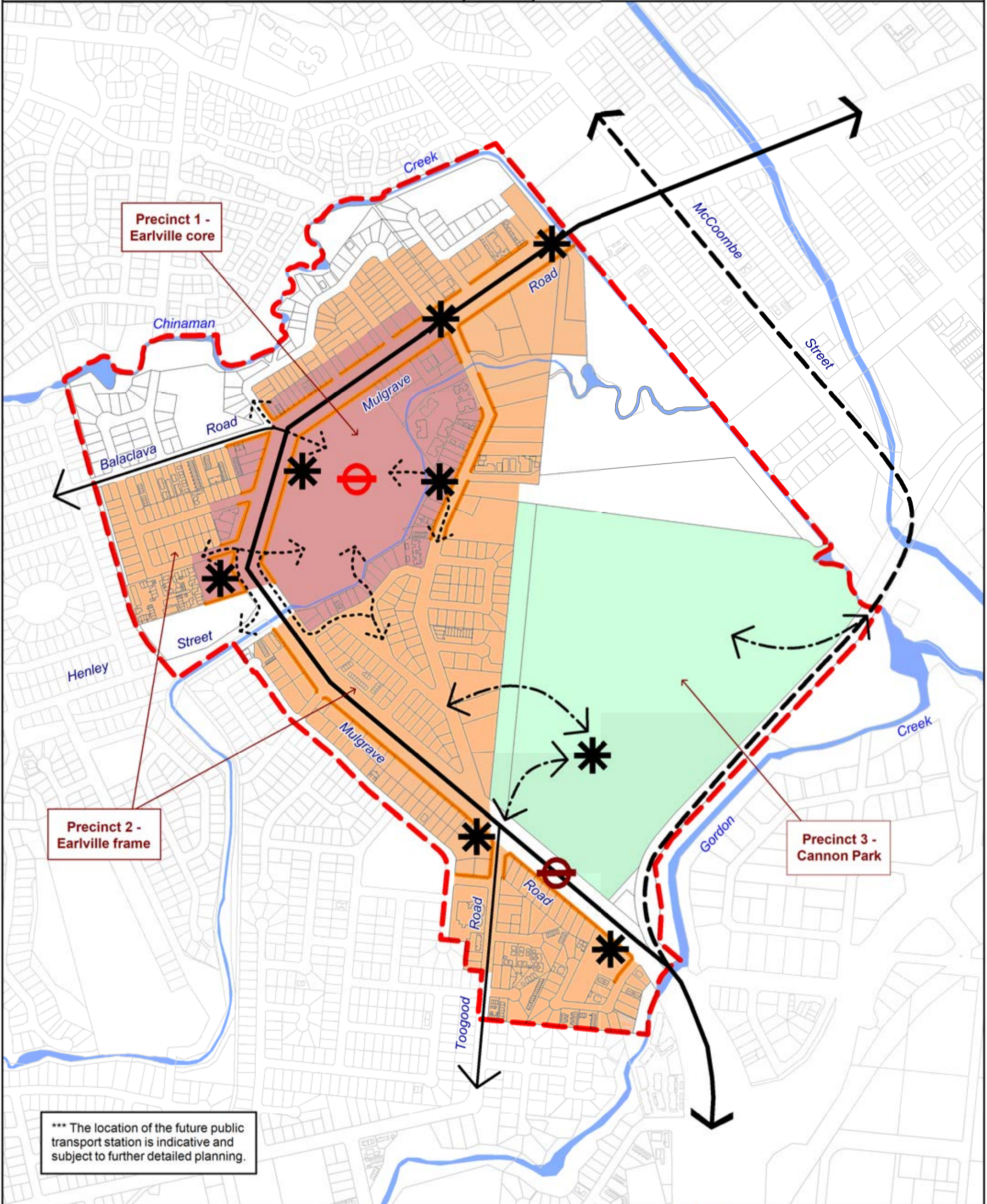


0 150 300
Metres
Scale - 1:6,000 (@ A3 size)

↑
N
↓

Date
01/03/2016

Map Number: **LPM-005**



*** The location of the future public transport station is indicative and subject to further detailed planning.

LOCAL PLAN LEGEND	
	Local Plan boundary
	Major road
	Future major road
	Connector road
	Future connection
	Pedestrian connection
	Gateway sites
	Earlville future public transport station ***
	Cannon Park future public transport station ***
	Active frontage

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0 200 400
Metres
Scale - 1:7,500 (@ A3 size)

Date: 01/03/2016

Map Number: **LPM-006**



LOCAL PLAN LEGEND

- Local Plan boundary
- Major road
- Future major road
- Connector road
- Future connection
- Gateway sites
- Edmonton future public transport station***

*** The location of the future public transport station is indicative and subject to further detailed planning.

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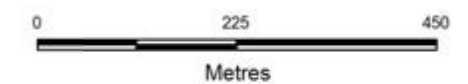
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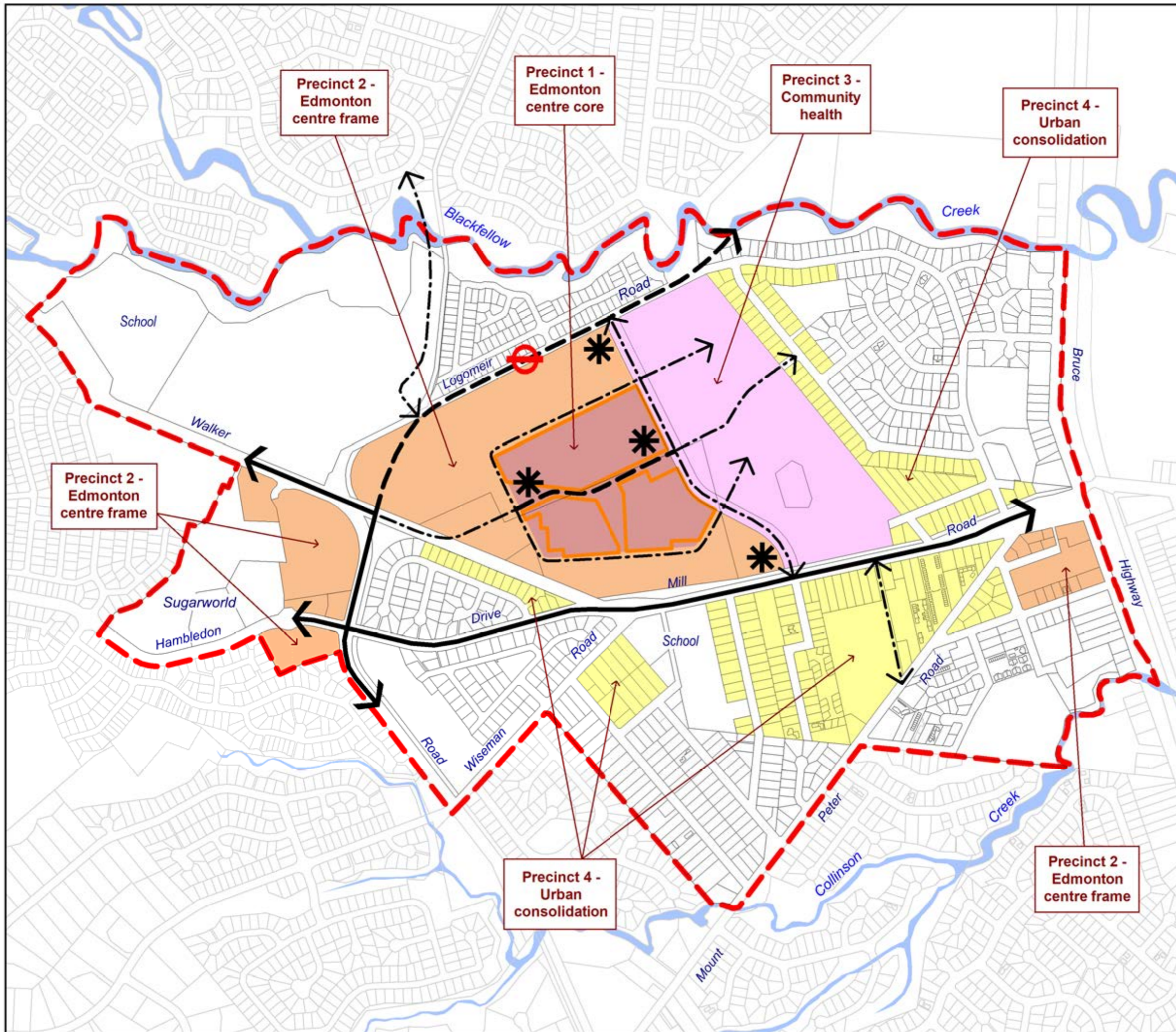
Date 01/03/2016

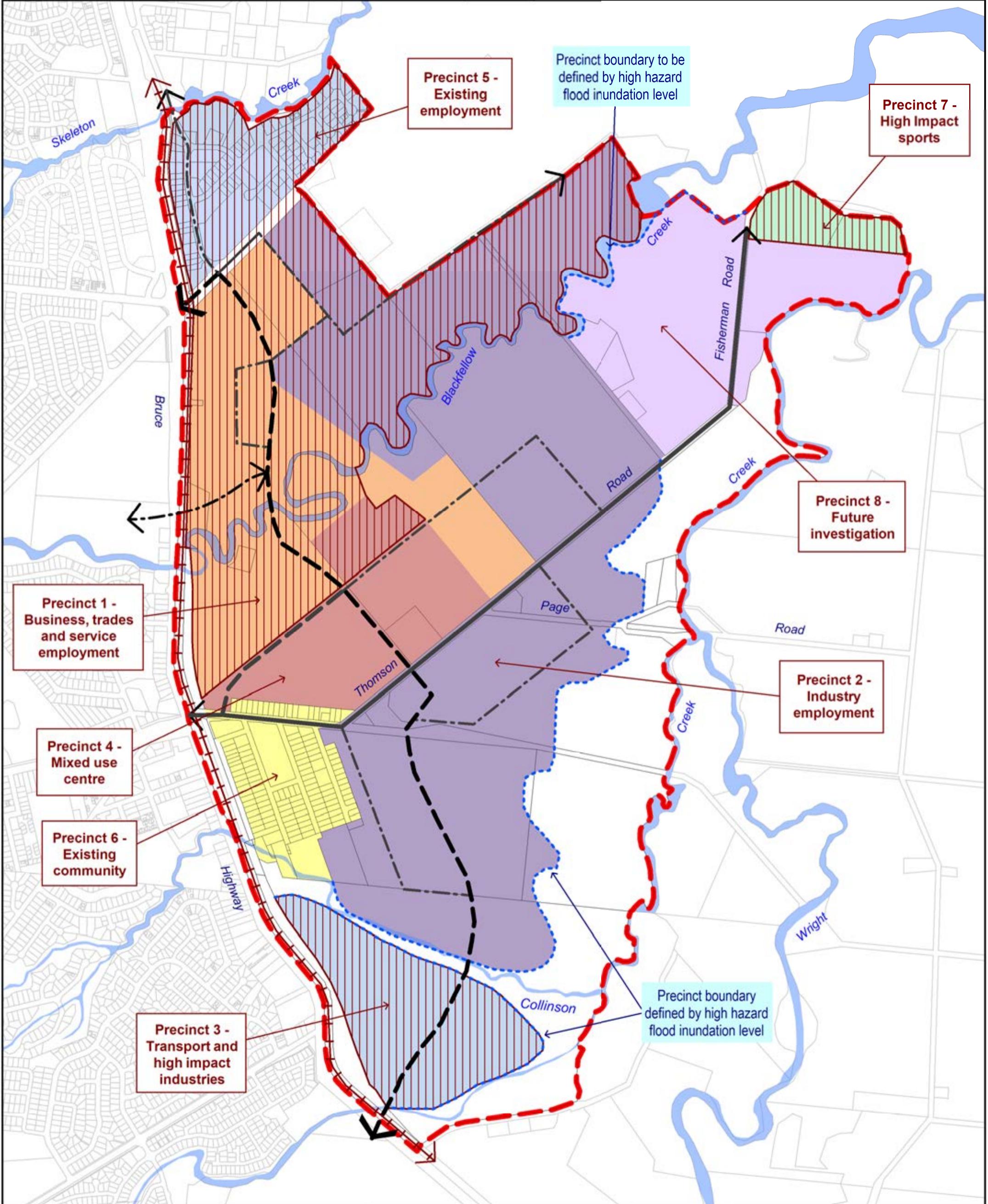
Datum
Geocentric Datum of Australia 1994 (GDA94 - Zone 55)

Scale - 1:8,500 (@ A3 size)



Map Number: **LPM-007**



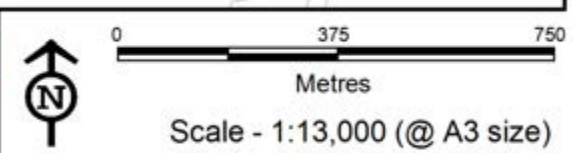


LOCAL PLAN LEGEND

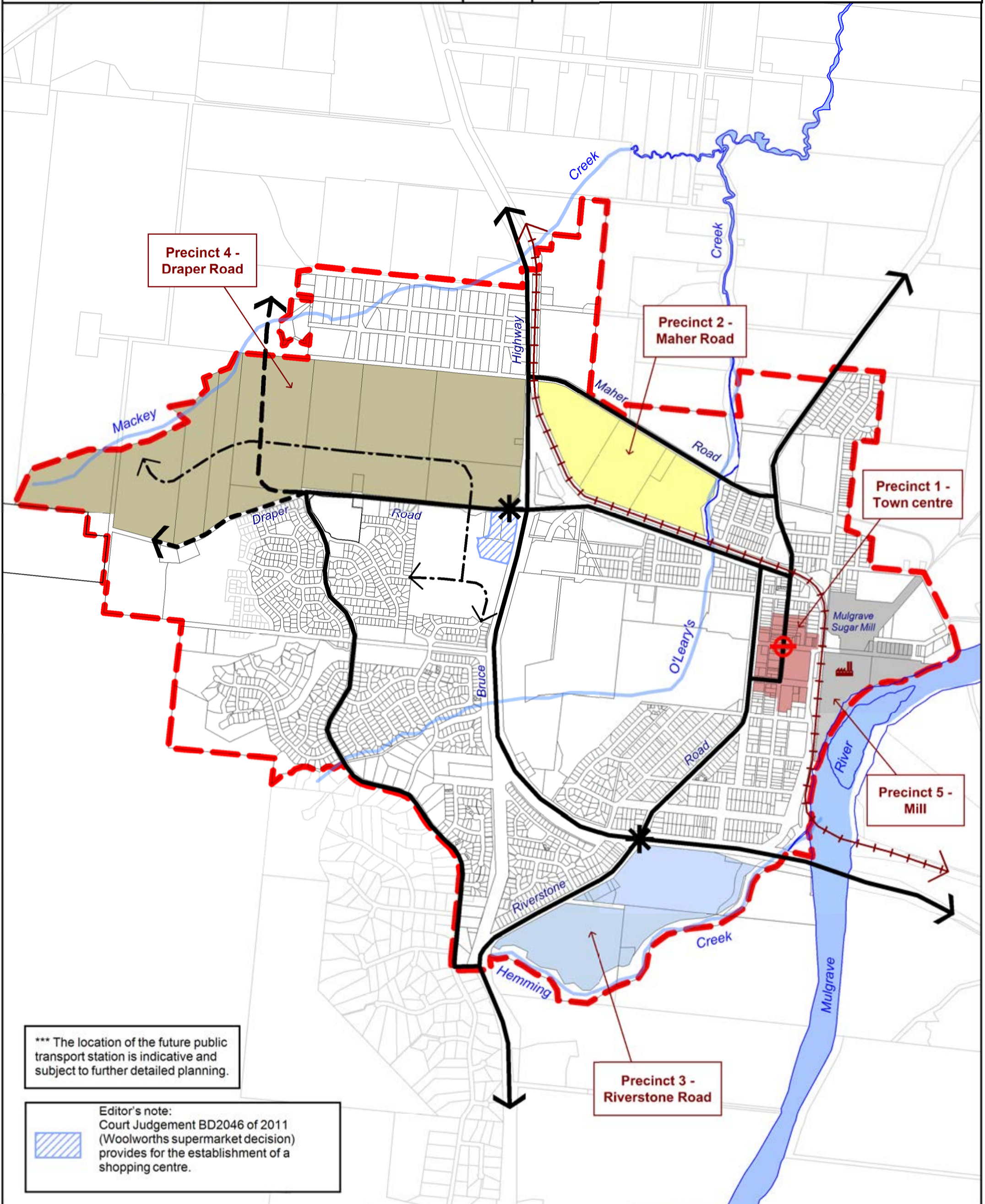
- Local Plan boundary
- Major road
- Future major road
- Connector road
- Future connection
- State railway
- Initial development area

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Date: 01/03/2016
Map Number: **LPM-008**



*** The location of the future public transport station is indicative and subject to further detailed planning.

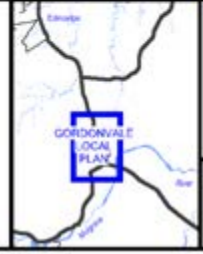
Editor's note:
Court Judgement BD2046 of 2011 (Woolworths supermarket decision) provides for the establishment of a shopping centre.

LOCAL PLAN LEGEND

- Local Plan boundary
- Major road
- Future major road
- Connector road
- Future connection
- State railway
- Gateway sites
- Gordonvale future public transport station ***

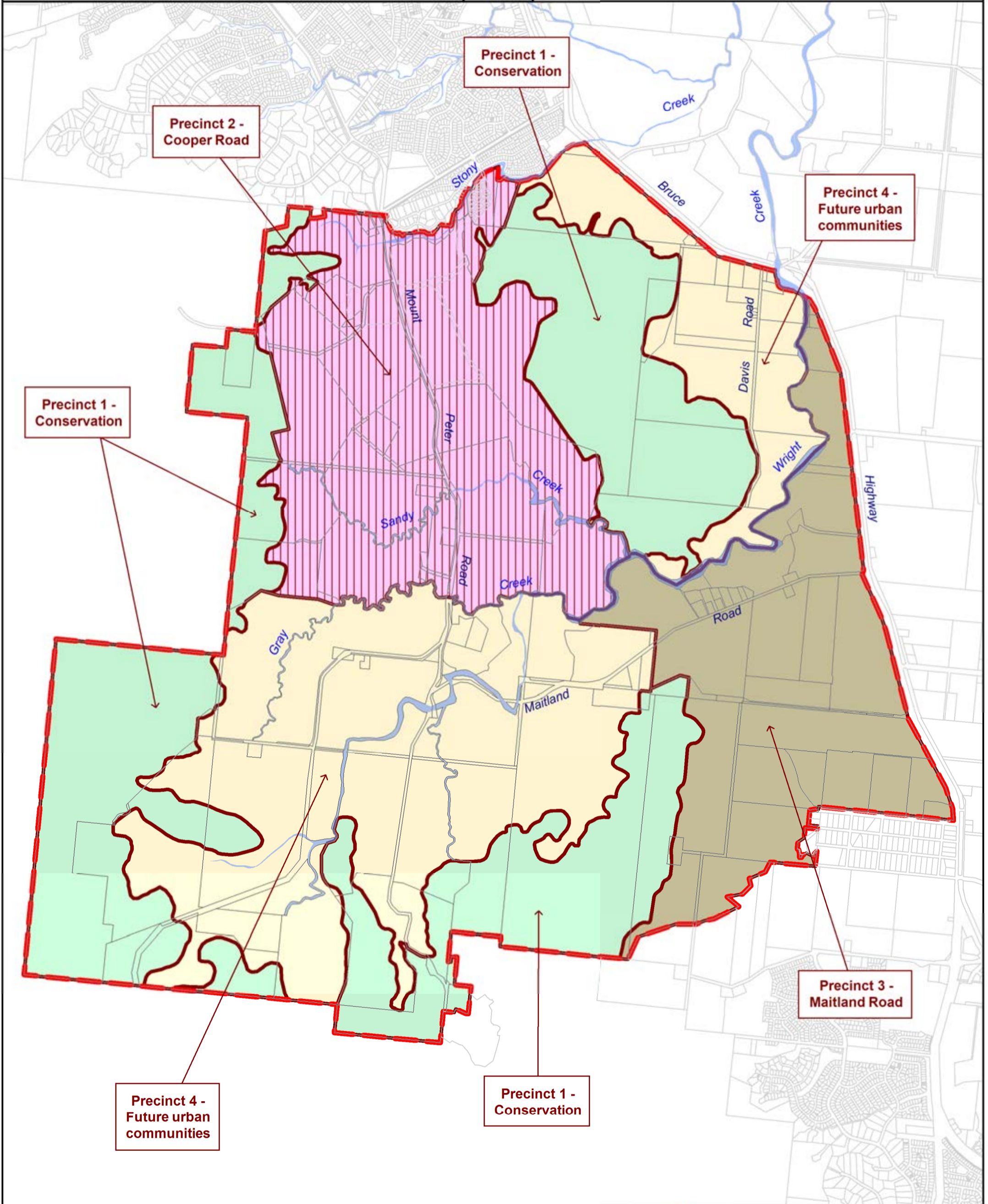
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0 400 800
Metres
Scale - 1:16,000 (@ A3 size)

Date 01/03/2016
Map Number: **LPM-009**



LOCAL PLAN LEGEND	
	Local Plan boundary
	Major road
	Future major road
	Connector road
	Future connection
	Precincts districts
	Initial development area

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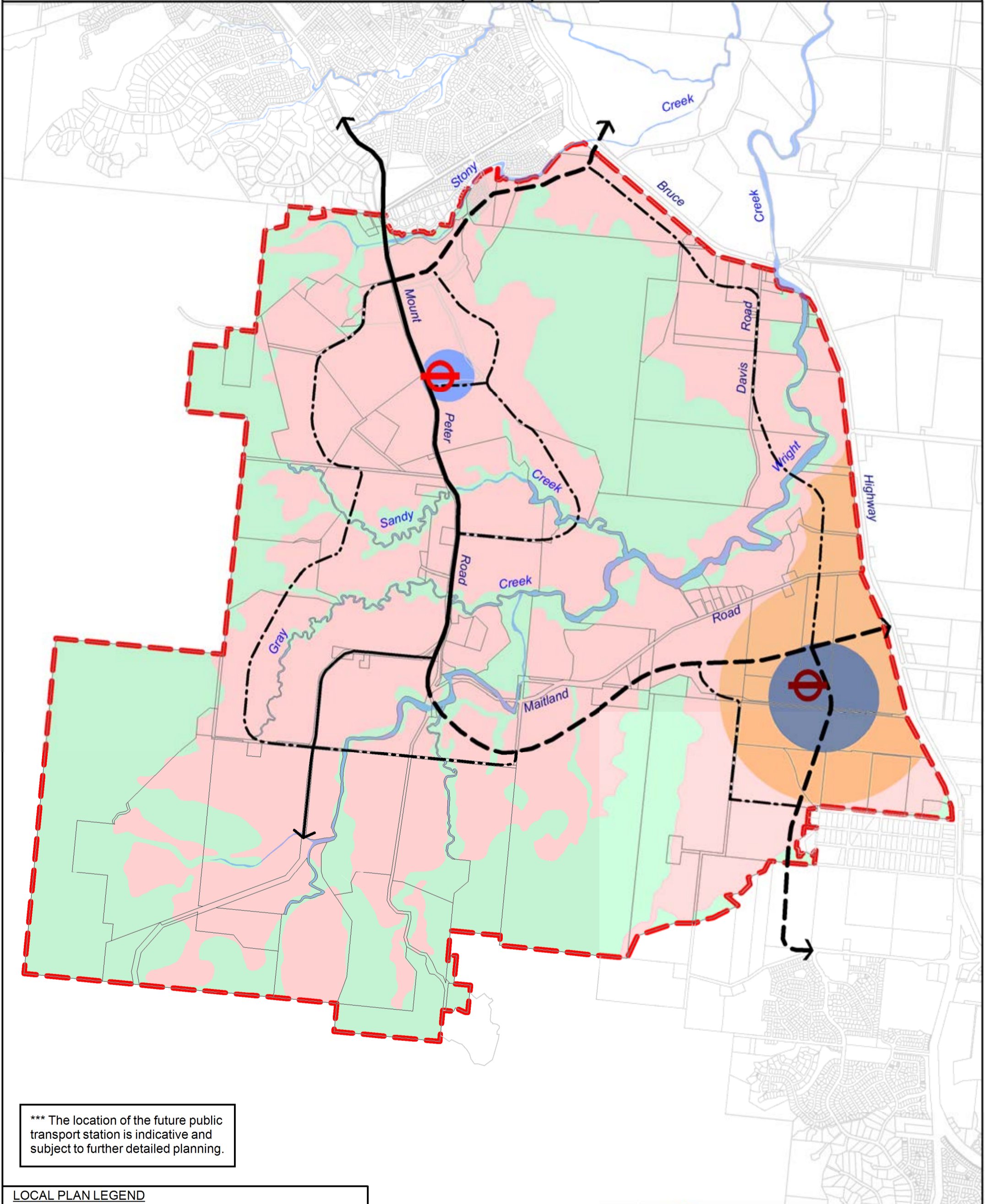
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Metres
Scale - 1:25,000 (@ A3 size)

Date
01/03/2016

Map Number: **LPM-010**



*** The location of the future public transport station is indicative and subject to further detailed planning.

LOCAL PLAN LEGEND	
	Local Plan boundary
	Major road
	Future major road
	Connector road
	Future connection
	Cooper Road future public transport station ***
	Maitland Road future public transport station ***
	Maitland Road South Activity Centre Core
	Maitland Road South Activity Centre Frame
	Cooper Road Activity Centre
	Future urban communities
	Conservation / Open space

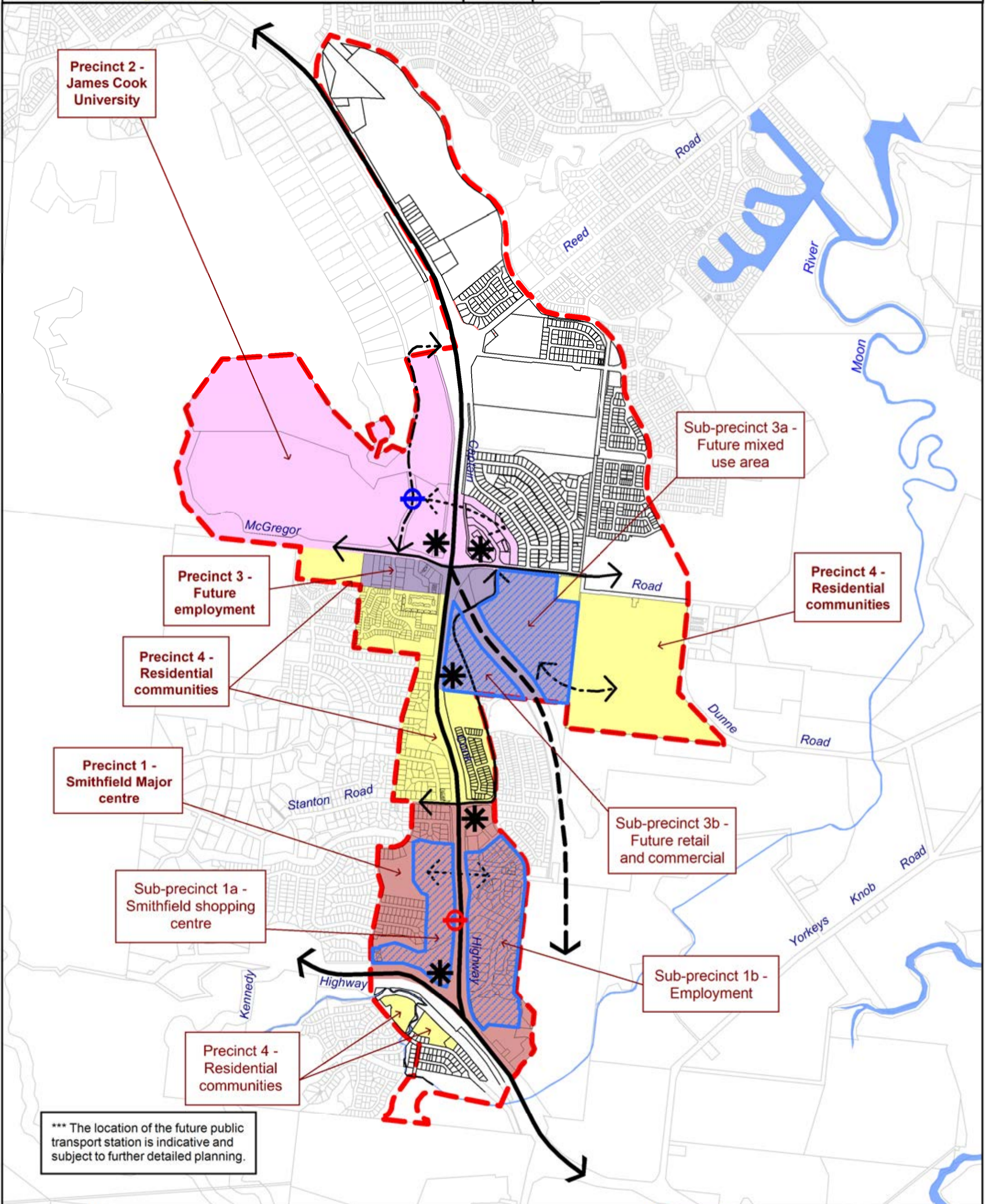
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0 625 1,250
 Metres
 Scale - 1:25,000 (@ A3 size)

Date: 01/03/2016
 Map Number: **LPM-011**



*** The location of the future public transport station is indicative and subject to further detailed planning.

LOCAL PLAN LEGEND

- Local Plan boundary
- Major road
- Future major road
- Connector road
- Future connection
- Gateway sites
- James Cook University Public transport station
- Smithfield future public transport station ***

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0 400 800
Metres

Scale - 1:17,000 (@ A3 size)

Date: 01/03/2016

Map Number: **LPM-012**

SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

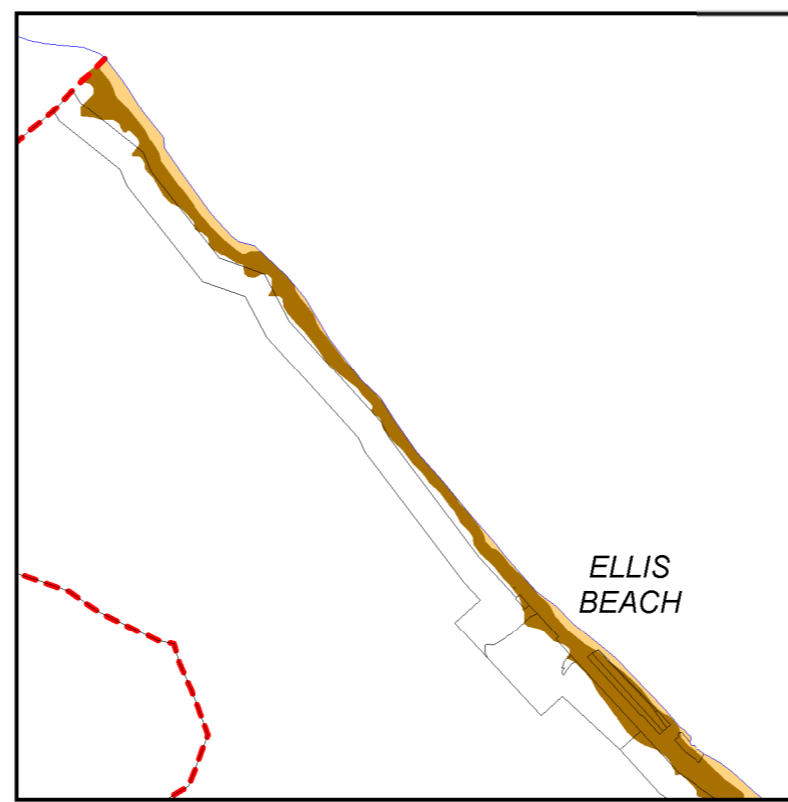
HOLLOWAYS BEACH

CORAL
SEA

MACHANS BEACH

REDLYNCH

TRINITY
INLET



INSERT



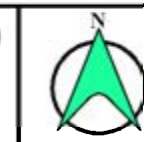
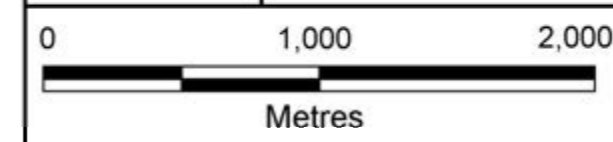
CAIRNSPLAN2016

One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

ACID SULFATE SOILS OVERLAY

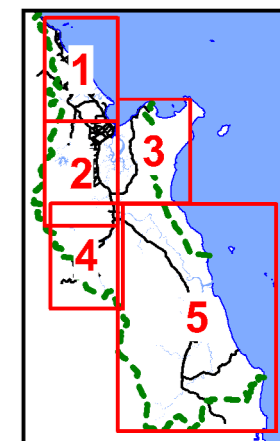
Date 01/03/2016



MAP No. OM-01A
Sheet 1 of 5

LEGEND

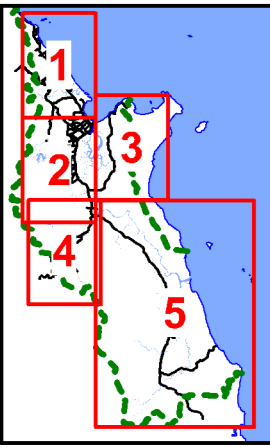
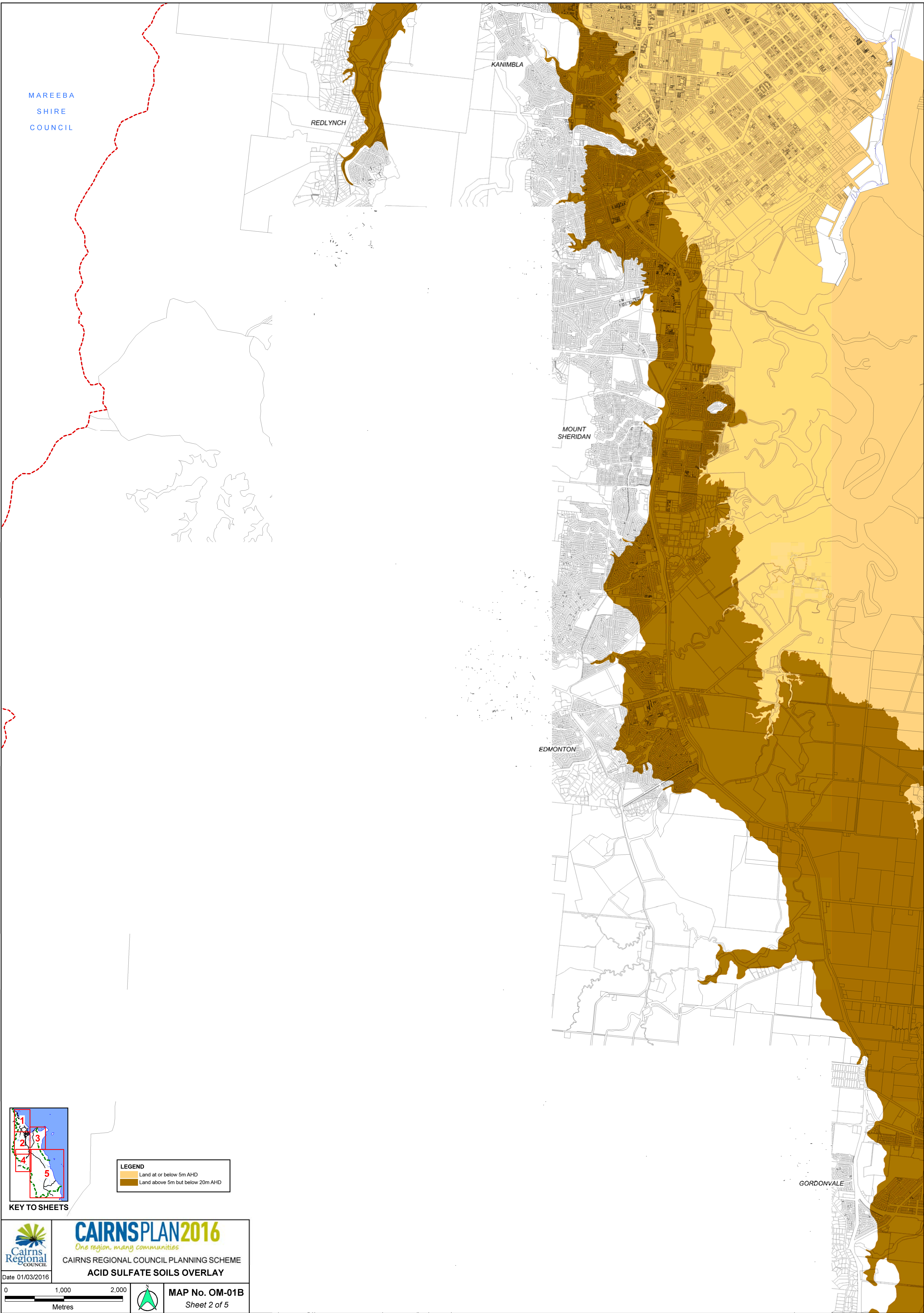
- Land at or below 5m AHD
- Land above 5m but below 20m AHD



KEY TO SHEETS

MAREEBA
SHIRE
COUNCIL

MAREEBA
SHIRE
COUNCIL



KEY TO SHEETS

LEGEND	
	Land at or below 5m AHD
	Land above 5m but below 20m AHD

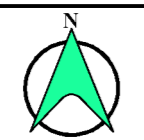
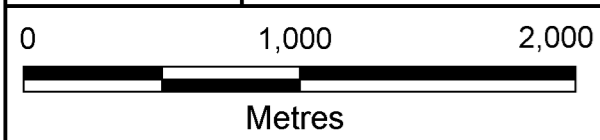


CAIRNSPLAN2016

One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ACID SULFATE SOILS OVERLAY

Date 01/03/2016



MAP No. OM-01B
Sheet 2 of 5

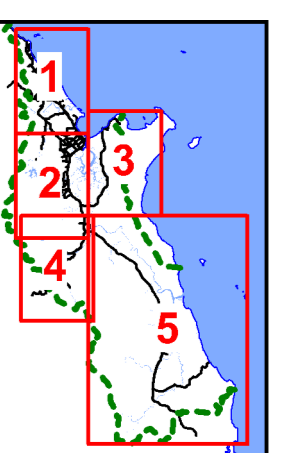
TRINITY
INLET

EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

LEGEND
Land at or below 5m AHD
Land above 5m but below 20m AHD



KEY TO SHEETS

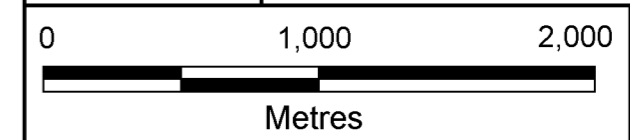


CAIRNSPLAN2016
One region. many communities

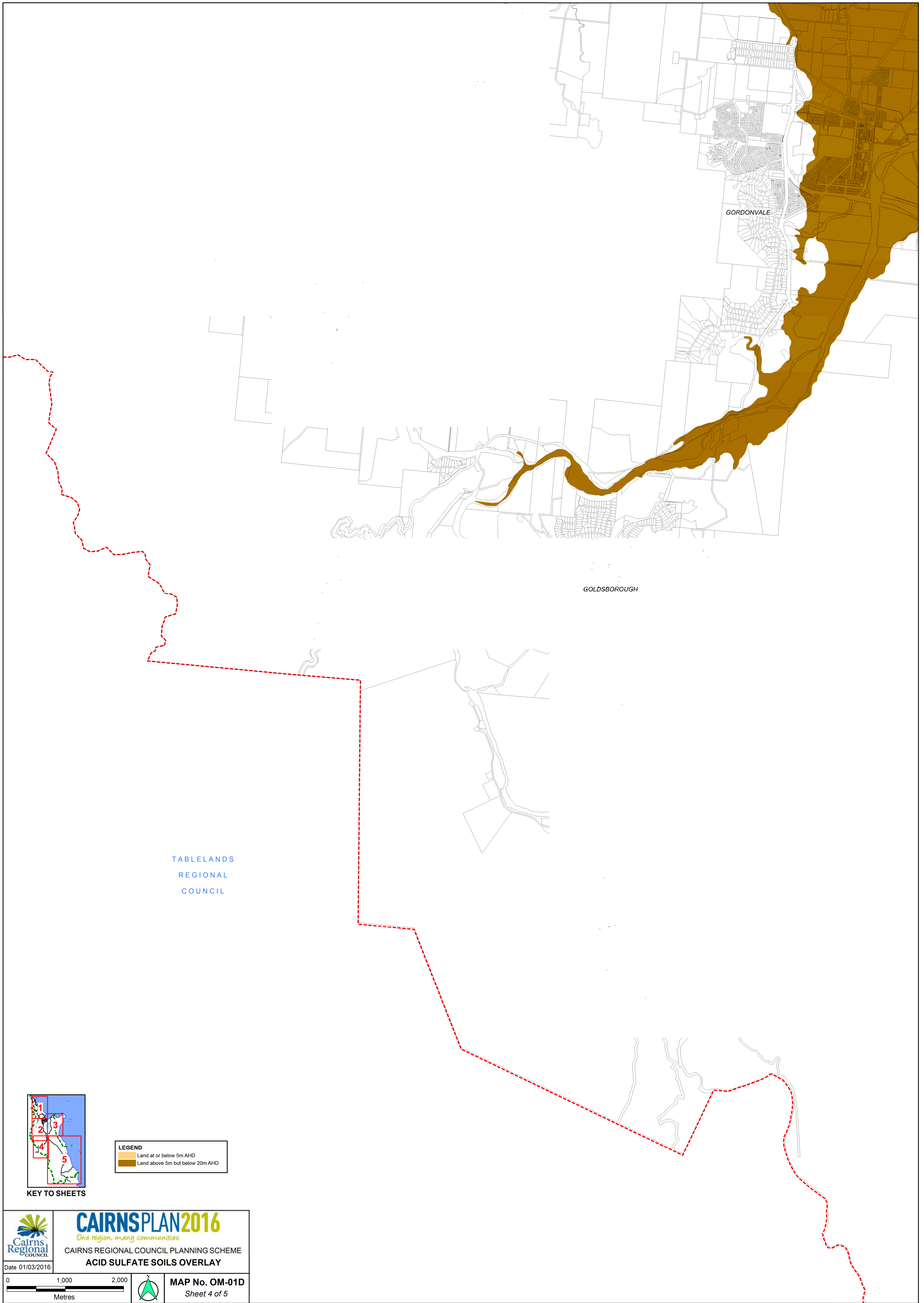
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

ACID SULFATE SOILS OVERLAY

Date 01/03/2016



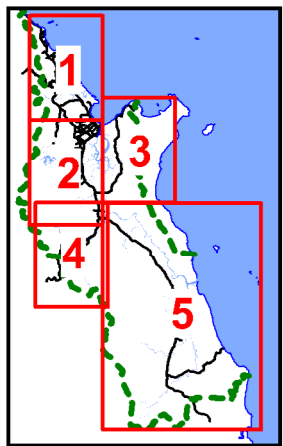
MAP No. OM-01C
Sheet 3 of 5





TABLELANDS
REGIONAL
COUNCIL

GORDONVALE

GOLDSBOROUGH



KEY TO SHEETS

LEGEND	
	Land at or below 5m AHD
	Land above 5m but below 20m AHD

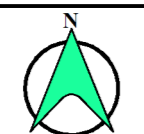
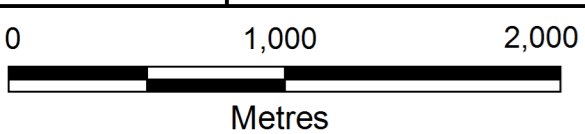


CAIRNSPLAN2016

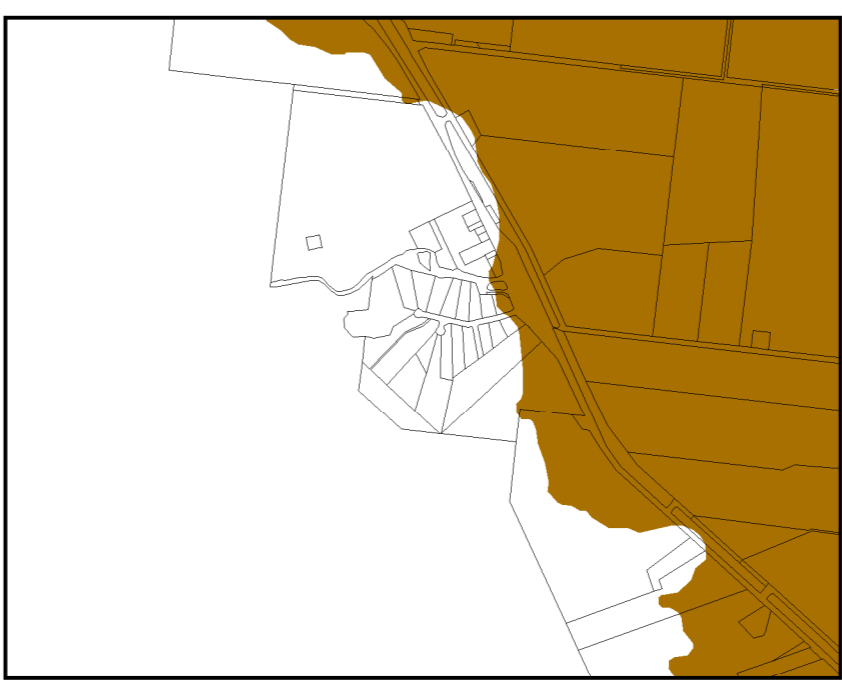
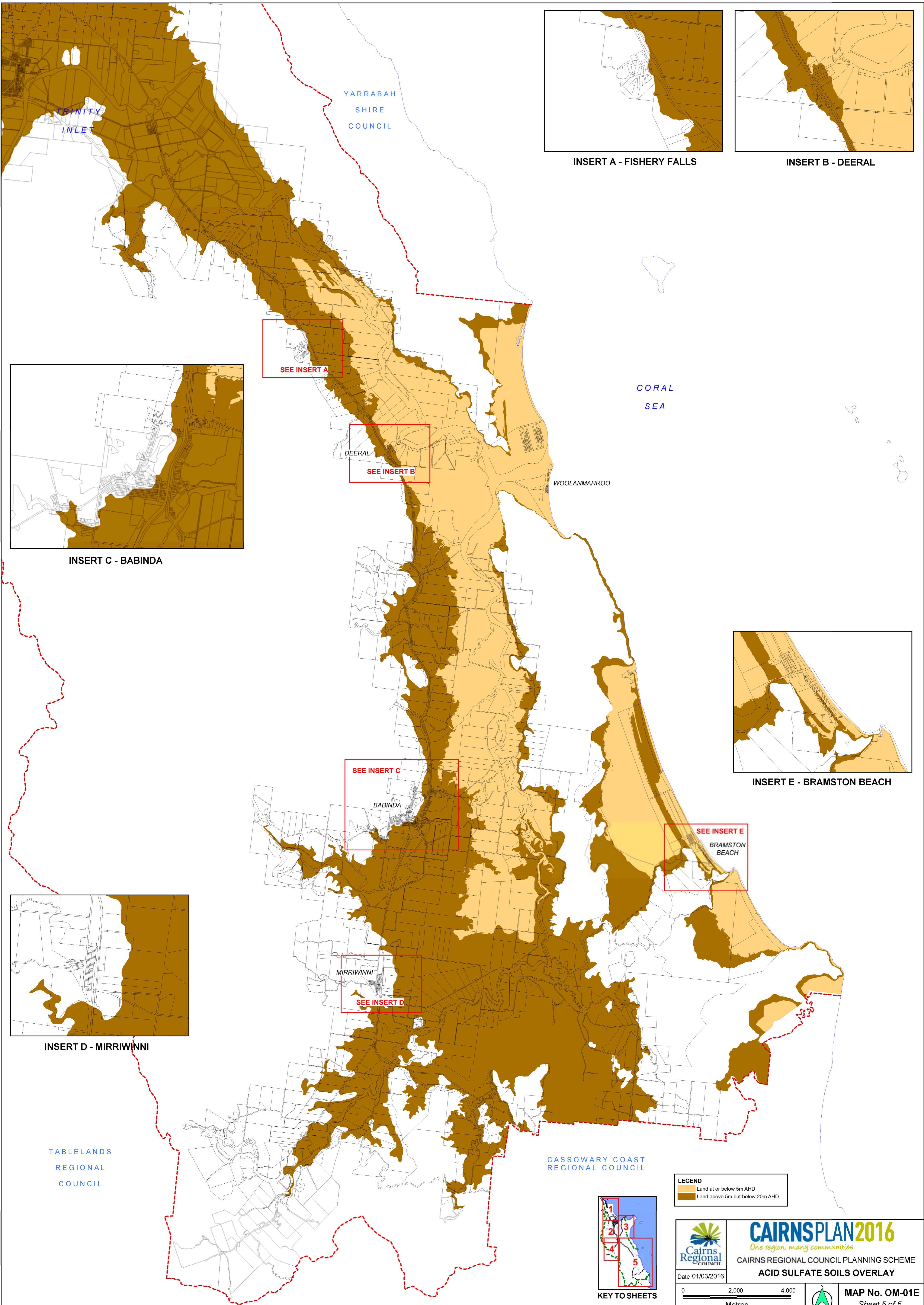
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
ACID SULFATE SOILS OVERLAY

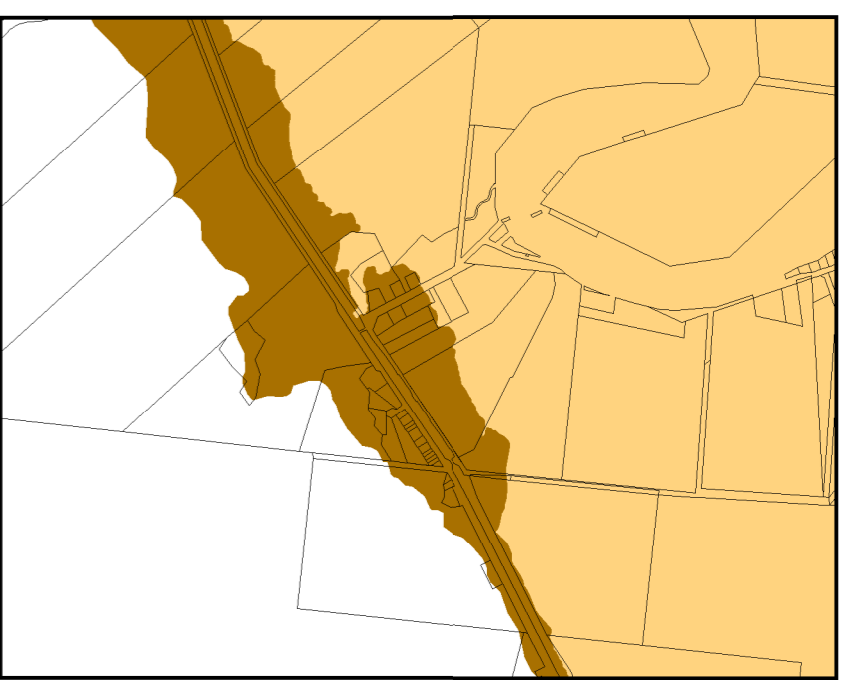
Date 01/03/2016



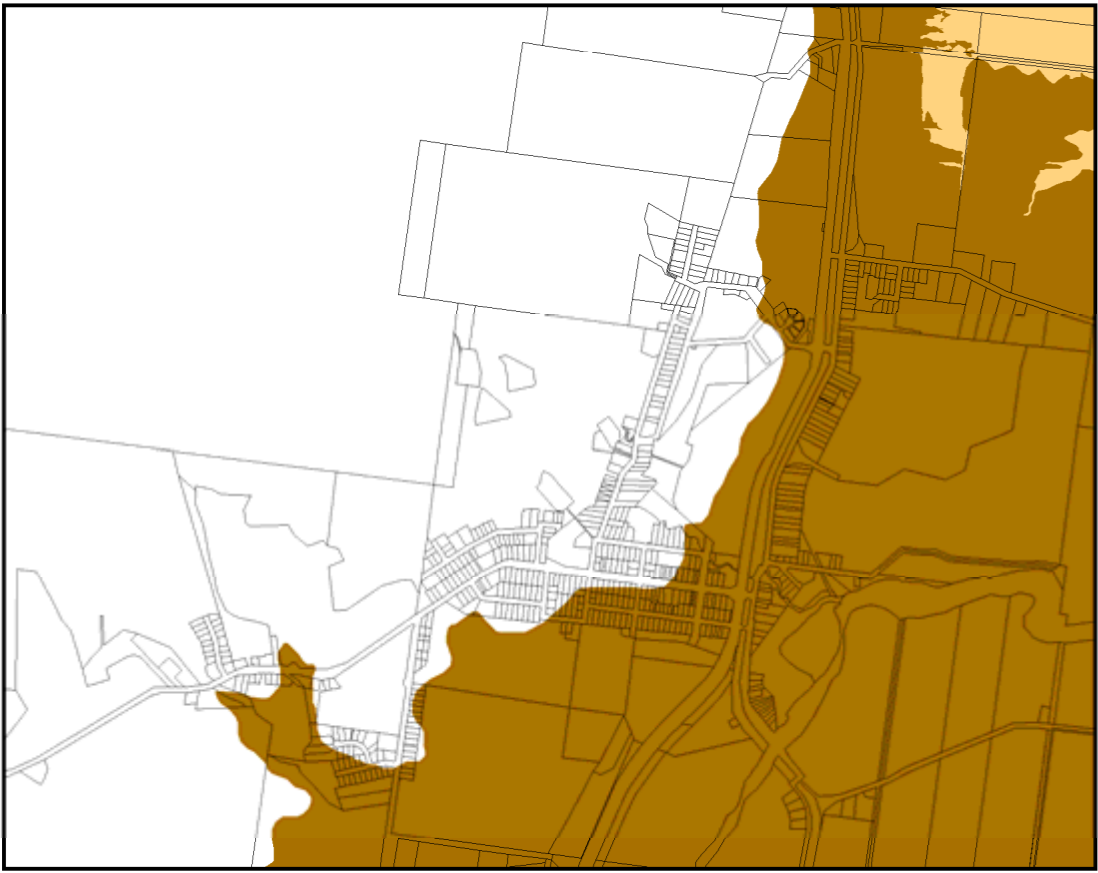
MAP No. OM-01D
Sheet 4 of 5



INSERT A - FISHERY FALLS



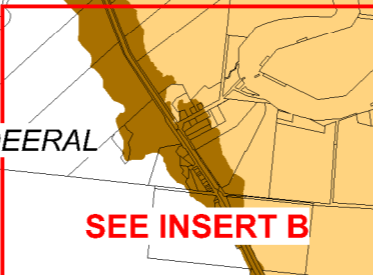
INSERT B - DEERAL



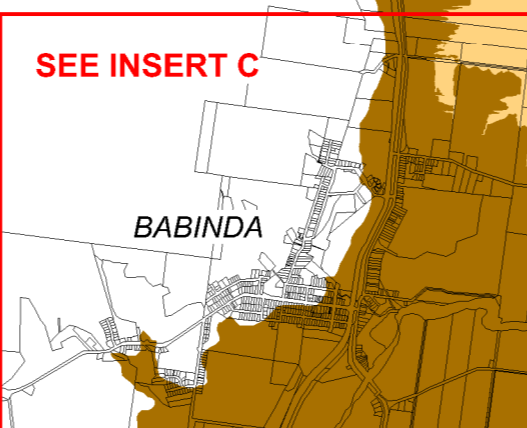
INSERT C - BABINDA



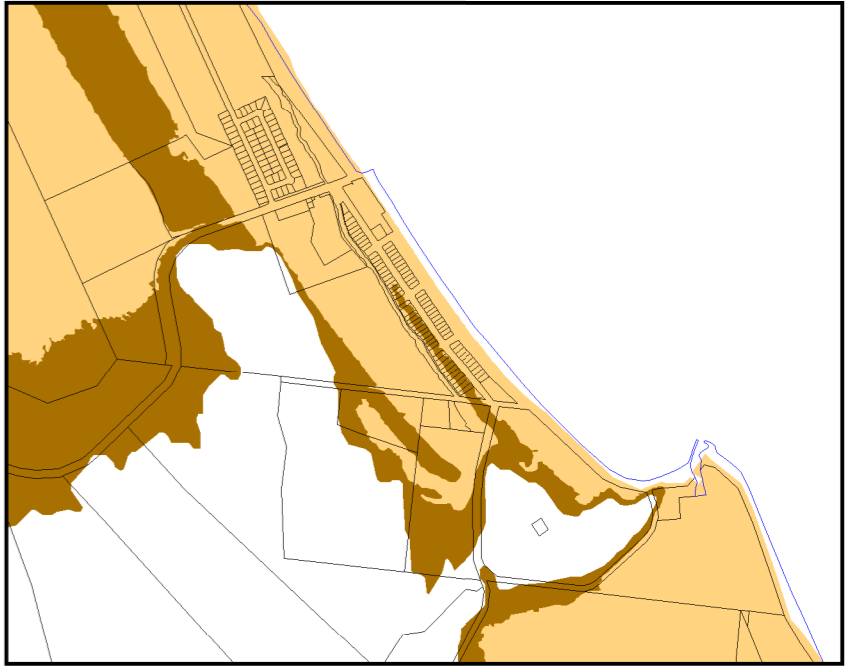
SEE INSERT A



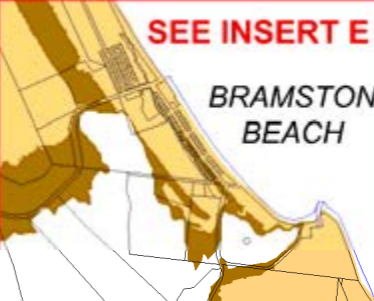
SEE INSERT B



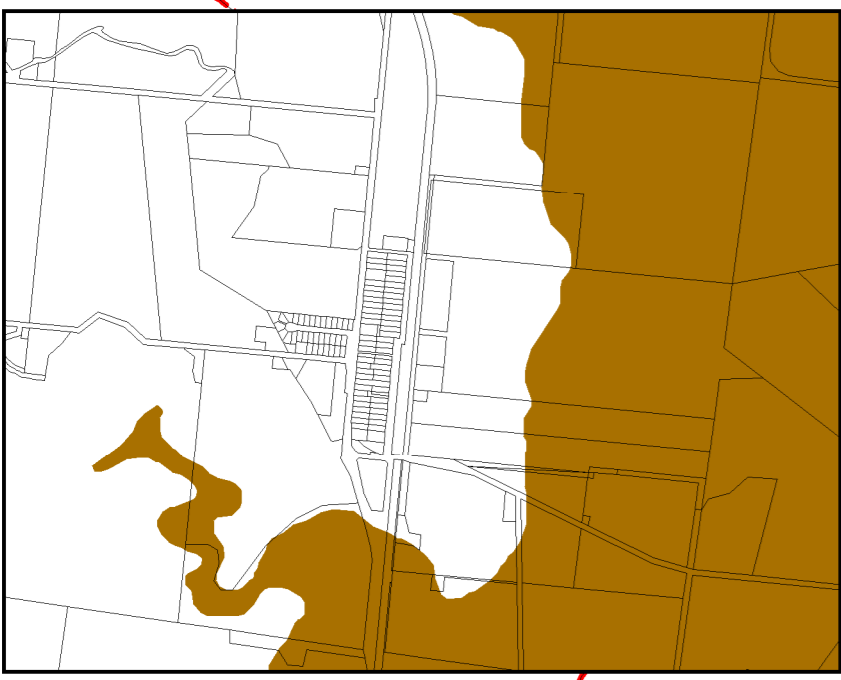
SEE INSERT C



INSERT E - BRAMSTON BEACH



SEE INSERT E



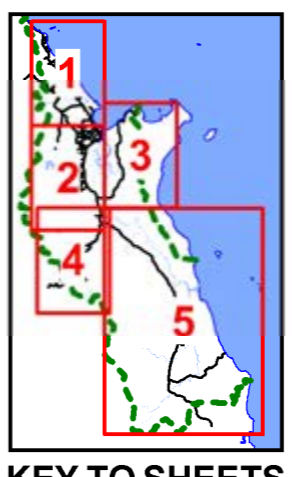
INSERT D - MIRRIWINNI



SEE INSERT D

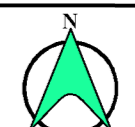
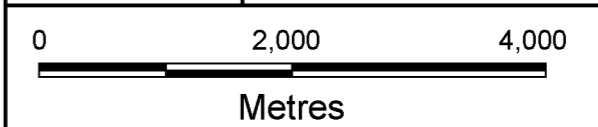
LEGEND

	Land at or below 5m AHD
	Land above 5m but below 20m AHD



KEY TO SHEETS

<p>Cairns Regional Council</p>	<p>CAIRNSPLAN2016 One region. many communities</p>
	<p>CAIRNS REGIONAL COUNCIL PLANNING SCHEME ACID SULFATE SOILS OVERLAY</p>
<p>Date 01/03/2016</p>	<p>MAP No. OM-01E Sheet 5 of 5</p>



TABLELANDS
REGIONAL
COUNCIL

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

WOOLANMARROO

DEERAL

SEE INSERT B

BABINDA

SEE INSERT C

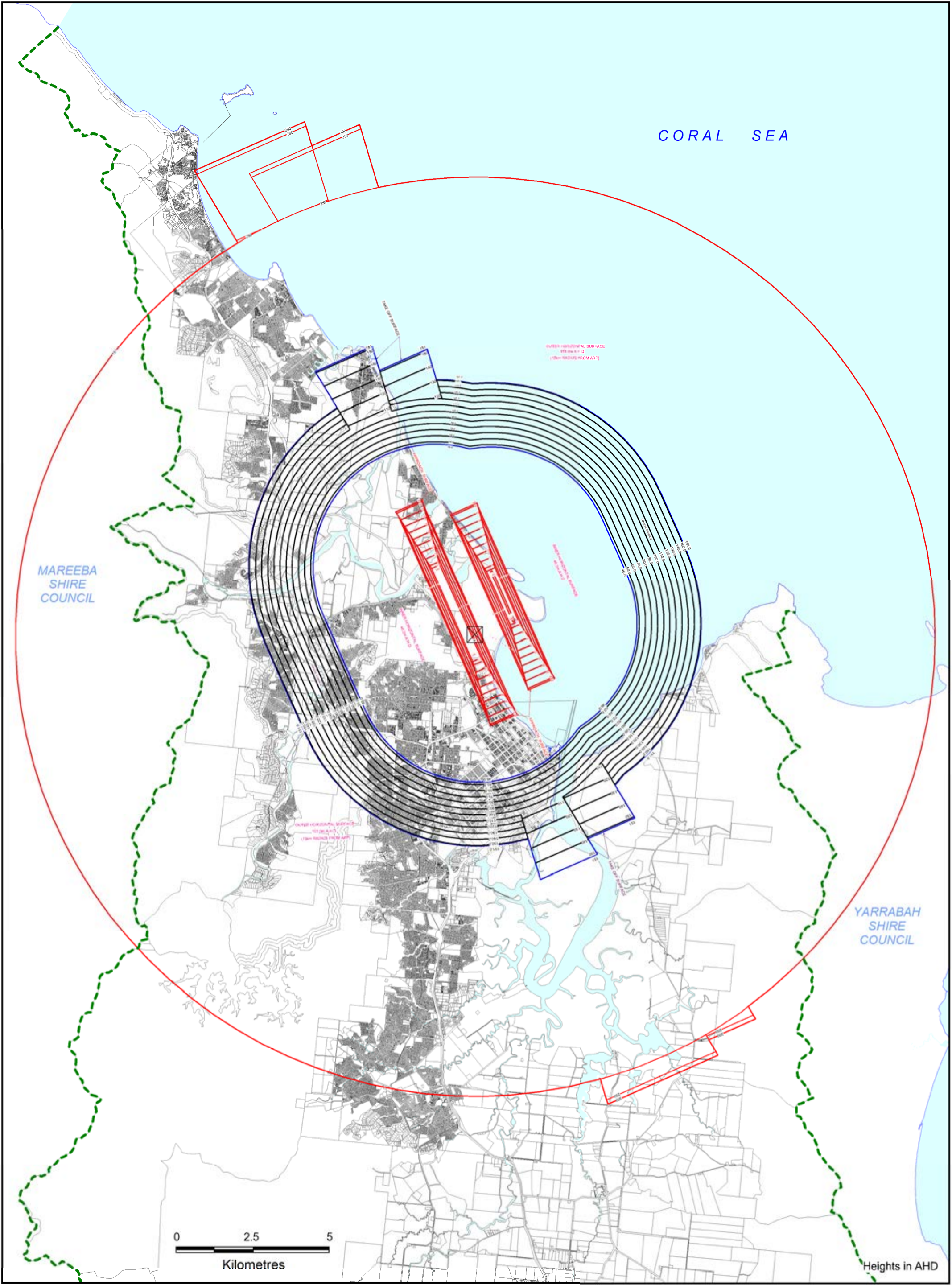
SEE INSERT E

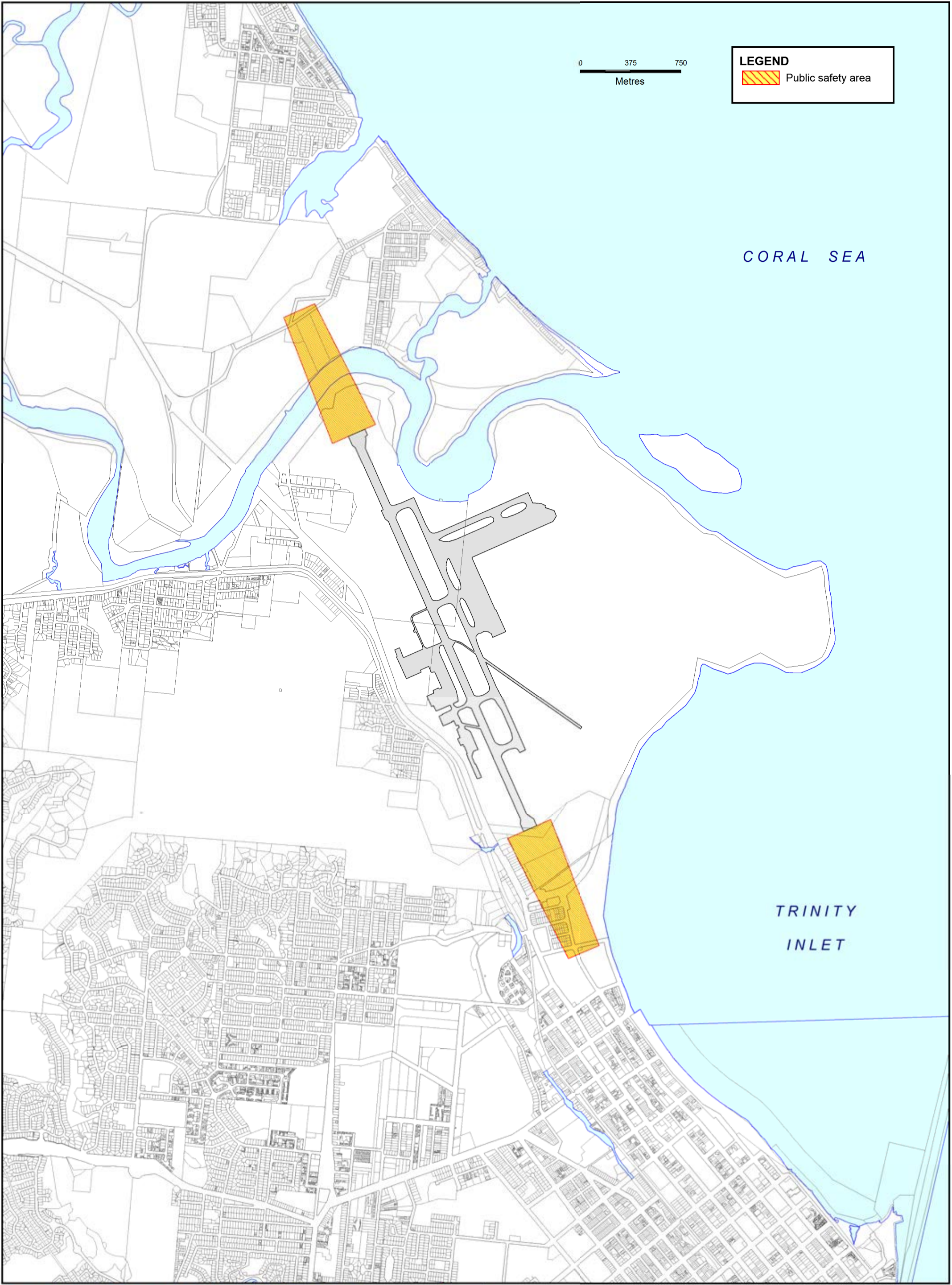
BRAMSTON
BEACH

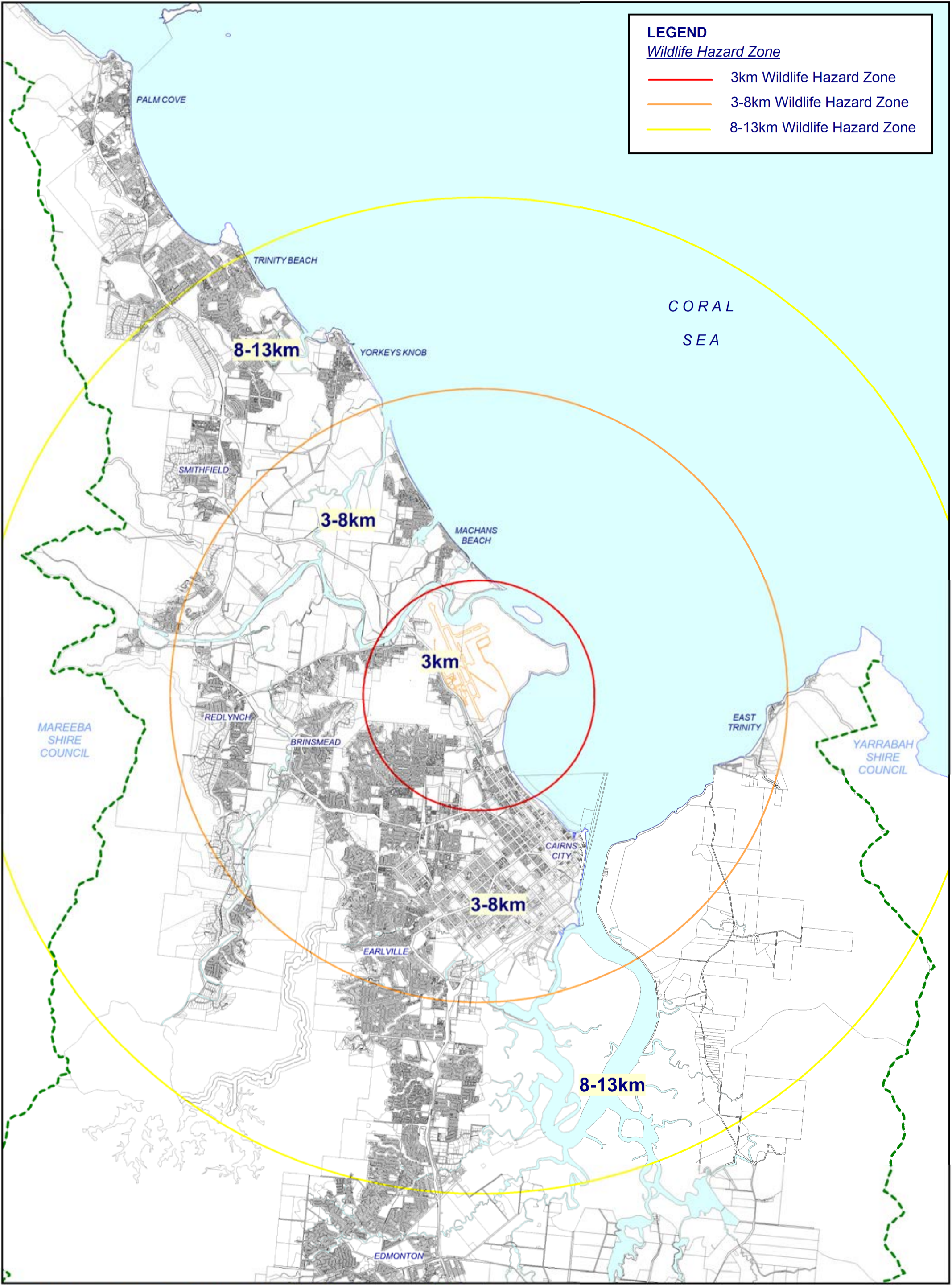
MIRRIWINNI

SEE INSERT D

CASSOWARY COAST
REGIONAL COUNCIL

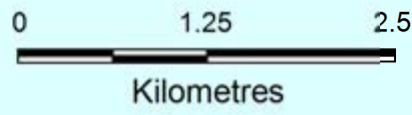











LEGEND
Wildlife Hazard Zone

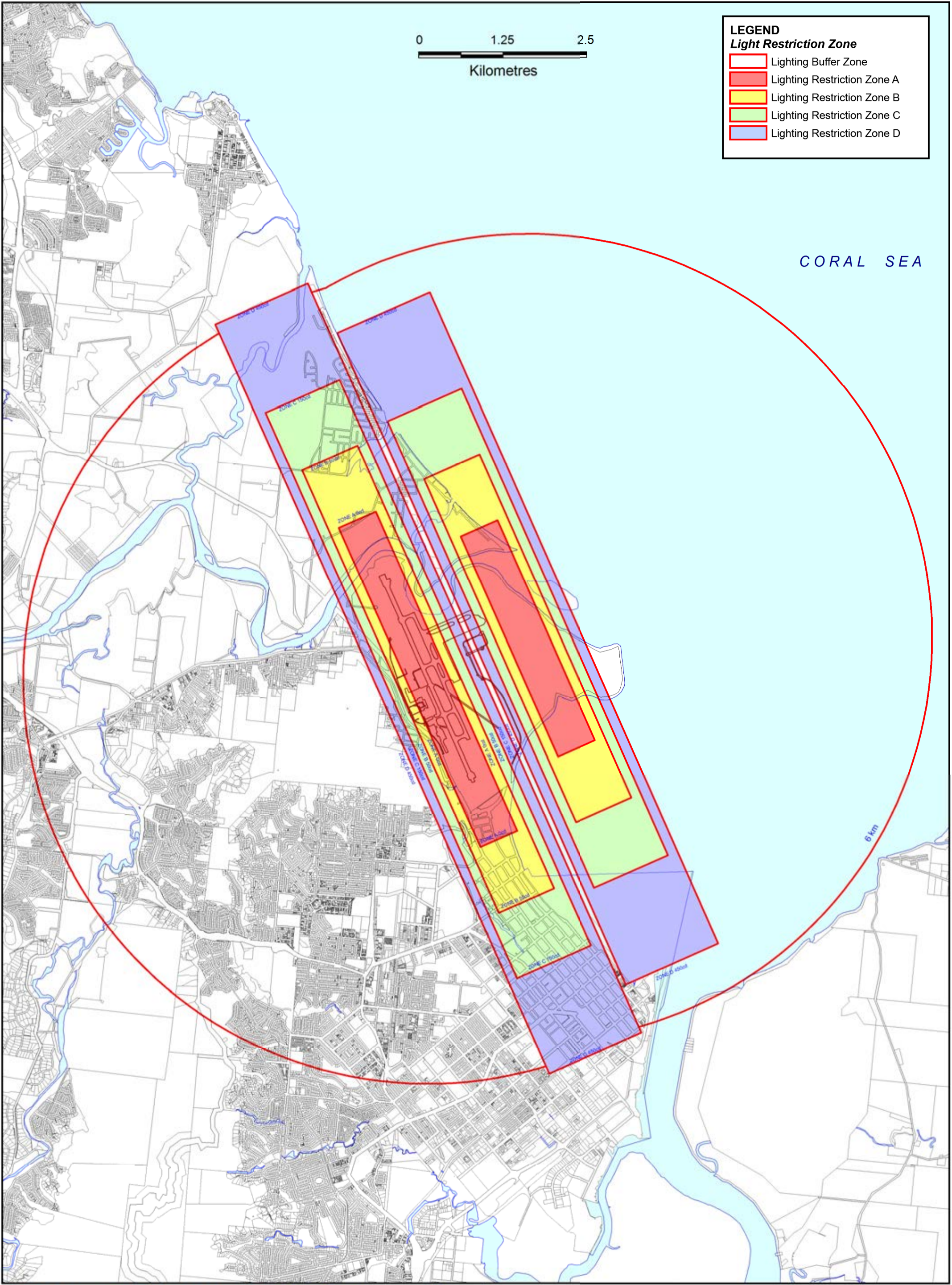
- 3km Wildlife Hazard Zone
- 3-8km Wildlife Hazard Zone
- 8-13km Wildlife Hazard Zone

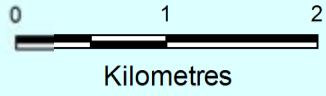
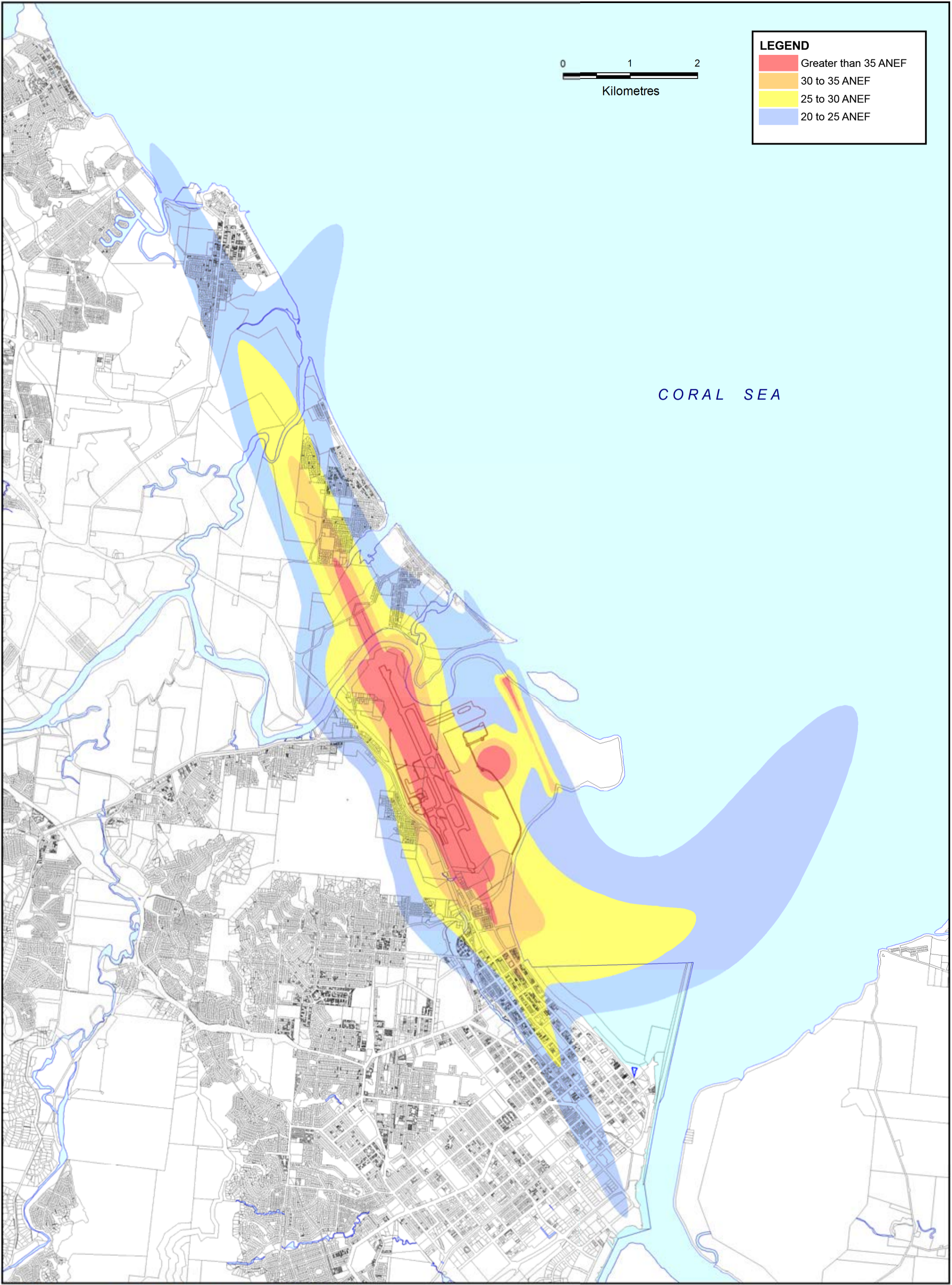


LEGEND
Light Restriction Zone

-  Lighting Buffer Zone
-  Lighting Restriction Zone A
-  Lighting Restriction Zone B
-  Lighting Restriction Zone C
-  Lighting Restriction Zone D

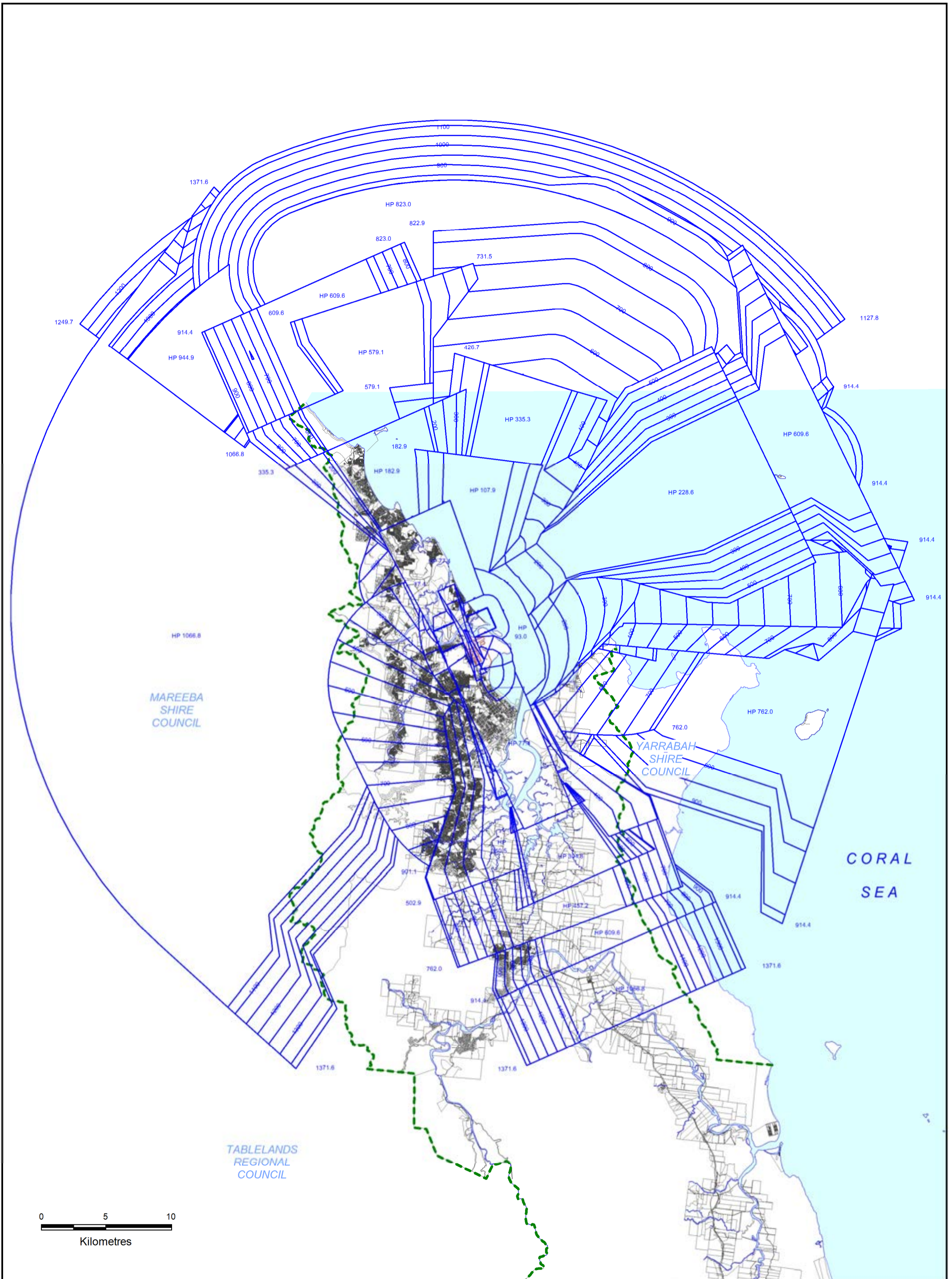
CORAL SEA









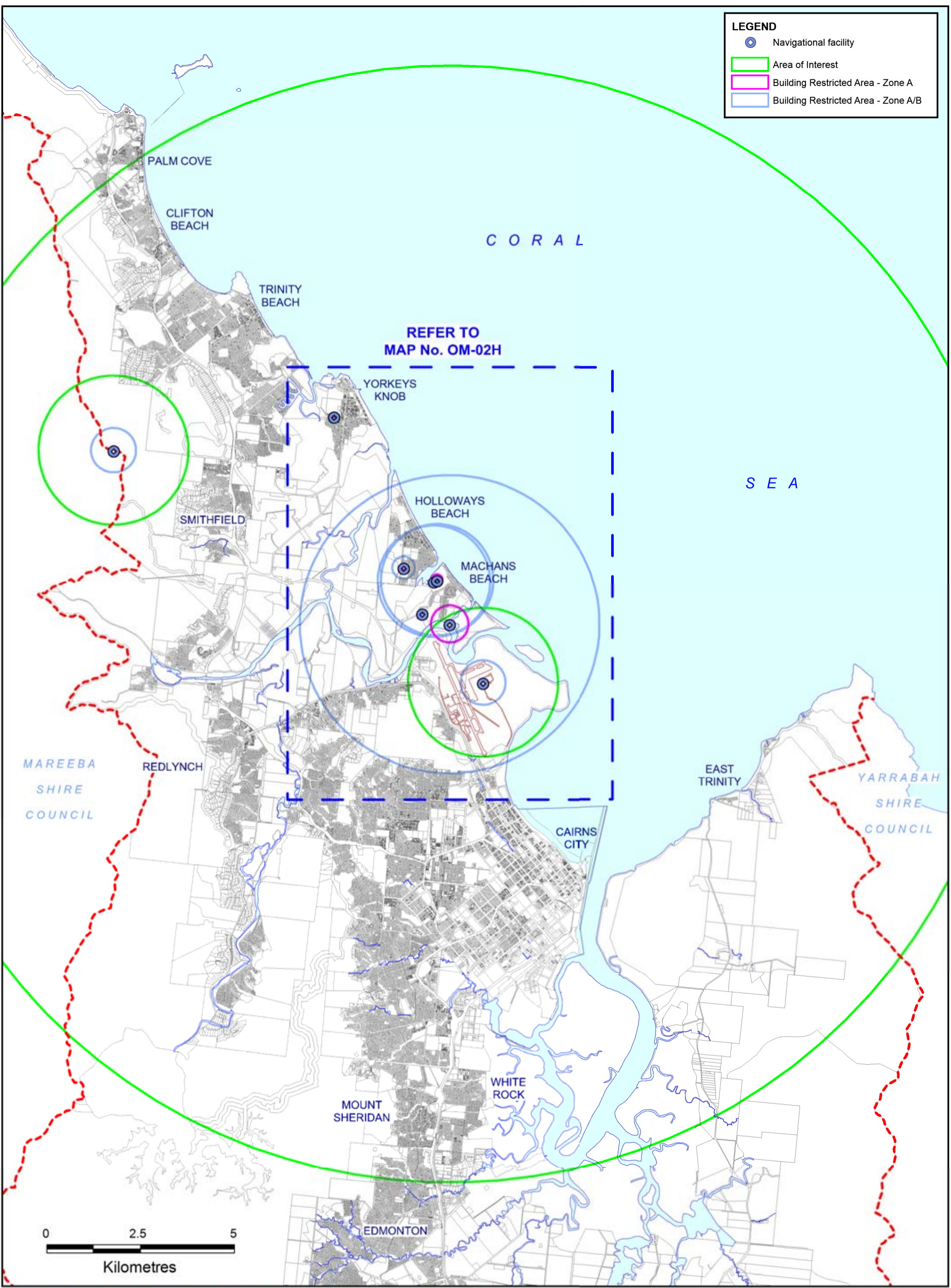
LEGEND	
■	Greater than 35 ANEF
■	30 to 35 ANEF
■	25 to 30 ANEF
■	20 to 25 ANEF

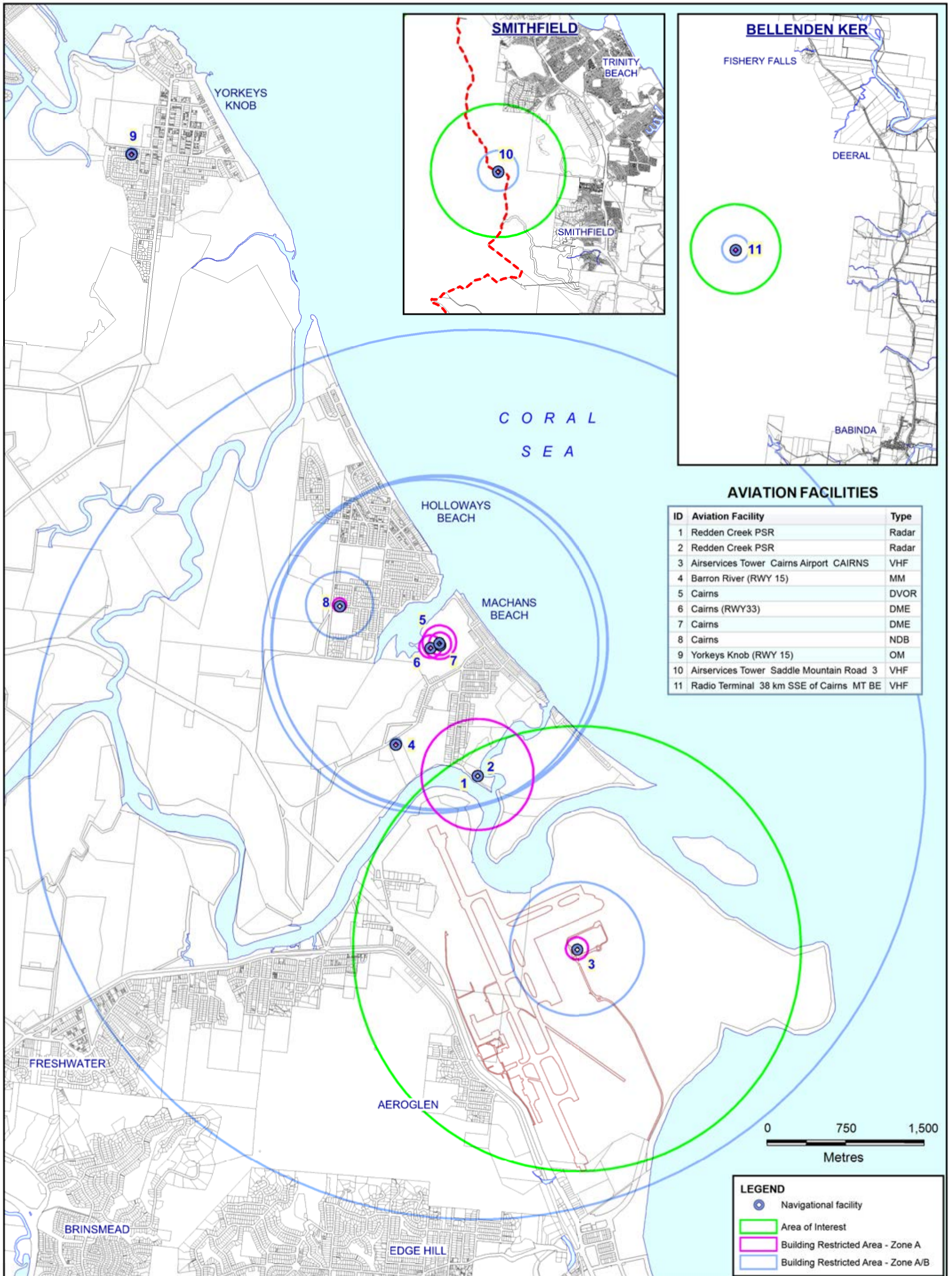
CORAL SEA



LEGEND

-  Navigational facility
-  Area of Interest
-  Building Restricted Area - Zone A
-  Building Restricted Area - Zone A/B



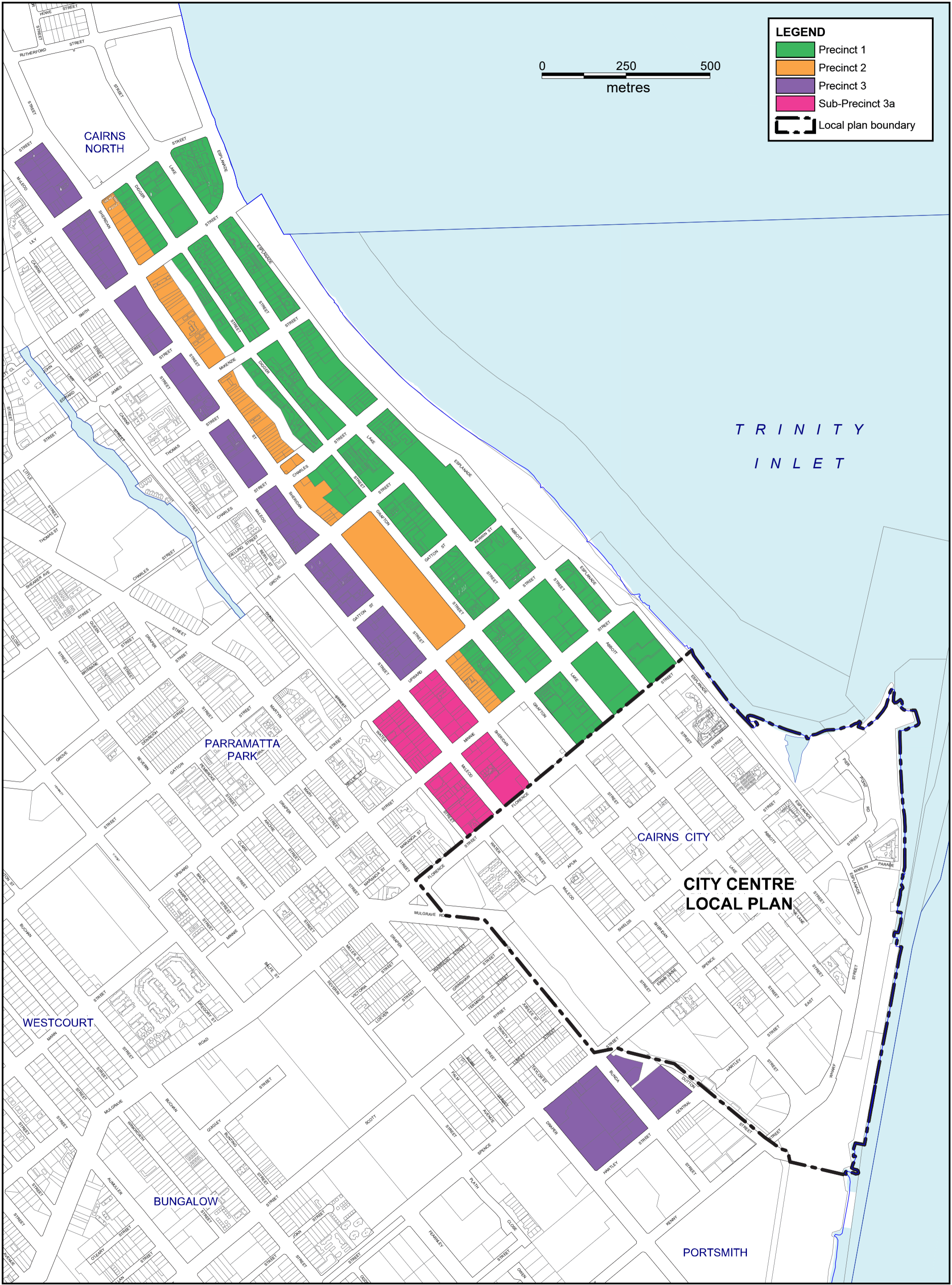


AVIATION FACILITIES

ID	Aviation Facility	Type
1	Redden Creek PSR	Radar
2	Redden Creek PSR	Radar
3	Airservices Tower Cairns Airport CAIRNS	VHF
4	Barron River (RWY 15)	MM
5	Cairns	DVOR
6	Cairns (RWY33)	DME
7	Cairns	DME
8	Cairns	NDB
9	Yorkeys Knob (RWY 15)	OM
10	Airservices Tower Saddle Mountain Road 3	VHF
11	Radio Terminal 38 km SSE of Cairns MT BE	VHF

LEGEND

- Navigational facility
- Area of Interest
- Building Restricted Area - Zone A
- Building Restricted Area - Zone A/B



SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

HOLLOWAYS BEACH

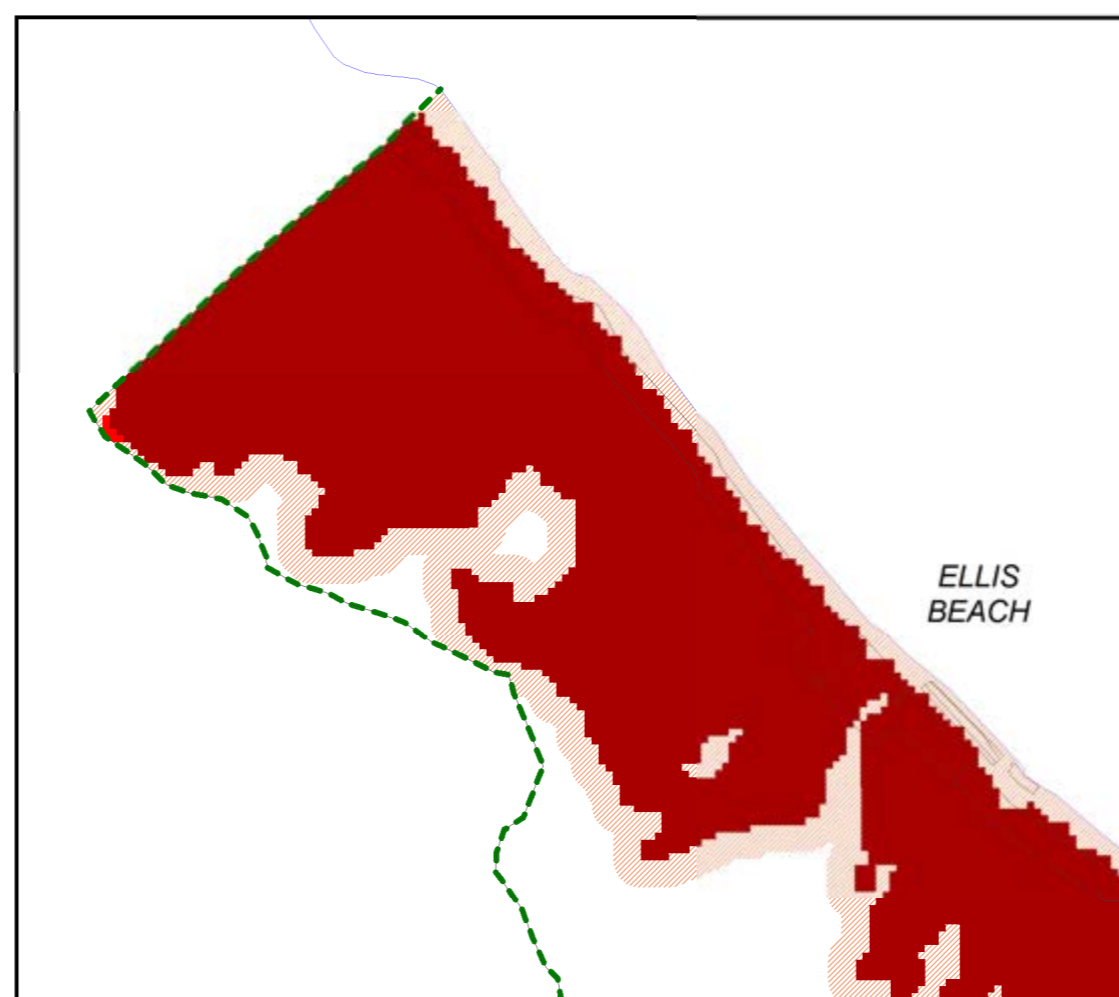
CORAL
SEA

MAREEBA
SHIRE
COUNCIL

MACHANS BEACH

REDLYNCH

TRINITY
INLET



INSERT



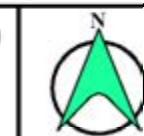
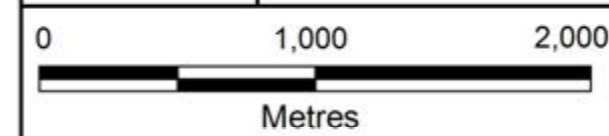
CAIRNSPLAN2016

One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

BUSHFIRE HAZARD OVERLAY

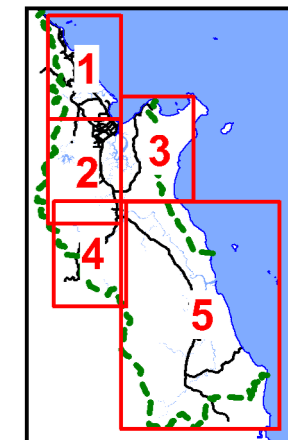
Date 01/03/2016



MAP No. OM-04A
Sheet 1 of 5

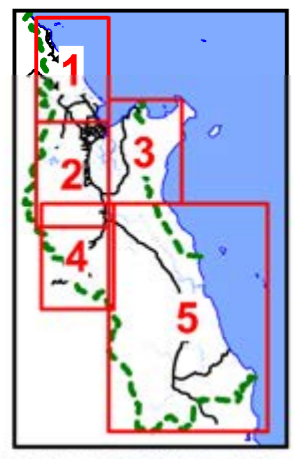
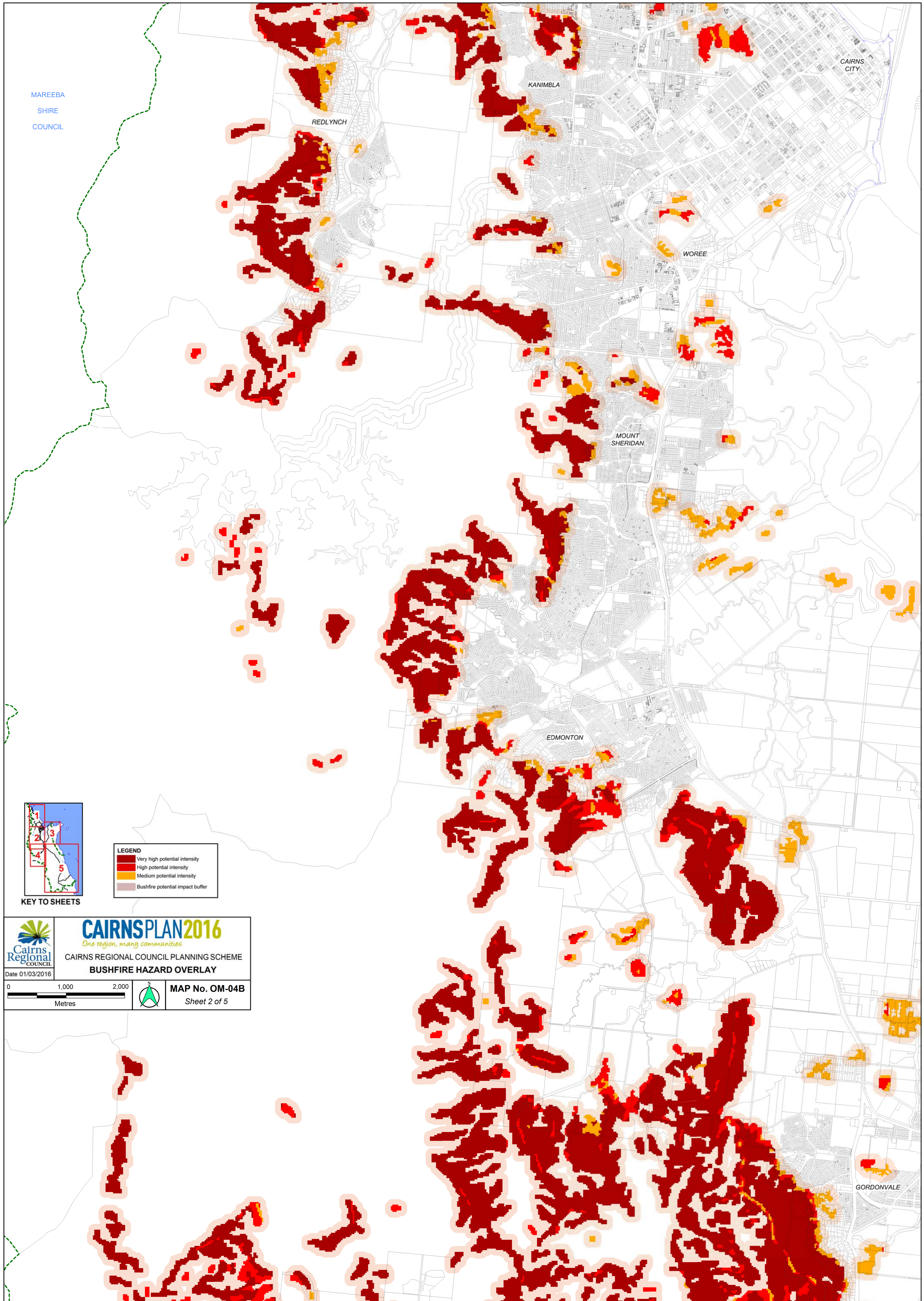
LEGEND

- Very high potential intensity
- High potential intensity
- Medium potential intensity
- Bushfire potential impact buffer




KEY TO SHEETS

MAREEBA
SHIRE
COUNCIL



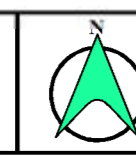
LEGEND

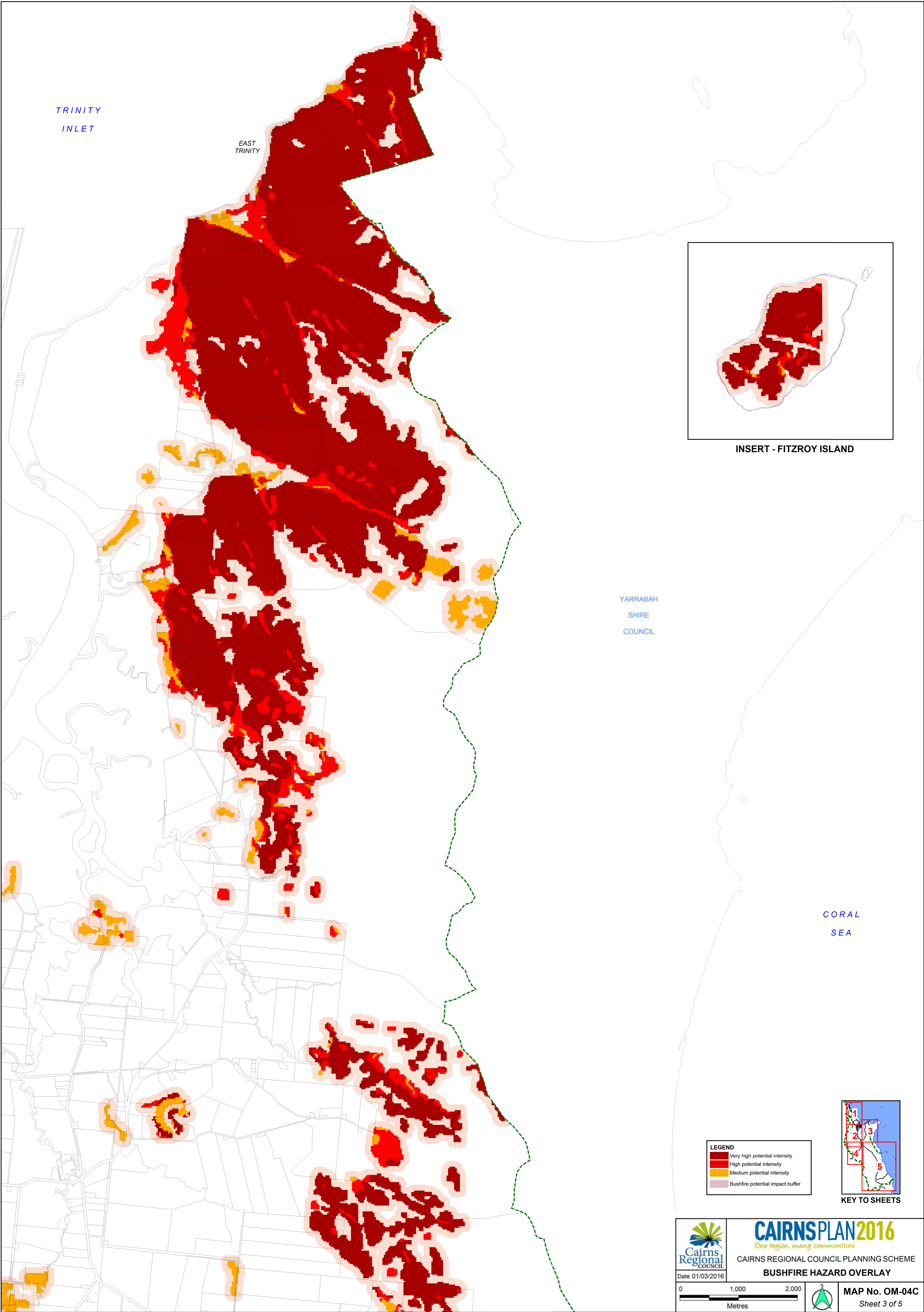
- Very high potential intensity
- High potential intensity
- Medium potential intensity
- Bushfire potential impact buffer

 **CAIRNSPLAN2016**
One region, many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
BUSHFIRE HAZARD OVERLAY

Date 01/03/2016

0 1,000 2,000
Metres

 **MAP No. OM-04B**
Sheet 2 of 5

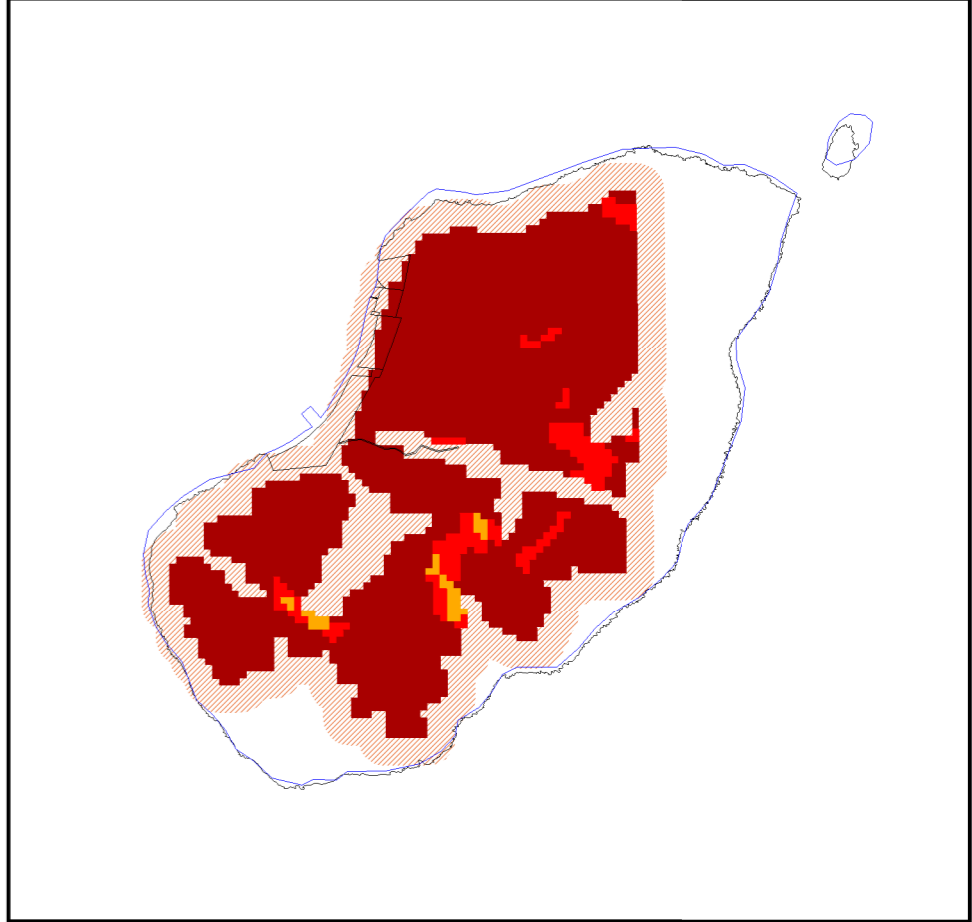


TRINITY
INLET

EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

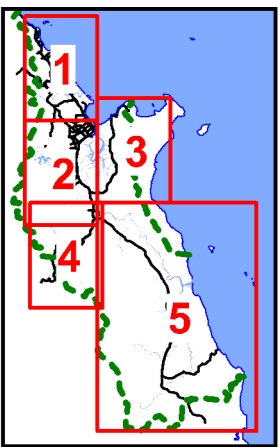
CORAL
SEA



INSERT - FITZROY ISLAND

LEGEND

- Very high potential intensity
- High potential intensity
- Medium potential intensity
- Bushfire potential impact buffer



KEY TO SHEETS

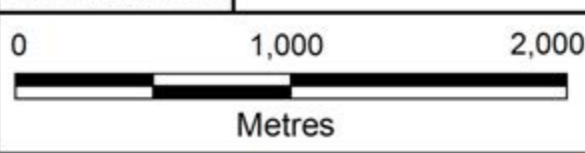


Date 01/03/2016

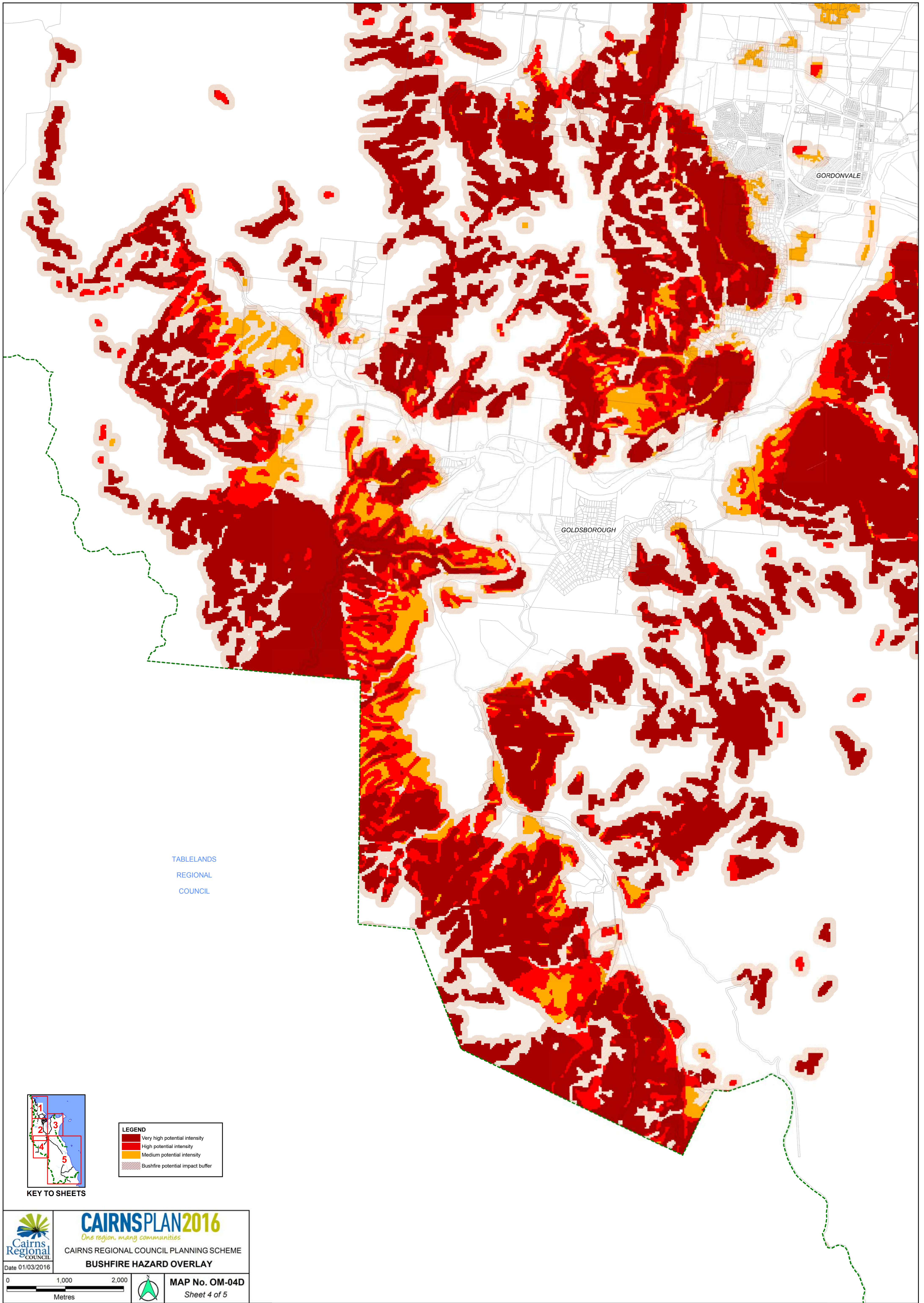
CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

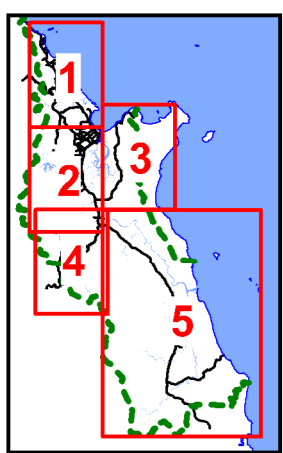
BUSHFIRE HAZARD OVERLAY



MAP No. OM-04C
Sheet 3 of 5



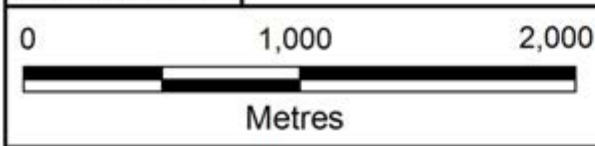
TABLELANDS
REGIONAL
COUNCIL

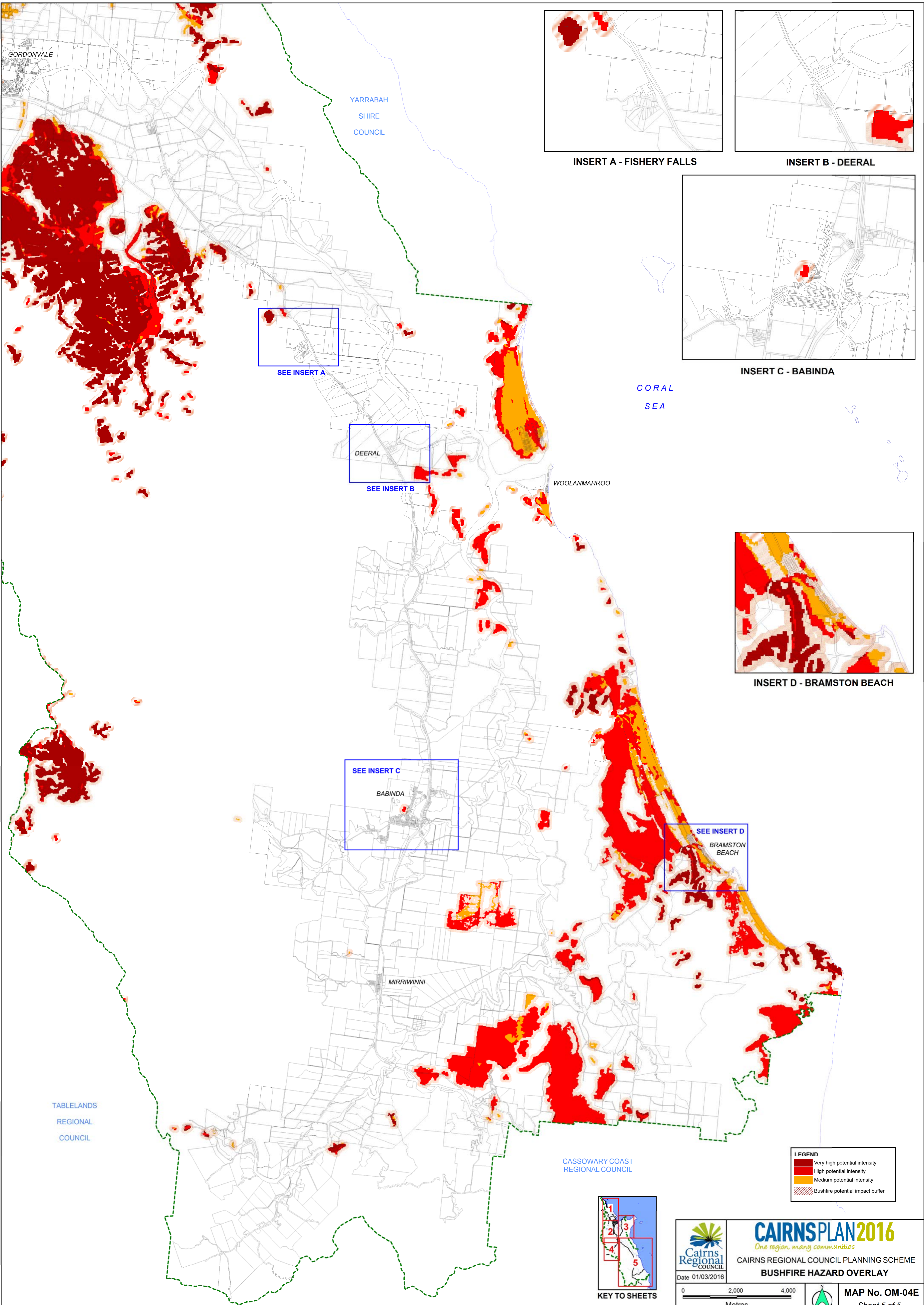


KEY TO SHEETS

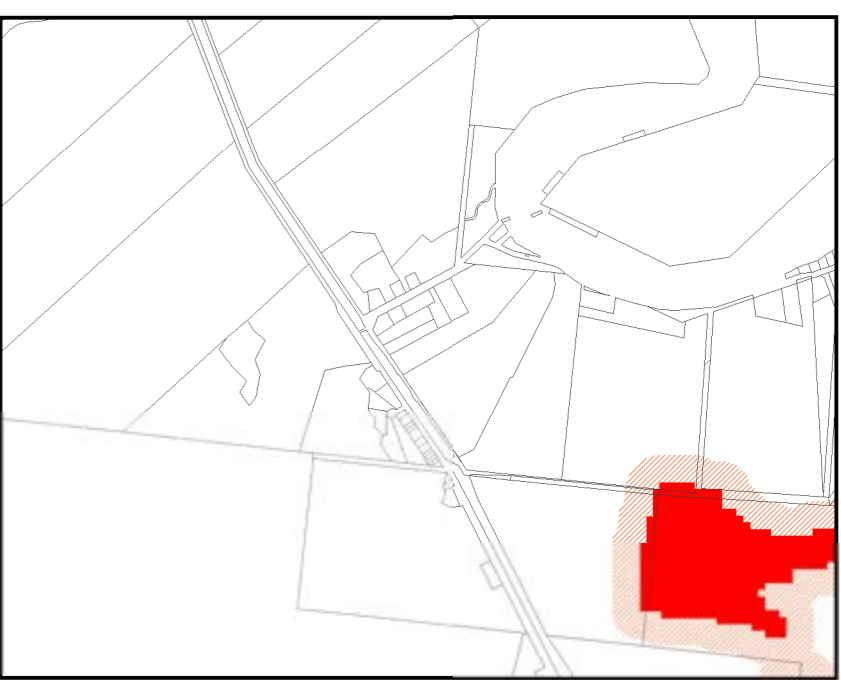
LEGEND	
	Very high potential intensity
	High potential intensity
	Medium potential intensity
	Bushfire potential impact buffer

<p>Cairns Regional Council</p>	<p>CAIRNSPLAN2016 <i>One region, many communities</i></p>
	<p>CAIRNS REGIONAL COUNCIL PLANNING SCHEME BUSHFIRE HAZARD OVERLAY</p>
<p>Date 01/03/2016</p>	<p>MAP No. OM-04D Sheet 4 of 5</p>





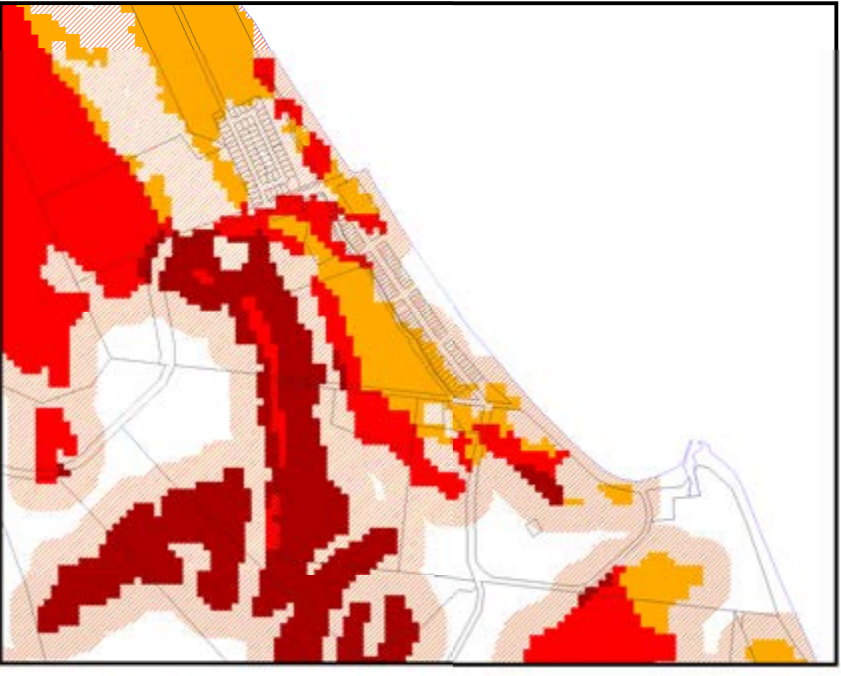
INSERT A - FISHERY FALLS



INSERT B - DEERAL



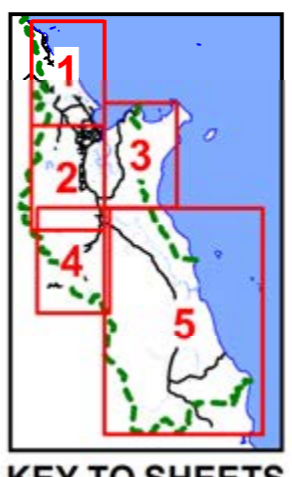
INSERT C - BABINDA



INSERT D - BRAMSTON BEACH

LEGEND

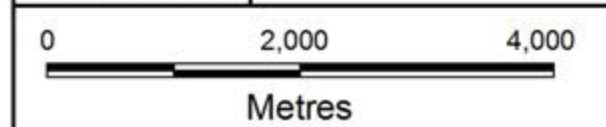
- Very high potential intensity
- High potential intensity
- Medium potential intensity
- Bushfire potential impact buffer



KEY TO SHEETS

Date 01/03/2016

CAIRNS PLAN 2016
One region. many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
BUSHFIRE HAZARD OVERLAY



MAP No. OM-04E
 Sheet 5 of 5

SEE
INSERT A



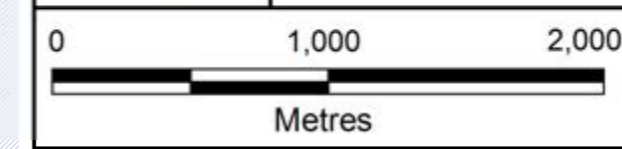
CAIRNSPLAN2016

One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

COASTAL PROCESSES OVERLAY

Date 01/03/2016

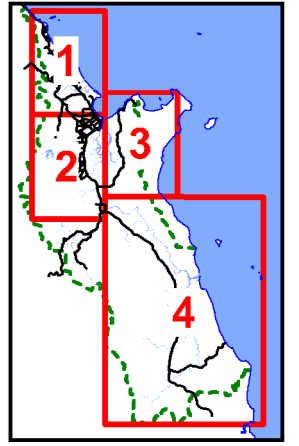


MAP No. OM-05A

Sheet 1 of 4

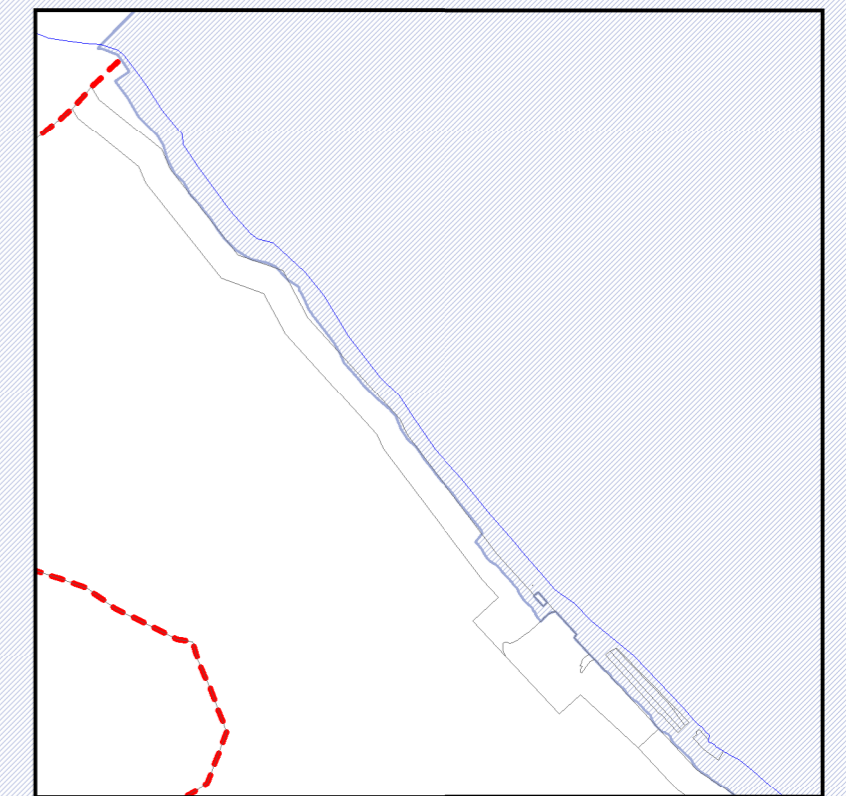
LEGEND

- Coastal building line
- Erosion prone area

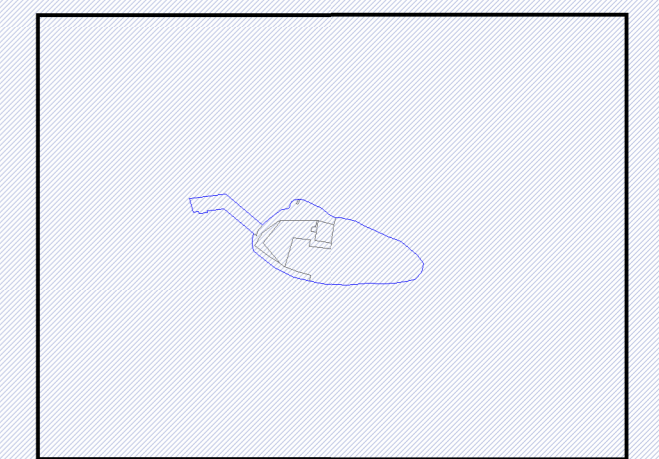


KEY TO SHEETS

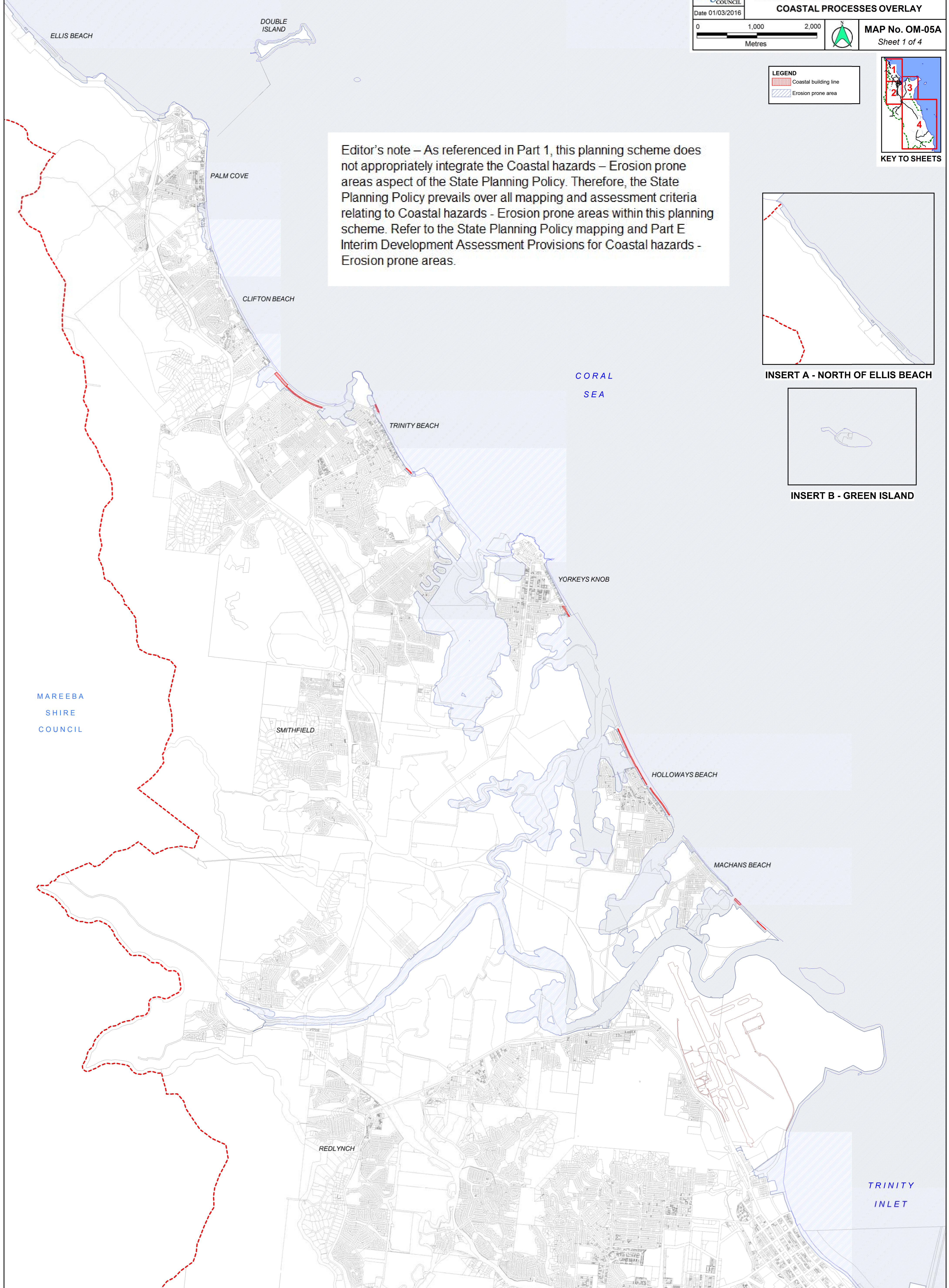
Editor's note – As referenced in Part 1, this planning scheme does not appropriately integrate the Coastal hazards – Erosion prone areas aspect of the State Planning Policy. Therefore, the State Planning Policy prevails over all mapping and assessment criteria relating to Coastal hazards - Erosion prone areas within this planning scheme. Refer to the State Planning Policy mapping and Part E Interim Development Assessment Provisions for Coastal hazards - Erosion prone areas.



INSERT A - NORTH OF ELLIS BEACH



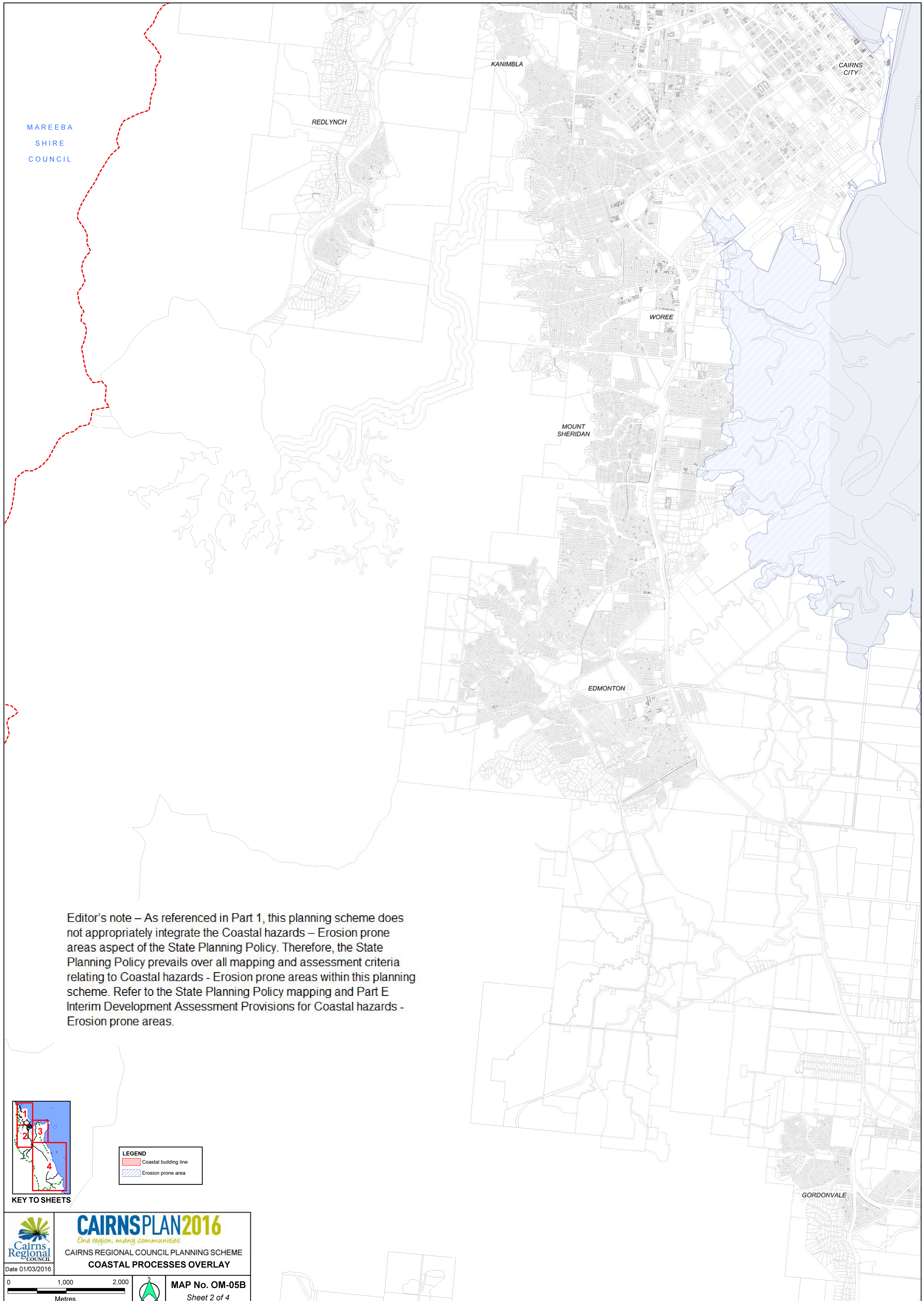
INSERT B - GREEN ISLAND



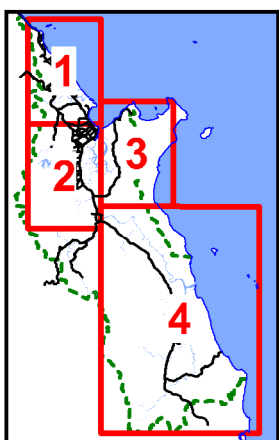
MAREEBA
SHIRE
COUNCIL

TRINITY
INLET

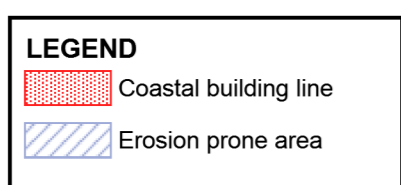
MAREEBA
SHIRE
COUNCIL



Editor's note – As referenced in Part 1, this planning scheme does not appropriately integrate the Coastal hazards – Erosion prone areas aspect of the State Planning Policy. Therefore, the State Planning Policy prevails over all mapping and assessment criteria relating to Coastal hazards - Erosion prone areas within this planning scheme. Refer to the State Planning Policy mapping and Part E Interim Development Assessment Provisions for Coastal hazards - Erosion prone areas.



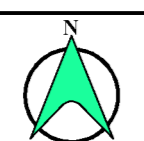
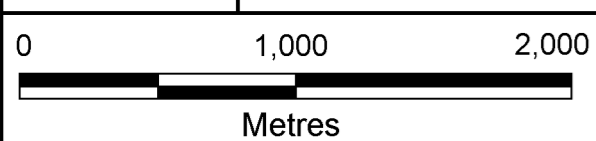
KEY TO SHEETS



CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
COASTAL PROCESSES OVERLAY

Date 01/03/2016

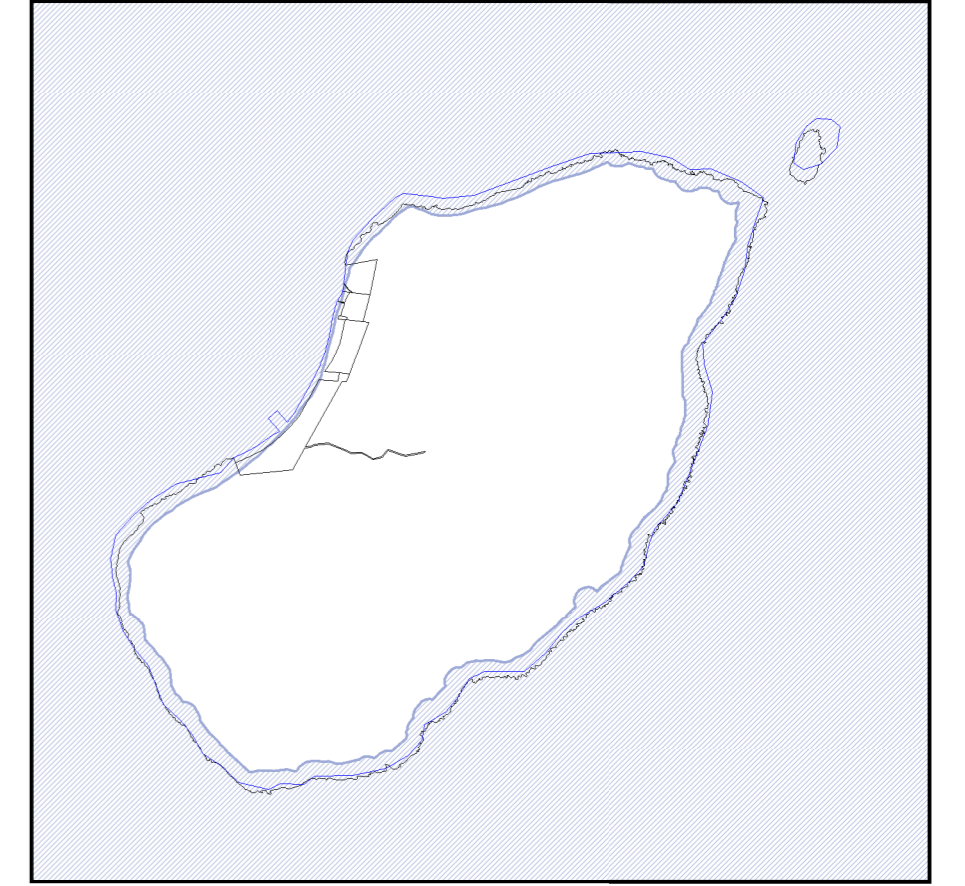


MAP No. OM-05B
Sheet 2 of 4

TRINITY
INLET

EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

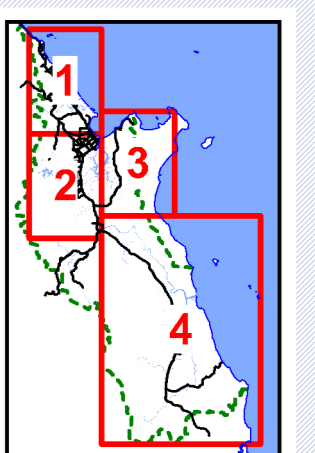


INSERT A - FITZROY ISLAND

CORAL
SEA

Editor's note – As referenced in Part 1, this planning scheme does not appropriately integrate the Coastal hazards – Erosion prone areas aspect of the State Planning Policy. Therefore, the State Planning Policy prevails over all mapping and assessment criteria relating to Coastal hazards - Erosion prone areas within this planning scheme. Refer to the State Planning Policy mapping and Part E Interim Development Assessment Provisions for Coastal hazards - Erosion prone areas.

LEGEND	
	Coastal building line
	Erosion prone area



KEY TO SHEETS

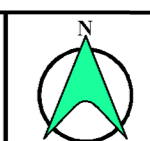
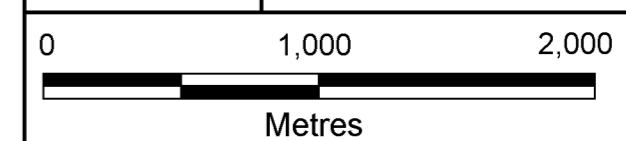


Date 01/03/2016

CAIRNSPLAN2016
One region. many communities

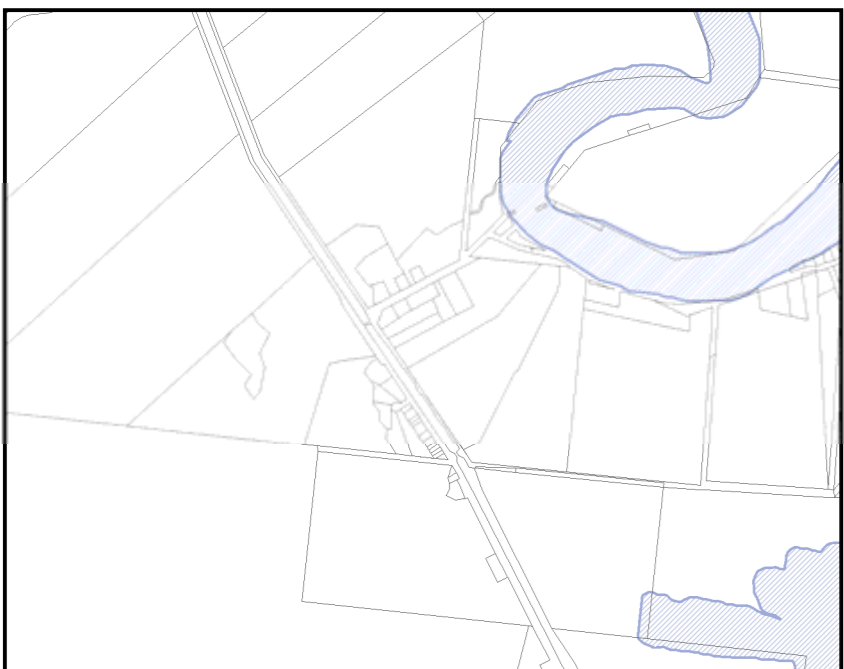
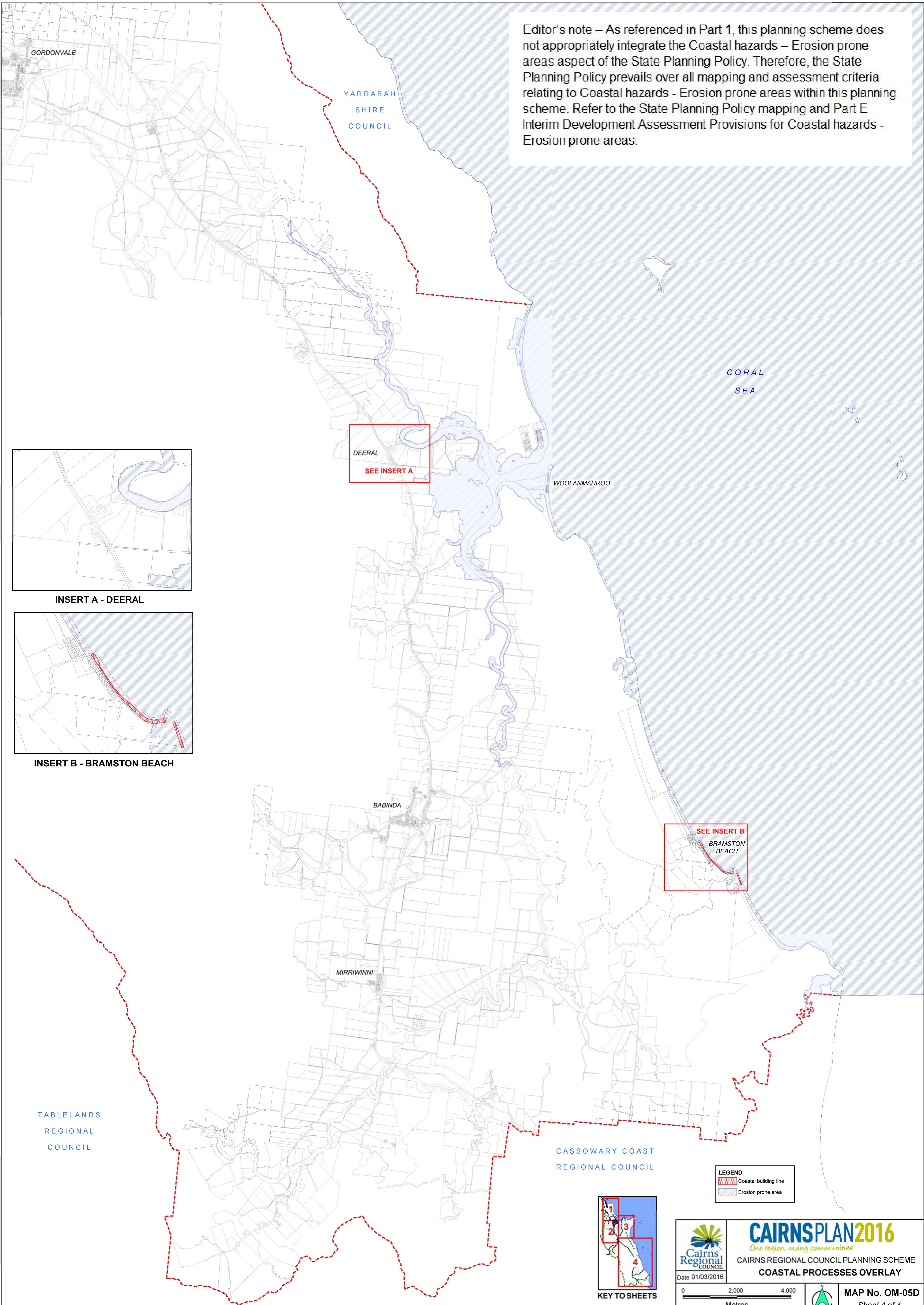
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

COASTAL PROCESSES OVERLAY

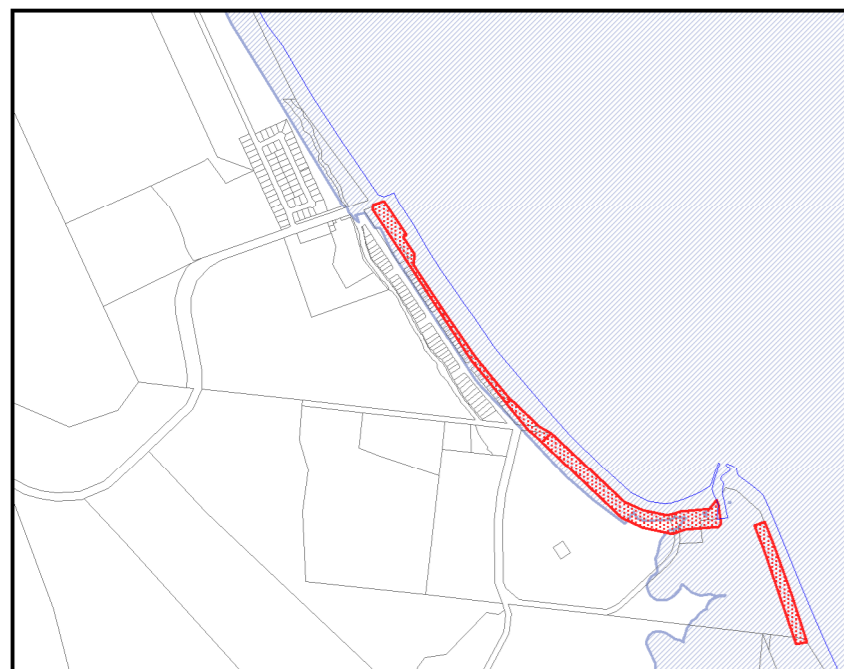


MAP No. OM-05C
Sheet 3 of 4

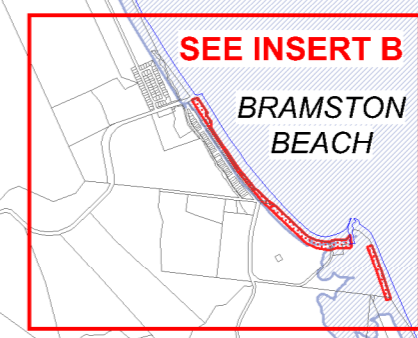
Editor's note – As referenced in Part 1, this planning scheme does not appropriately integrate the Coastal hazards – Erosion prone areas aspect of the State Planning Policy. Therefore, the State Planning Policy prevails over all mapping and assessment criteria relating to Coastal hazards - Erosion prone areas within this planning scheme. Refer to the State Planning Policy mapping and Part E Interim Development Assessment Provisions for Coastal hazards - Erosion prone areas.



INSERT A - DEERAL

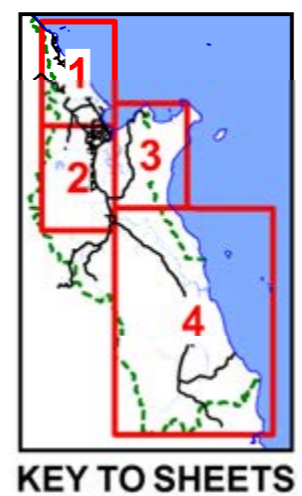


INSERT B - BRAMSTON BEACH



LEGEND

- Coastal building line
- Erosion prone area



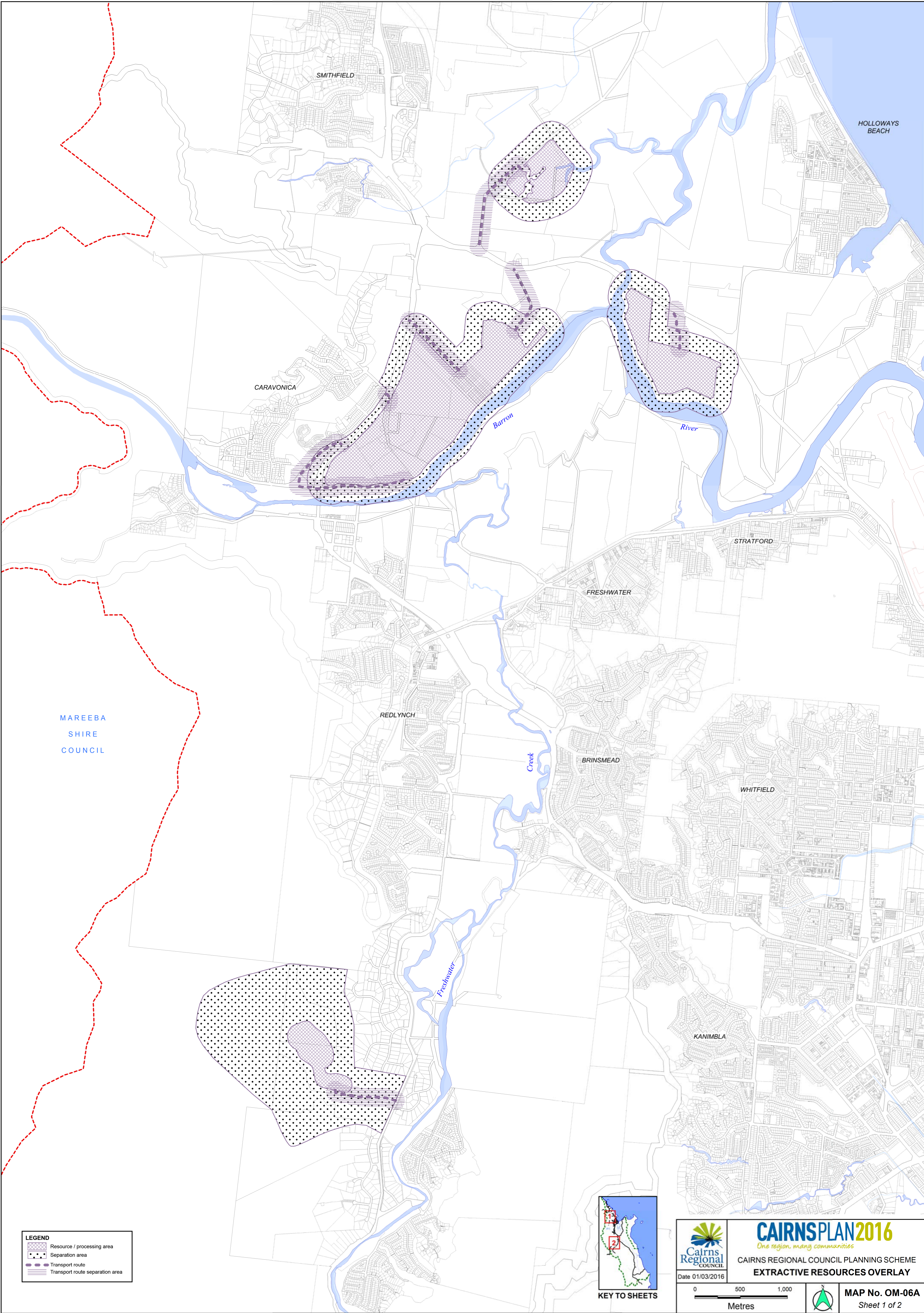
KEY TO SHEETS

CAIRNSPLAN2016
One region, many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
COASTAL PROCESSES OVERLAY

Date 01/03/2016

0 2,000 4,000
 Metres

MAP No. OM-05D
 Sheet 4 of 4



SMITHFIELD

HOLLOWAYS BEACH

CARAVONICA

Barron

River

STRATFORD

FRESHWATER

MAREEBA
SHIRE
COUNCIL

REDLYNCH

Creek

BRINSMEAD

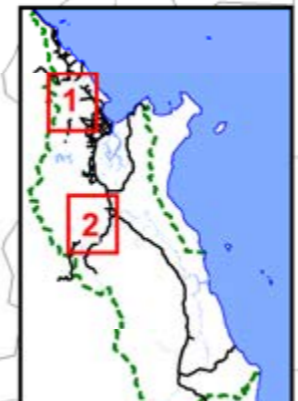
WHITFIELD

Freshwater

KANIMBLA

LEGEND

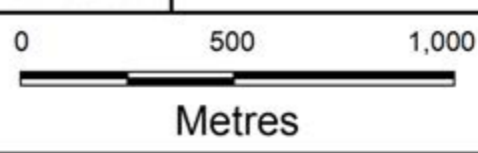
- Resource / processing area
- Separation area
- Transport route
- Transport route separation area



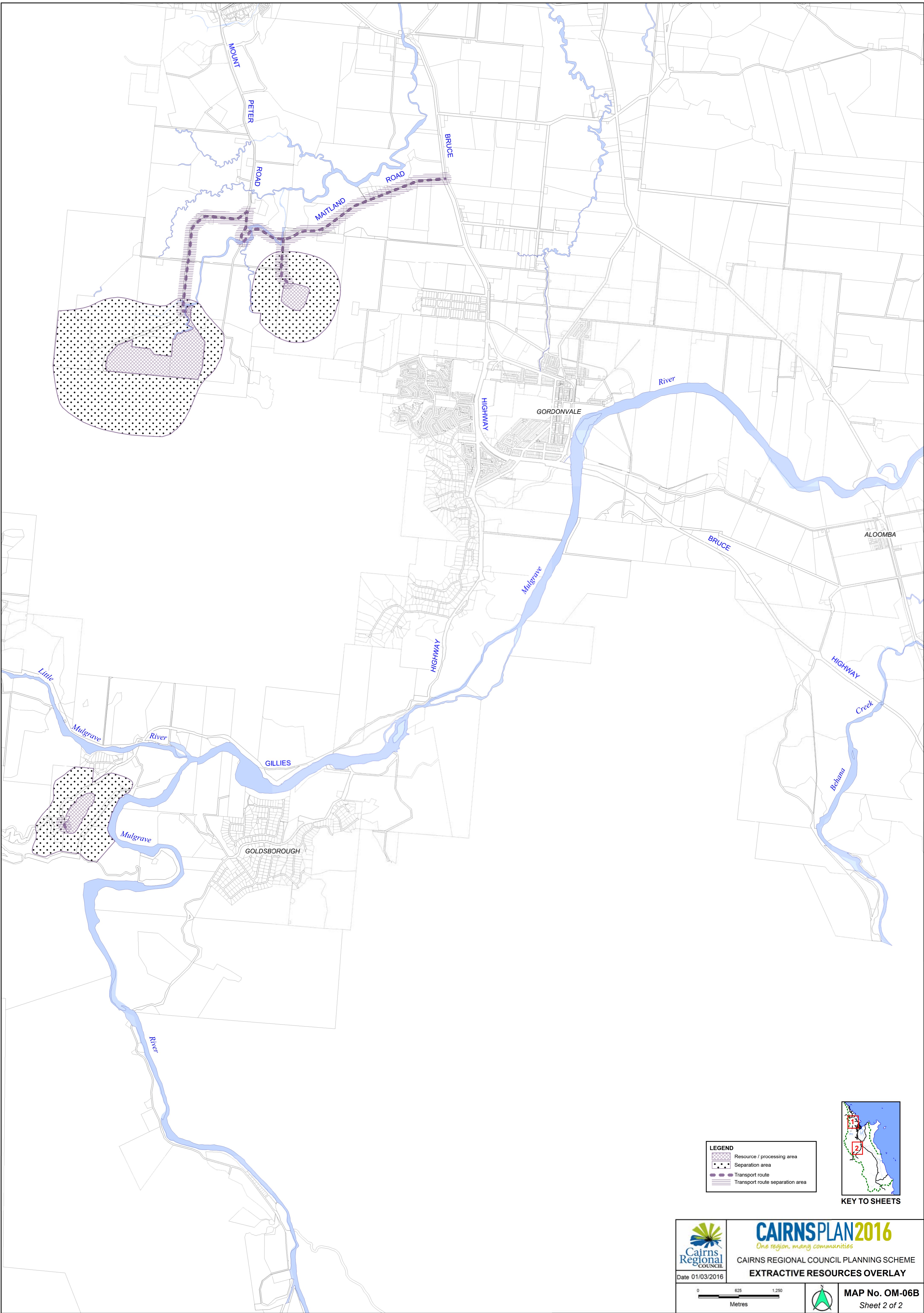
Date 01/03/2016

CAIRNSPLAN2016
One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
EXTRACTIVE RESOURCES OVERLAY

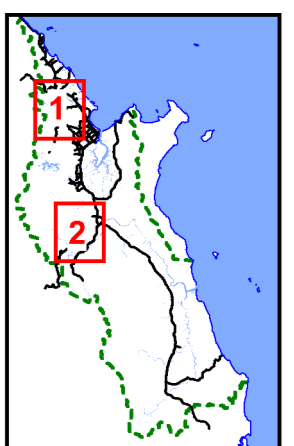


MAP No. OM-06A
Sheet 1 of 2




LEGEND

- Resource / processing area
- Separation area
- Transport route
- Transport route separation area



KEY TO SHEETS



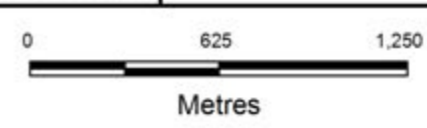
Cairns Regional Council

Date 01/03/2016


CAIRNSPLAN2016
One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

EXTRACTIVE RESOURCES OVERLAY



Metres

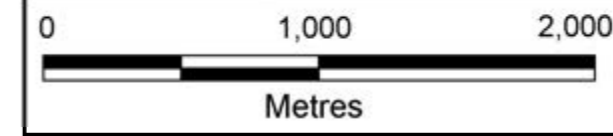


MAP No. OM-06B
Sheet 2 of 2

Disclaimer:
 The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.
 The Flood and inundation hazards overlay is not prepared for insurance eligibility determination purposes and is not suitable to determine whether an existing building is subject to flooding, nor does the overlay account for pre-existing localised drainage matters.



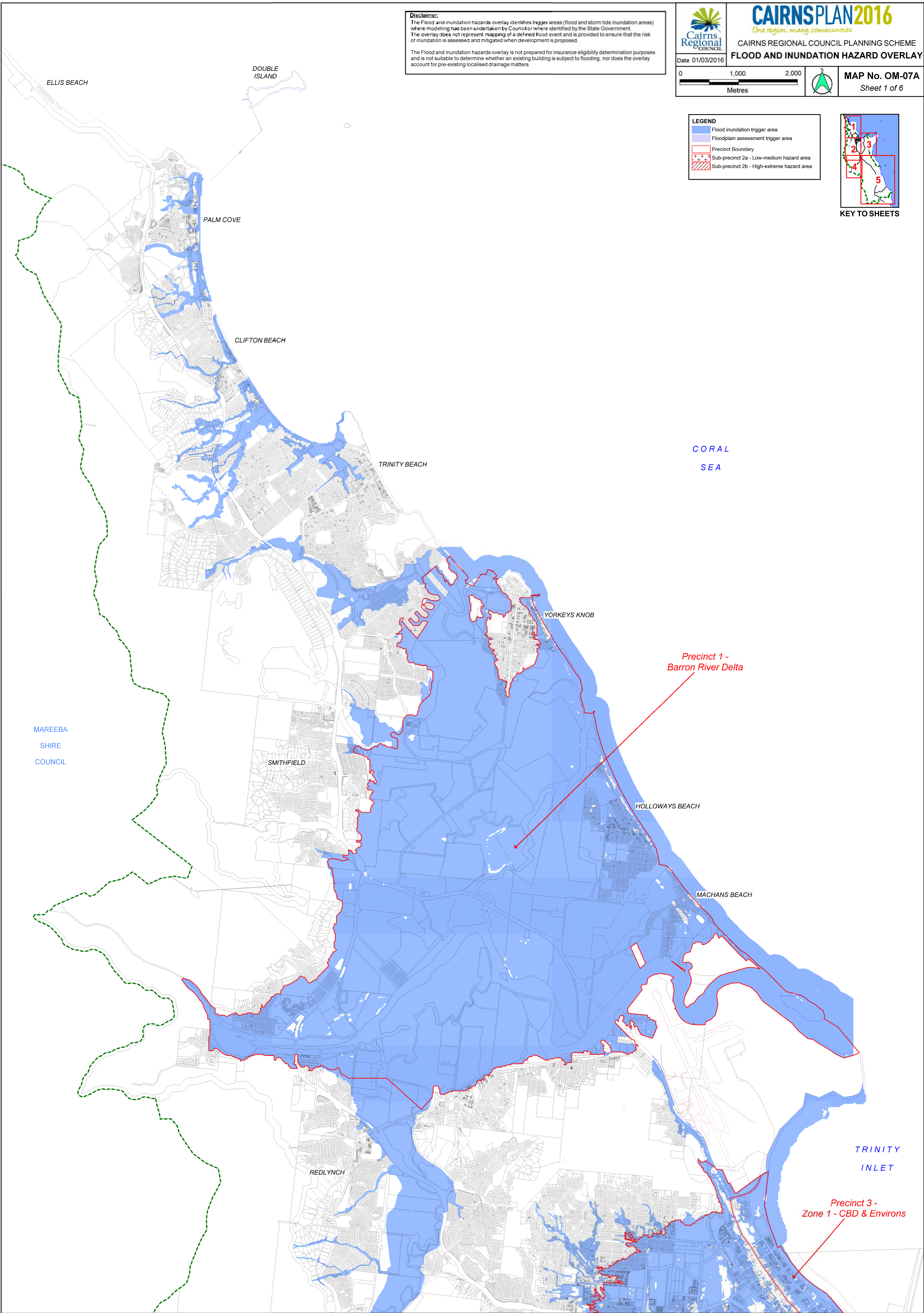
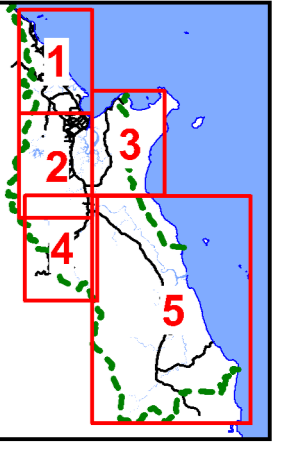
Date 01/03/2016



MAP No. OM-07A
 Sheet 1 of 6

LEGEND

	Flood inundation trigger area
	Floodplain assessment trigger area
	Precinct Boundary
	Sub-precinct 2a - Low-medium hazard area
	Sub-precinct 2b - High-extreme hazard area

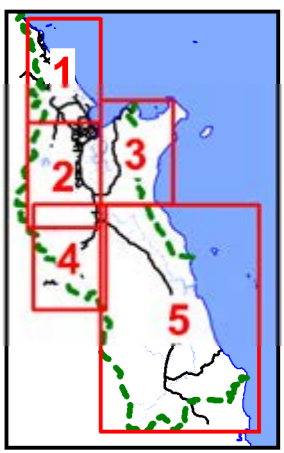


MAREEBA
SHIRE
COUNCIL

Precinct 3 -
Sub-precinct
Zone 1 - CBD & Environs

Precinct 3 -
Sub-precinct
Zone 2 - CBD & Environs

MOUNT PETER
FLOOD PRECINCT
REFER TO SHEET 3

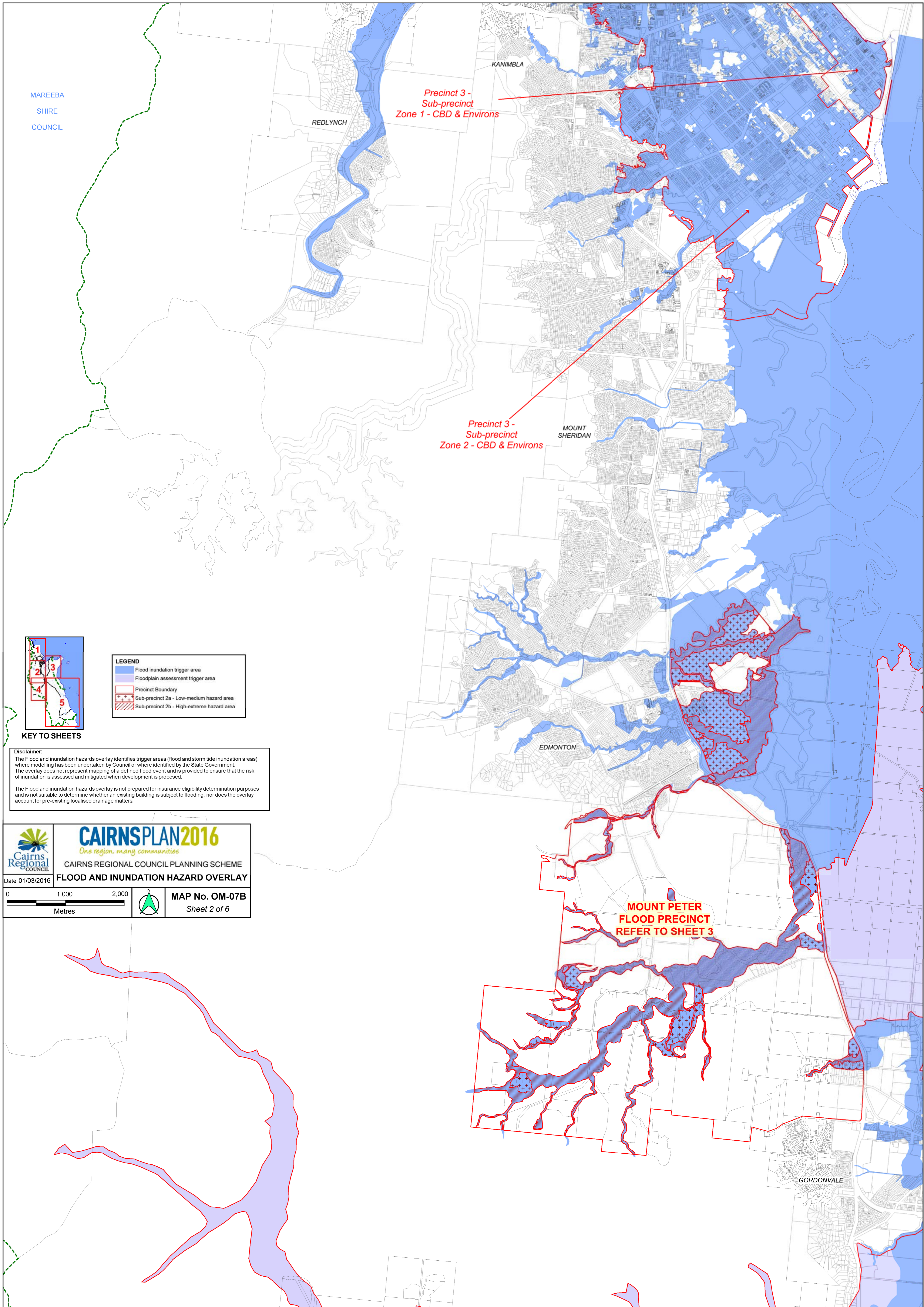


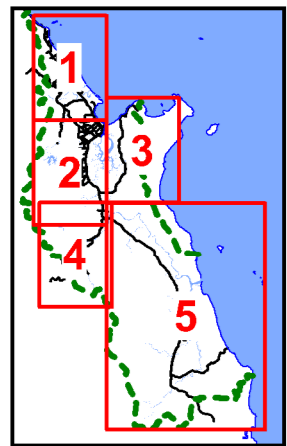
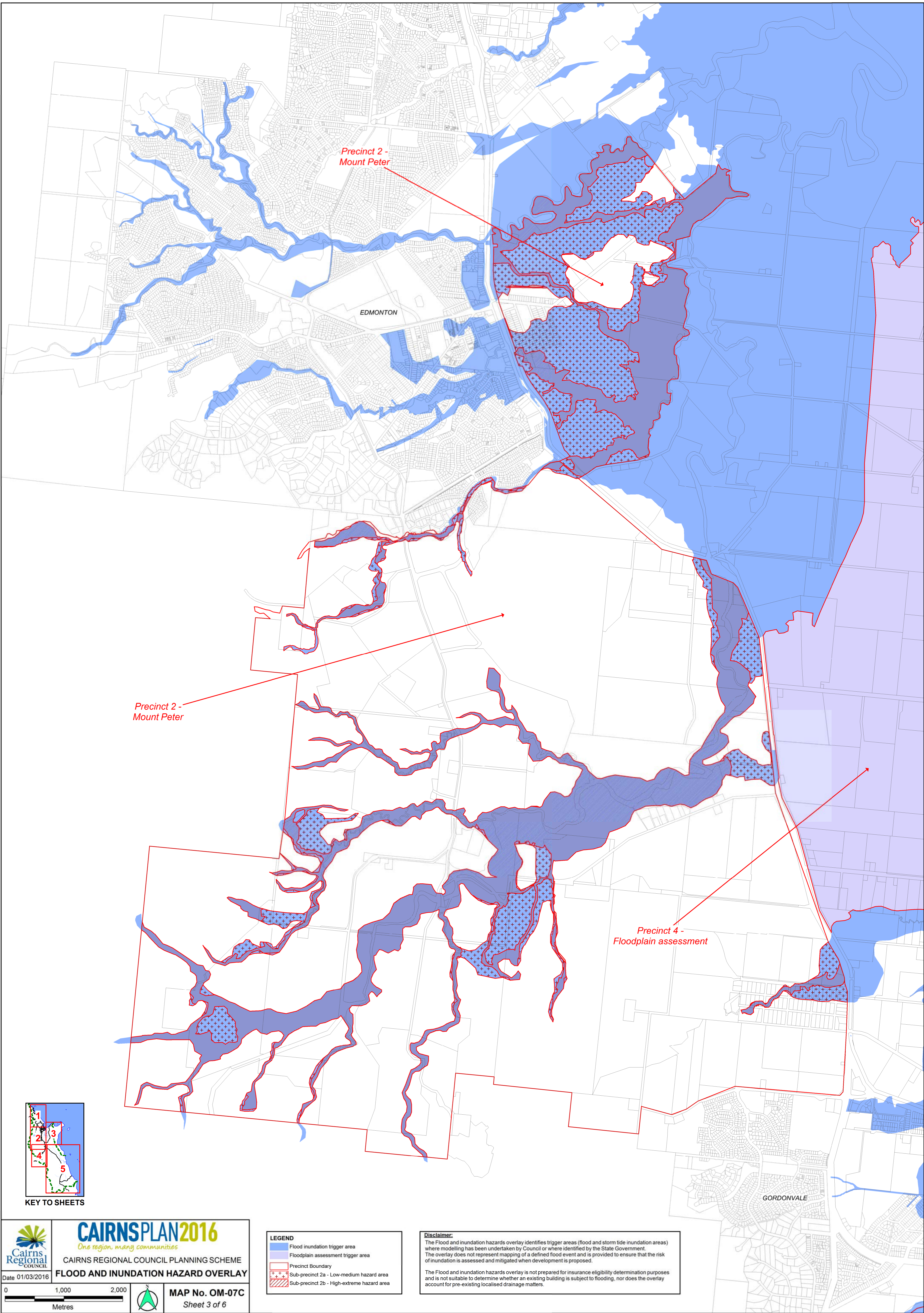
KEY TO SHEETS

LEGEND	
	Flood inundation trigger area
	Floodplain assessment trigger area
	Precinct Boundary
	Sub-precinct 2a - Low-medium hazard area
	Sub-precinct 2b - High-extreme hazard area


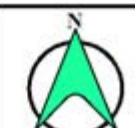
Disclaimer:
The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.
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	CAIRNSPLAN2016 <i>One region many communities</i>
CAIRNS REGIONAL COUNCIL PLANNING SCHEME	
FLOOD AND INUNDATION HAZARD OVERLAY	
Date 01/03/2016	
0 1,000 2,000 Metres	
	MAP No. OM-07B Sheet 2 of 6










KEY TO SHEETS


CAIRNSPLAN2016
One region many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
FLOOD AND INUNDATION HAZARD OVERLAY
 Date 01/03/2016
 0 1,000 2,000
 Metres

MAP No. OM-07C
 Sheet 3 of 6

LEGEND

	Flood inundation trigger area
	Floodplain assessment trigger area
	Precinct Boundary
	Sub-precinct 2a - Low-medium hazard area
	Sub-precinct 2b - High-extreme hazard area

Disclaimer:
 The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.
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



TRINITY
INLET

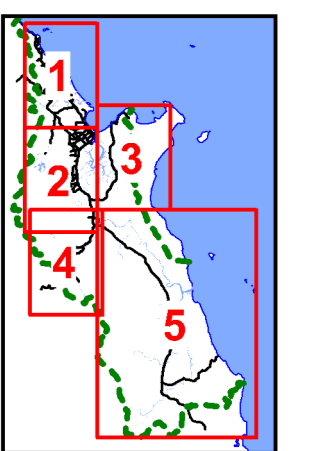
EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

Precinct 4 -
Floodplain assessment

LEGEND	
	Flood inundation trigger area
	Floodplain assessment trigger area
	Precinct Boundary
	Sub-precinct 2a - Low-medium hazard area
	Sub-precinct 2b - High-extreme hazard area



KEY TO SHEETS

Disclaimer:
The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.

The Flood and inundation hazards overlay is not prepared for insurance eligibility determination purposes and is not suitable to determine whether an existing building is subject to flooding, nor does the overlay account for pre-existing localised drainage matters.

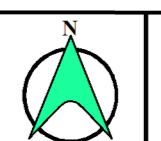
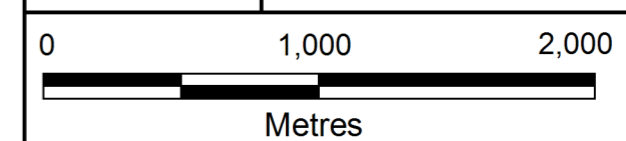


CAIRNSPLAN2016
One region. many communities

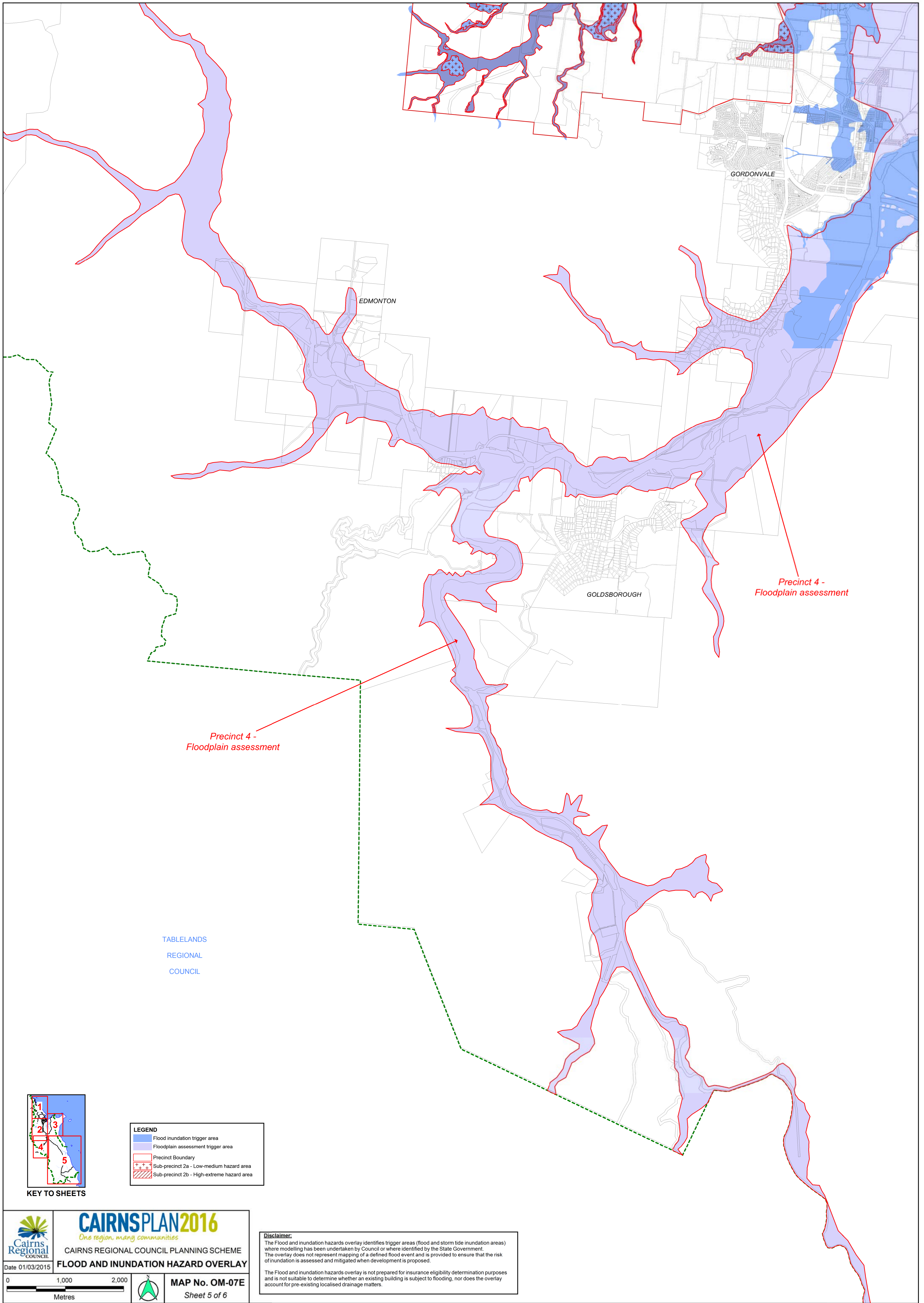
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

Date 01/03/2016

FLOOD AND INUNDATION HAZARD OVERLAY



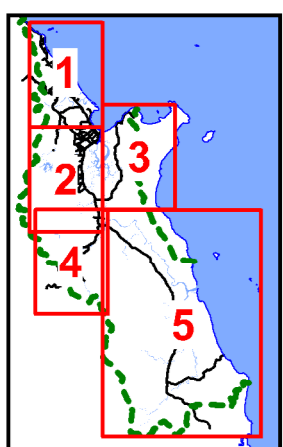
MAP No. OM-07D
Sheet 4 of 6



Precinct 4 -
Floodplain assessment

Precinct 4 -
Floodplain assessment

TABLELANDS
REGIONAL
COUNCIL

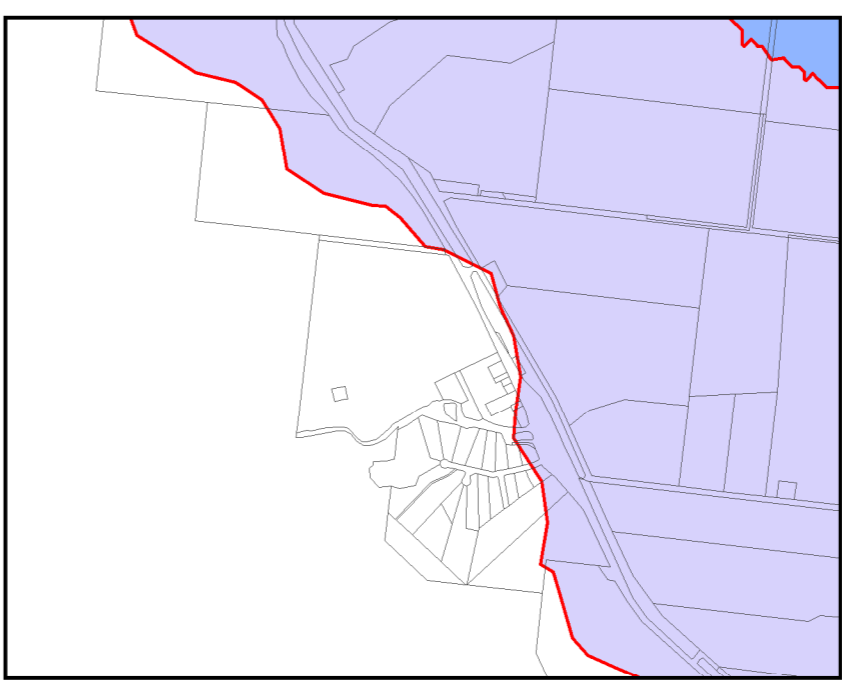
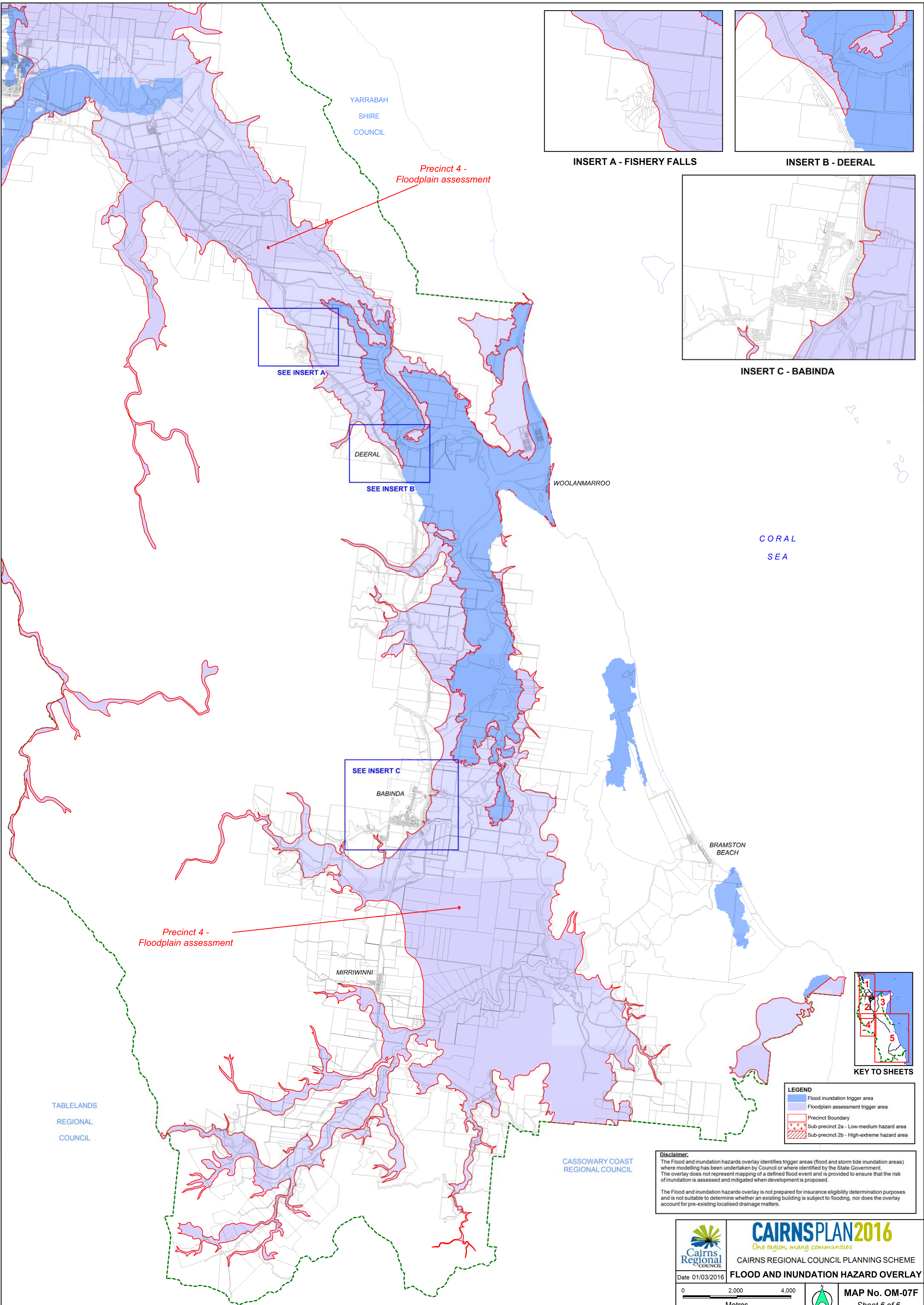


KEY TO SHEETS

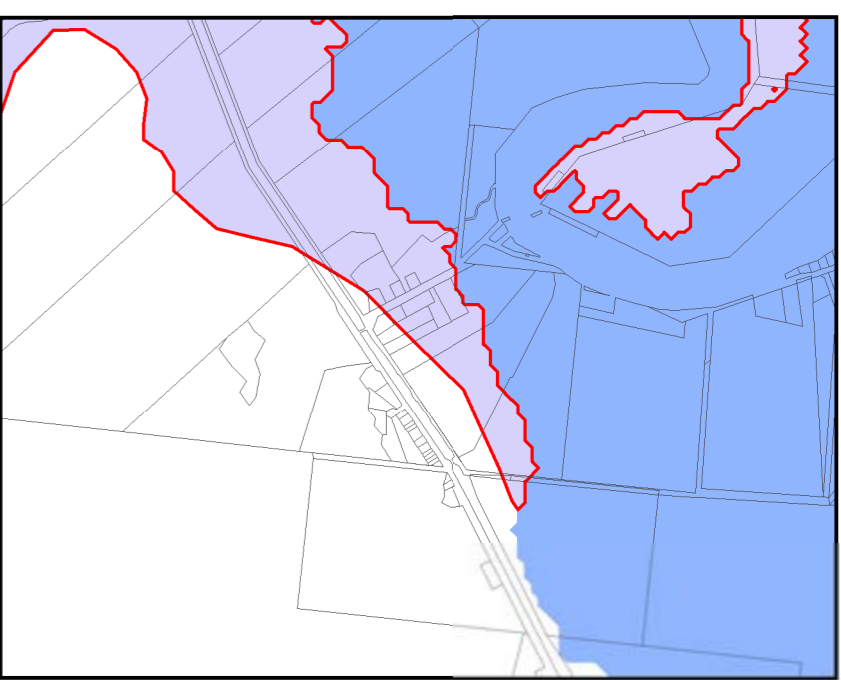
LEGEND	
	Flood inundation trigger area
	Floodplain assessment trigger area
	Precinct Boundary
	Sub-precinct 2a - Low-medium hazard area
	Sub-precinct 2b - High-extreme hazard area

Disclaimer:
The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.

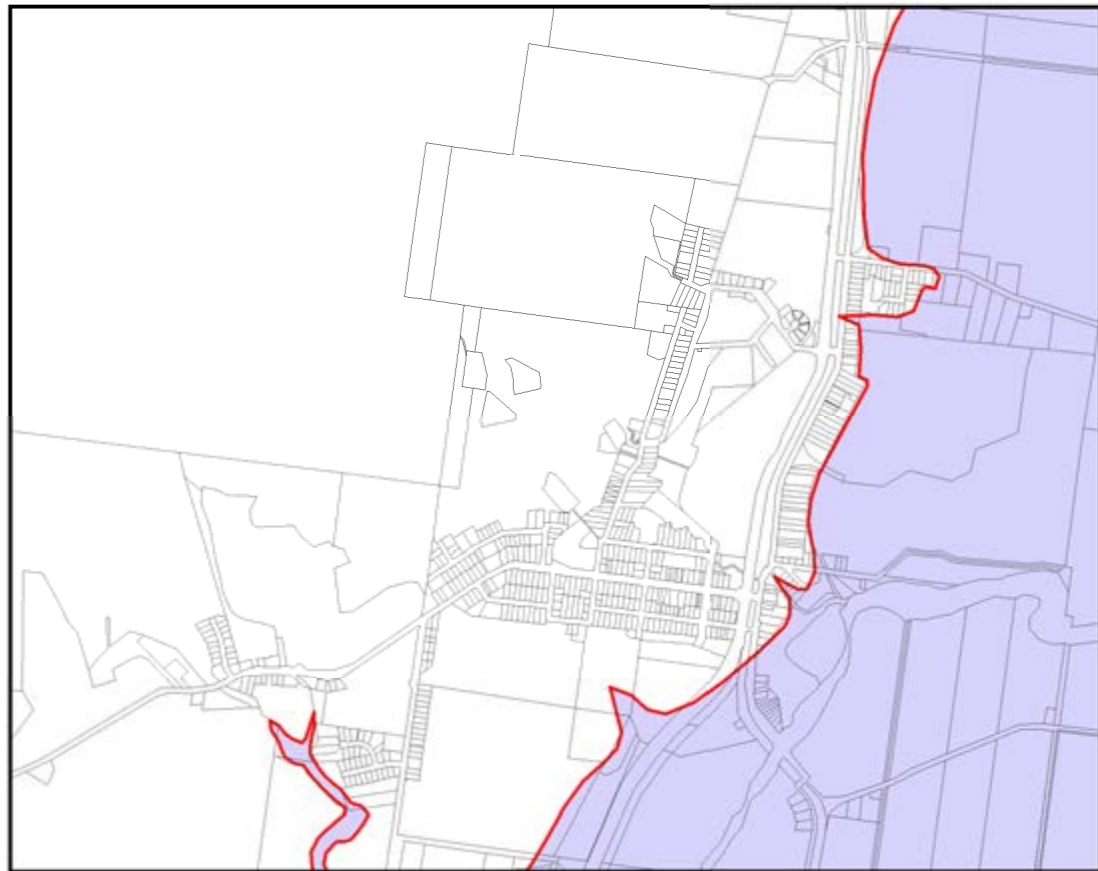
The Flood and inundation hazards overlay is not prepared for insurance eligibility determination purposes and is not suitable to determine whether an existing building is subject to flooding, nor does the overlay account for pre-existing localised drainage matters.



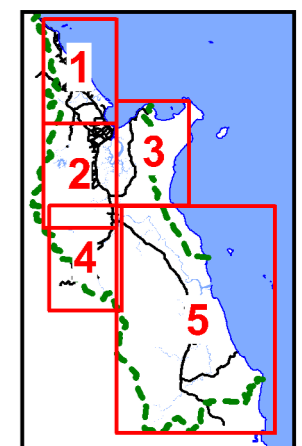
INSERT A - FISHERY FALLS



INSERT B - DEERAL



INSERT C - BABINDA




KEY TO SHEETS

LEGEND

- Flood inundation trigger area
- Floodplain assessment trigger area
- Precinct Boundary
- Sub-precinct 2a - Low-medium hazard area
- Sub-precinct 2b - High-extreme hazard area

Disclaimer:
 The Flood and inundation hazards overlay identifies trigger areas (flood and storm tide inundation areas) where modelling has been undertaken by Council or where identified by the State Government. The overlay does not represent mapping of a defined flood event and is provided to ensure that the risk of inundation is assessed and mitigated when development is proposed.
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Cairns Regional Council

CAIRNSPLAN2016
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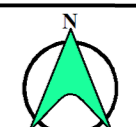
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

FLOOD AND INUNDATION HAZARD OVERLAY

Date 01/03/2016

0 2,000 4,000

Metres



MAP No. OM-07F
 Sheet 6 of 6

TABLELANDS
REGIONAL
COUNCIL

YARRABAH
SHIRE
COUNCIL

CASSOWARY COAST
REGIONAL COUNCIL

CORAL
SEA

Precinct 4 -
Floodplain assessment

Precinct 4 -
Floodplain assessment

SEE INSERT A

SEE INSERT B

SEE INSERT C

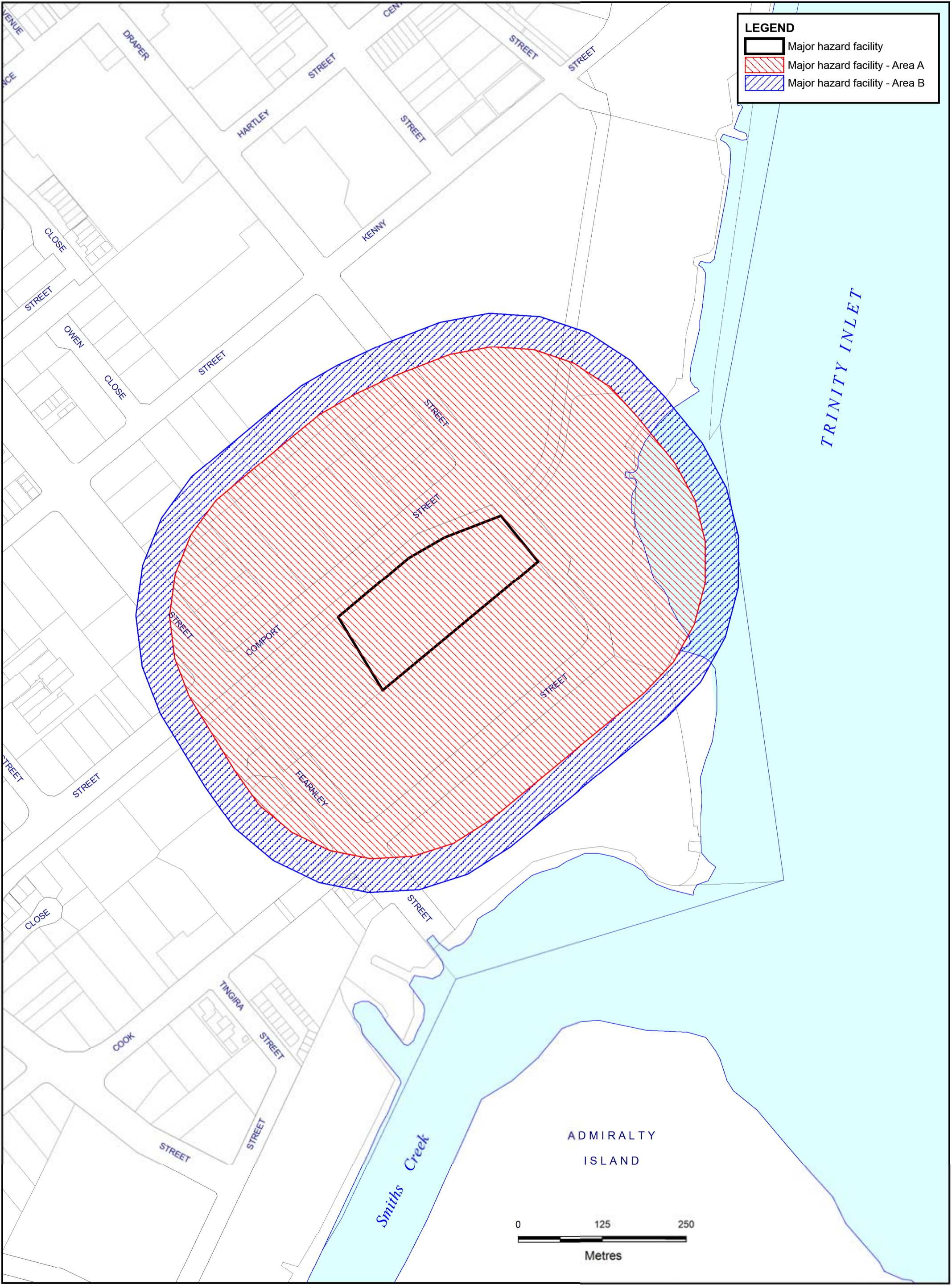
DEERAL

WOOLANMARROO




BABINDA

BRAMSTON
BEACH

MIRRIWINNI

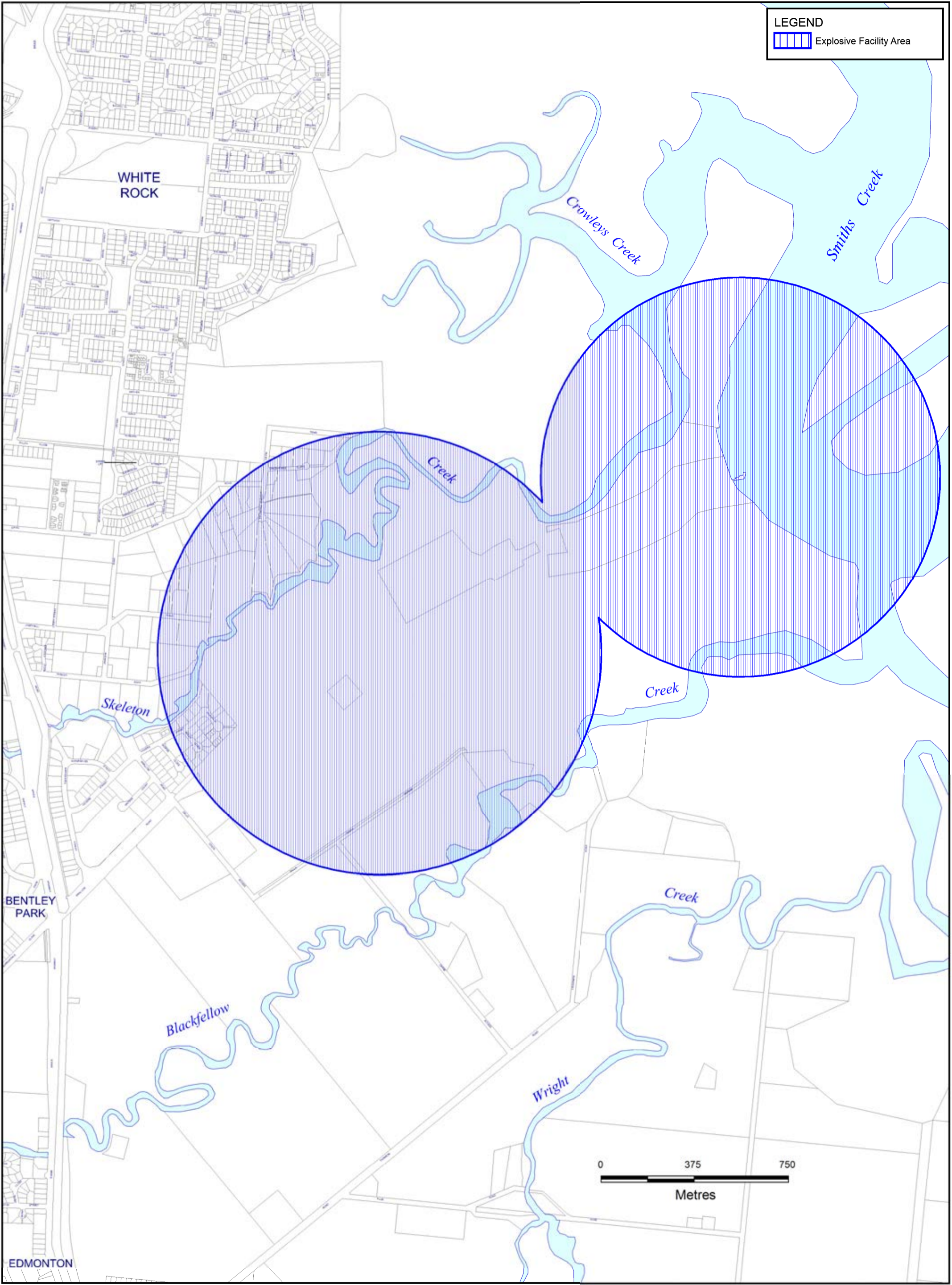


LEGEND

-  Major hazard facility
-  Major hazard facility - Area A
-  Major hazard facility - Area B

LEGEND

Explosive Facility Area



SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

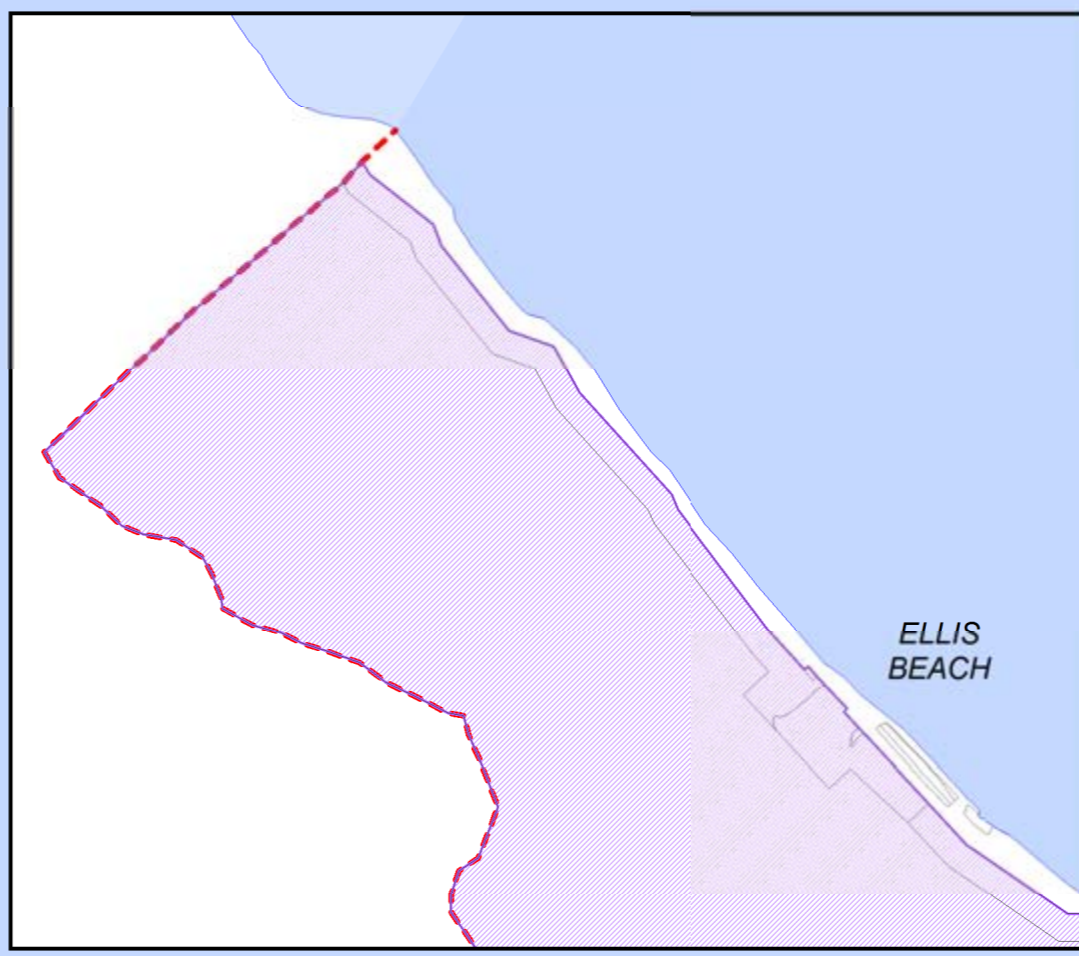
HOLLOWAYS BEACH

CORAL
SEA

MACHANS BEACH

REDLYNCH

TRINITY
INLET



INSERT



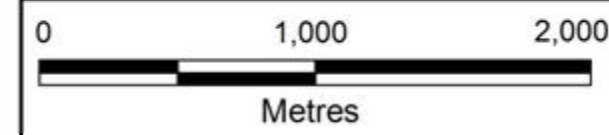
CAIRNSPLAN2016

One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

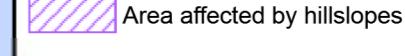
HILLSLOPES OVERLAY

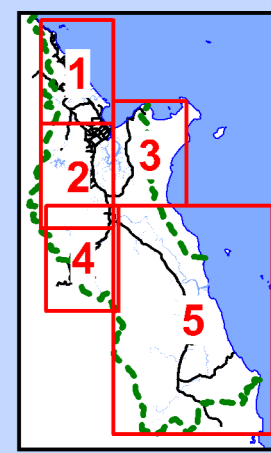
Date 01/03/2016



MAP No. OM-09A
Sheet 1 of 5

LEGEND

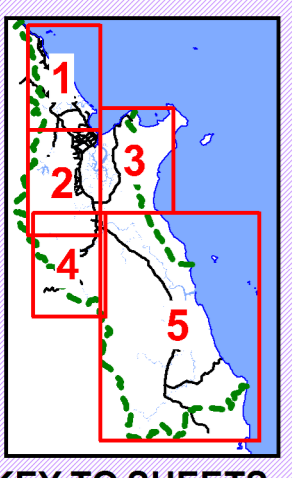
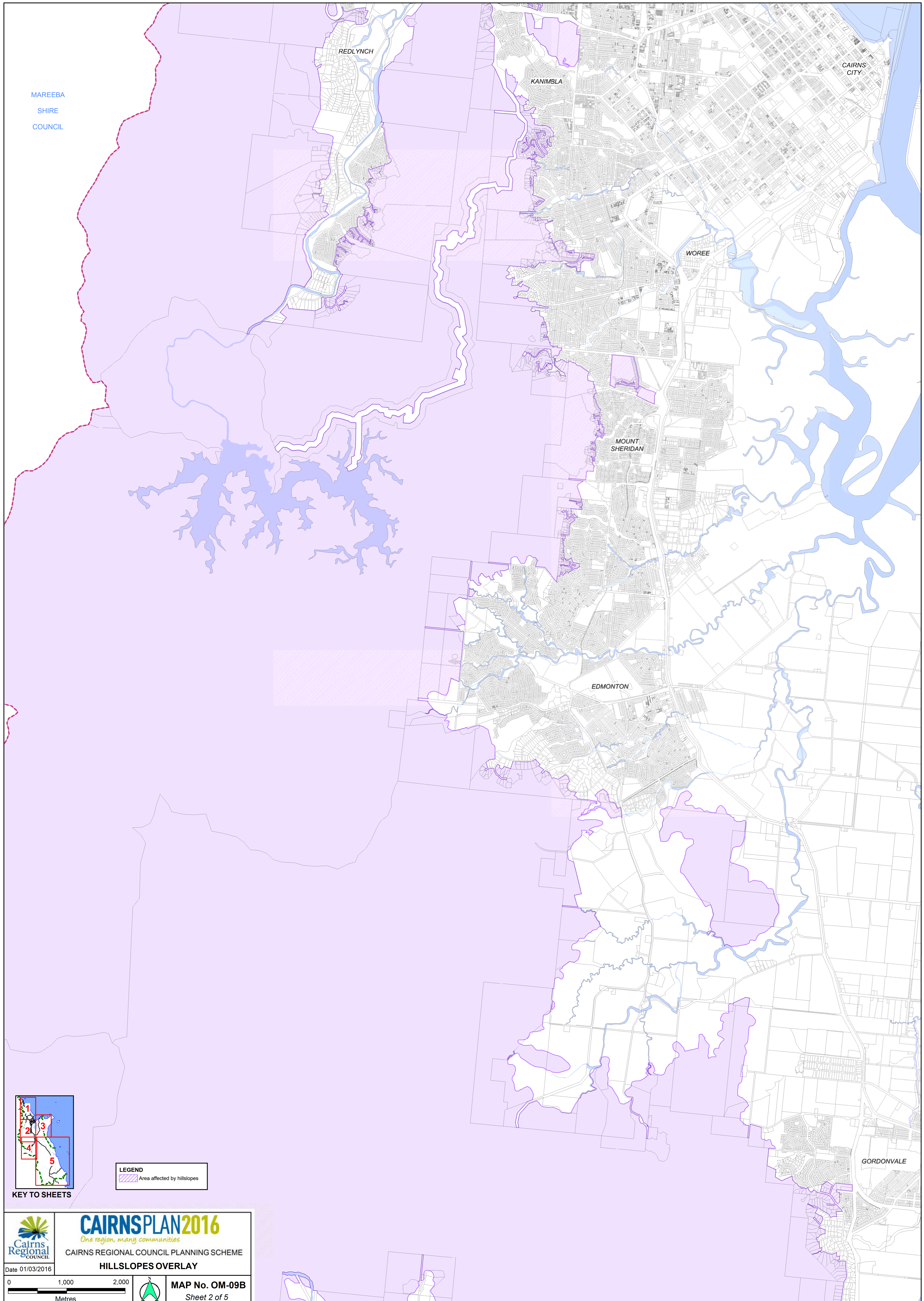
 Area affected by hillslopes




KEY TO SHEETS

MAREEBA
SHIRE
COUNCIL

MAREEBA
SHIRE
COUNCIL

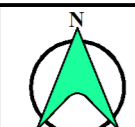


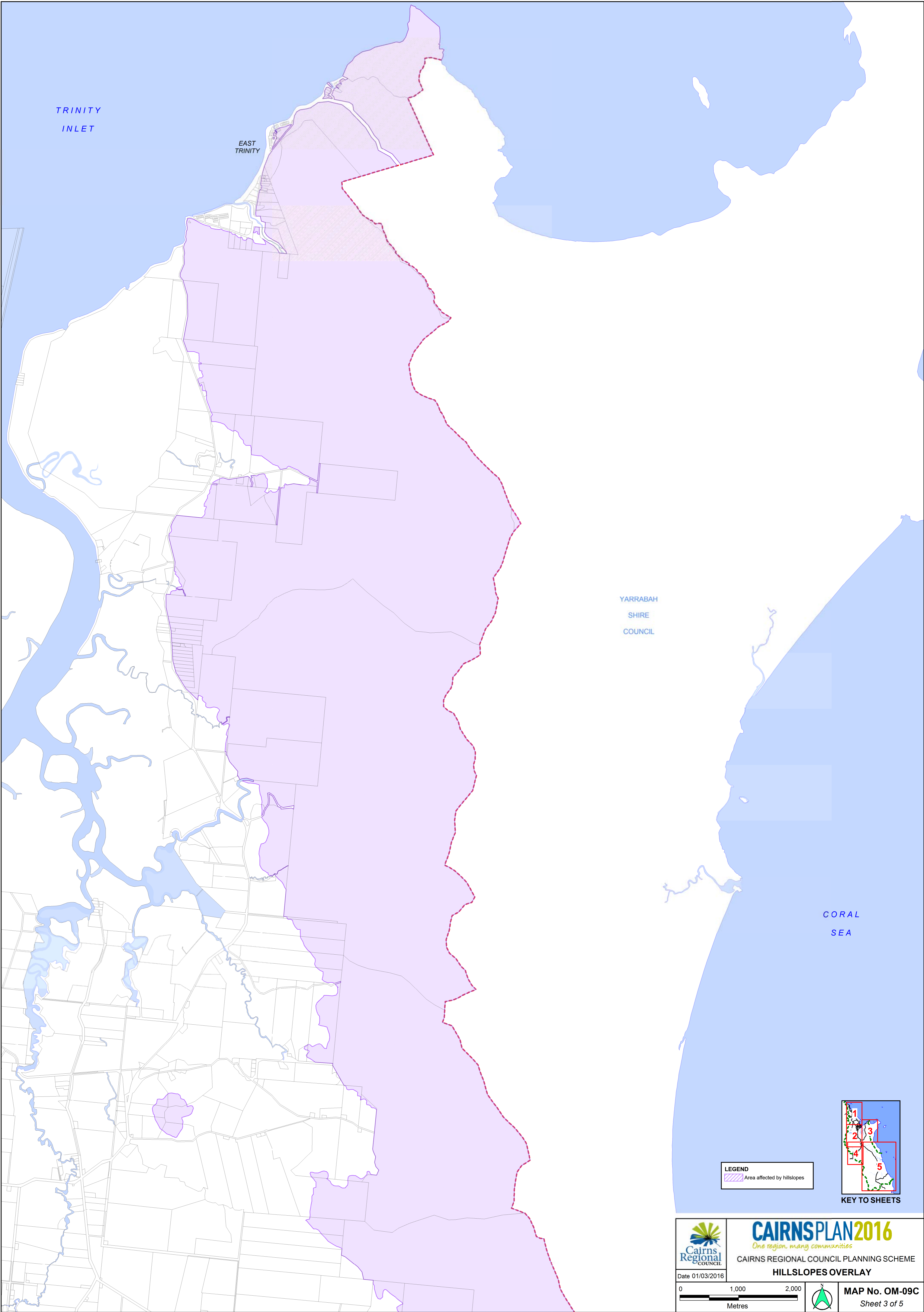
LEGEND
Area affected by hillslopes

 **CAIRNSPLAN2016**
One region. many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
HILLSLOPES OVERLAY

Date 01/03/2016

0 1,000 2,000
Metres

 **MAP No. OM-09B**
Sheet 2 of 5



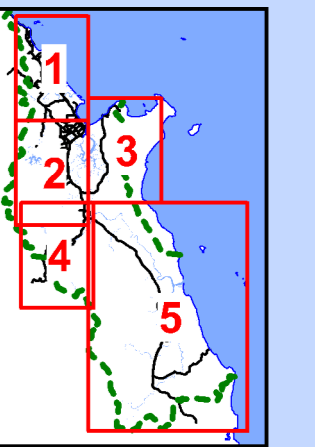
TRINITY
INLET

EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

LEGEND
Area affected by hillslopes



KEY TO SHEETS

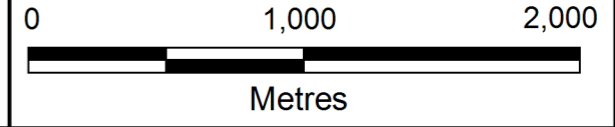


CAIRNSPLAN2016
One region. many communities

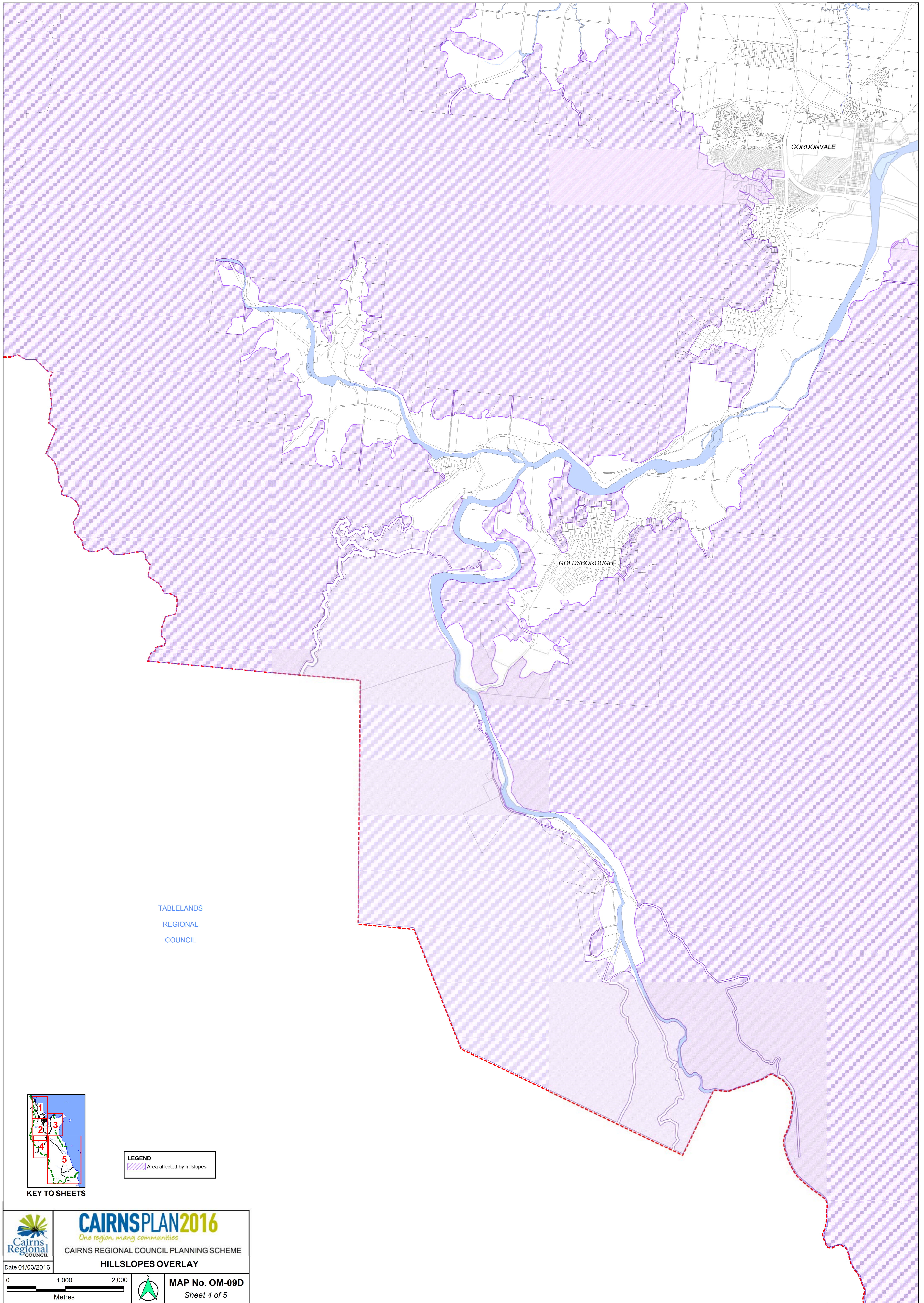
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

HILLSLOPES OVERLAY

Date 01/03/2016



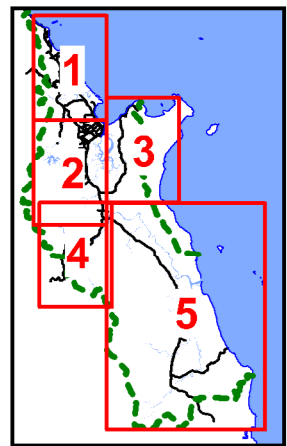
MAP No. OM-09C
Sheet 3 of 5



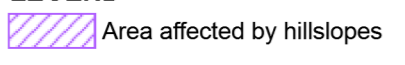
GORDONVALE


GOLDSBOROUGH

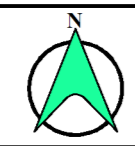
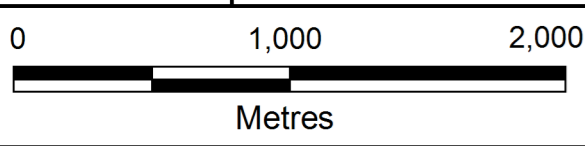
TABLELANDS
REGIONAL
COUNCIL

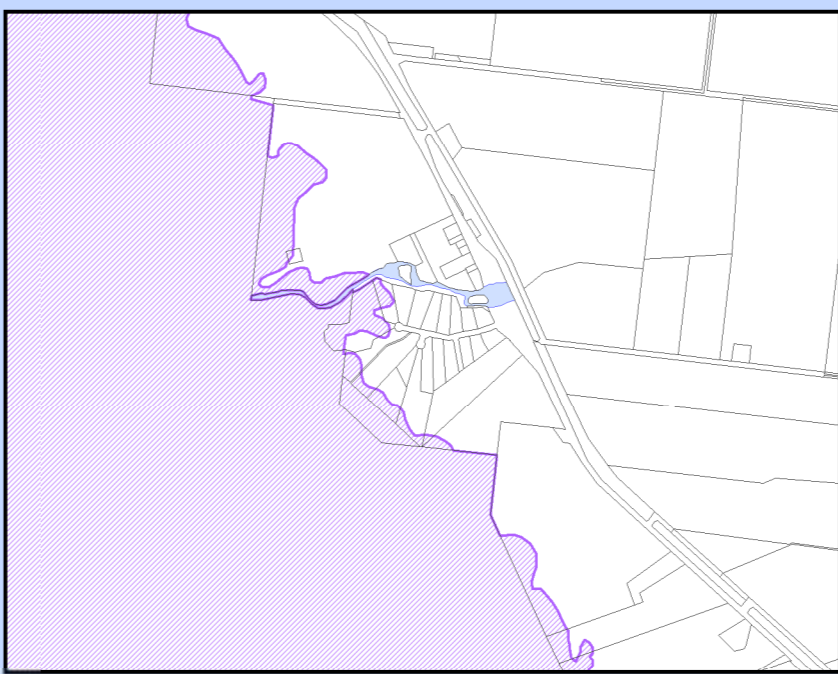
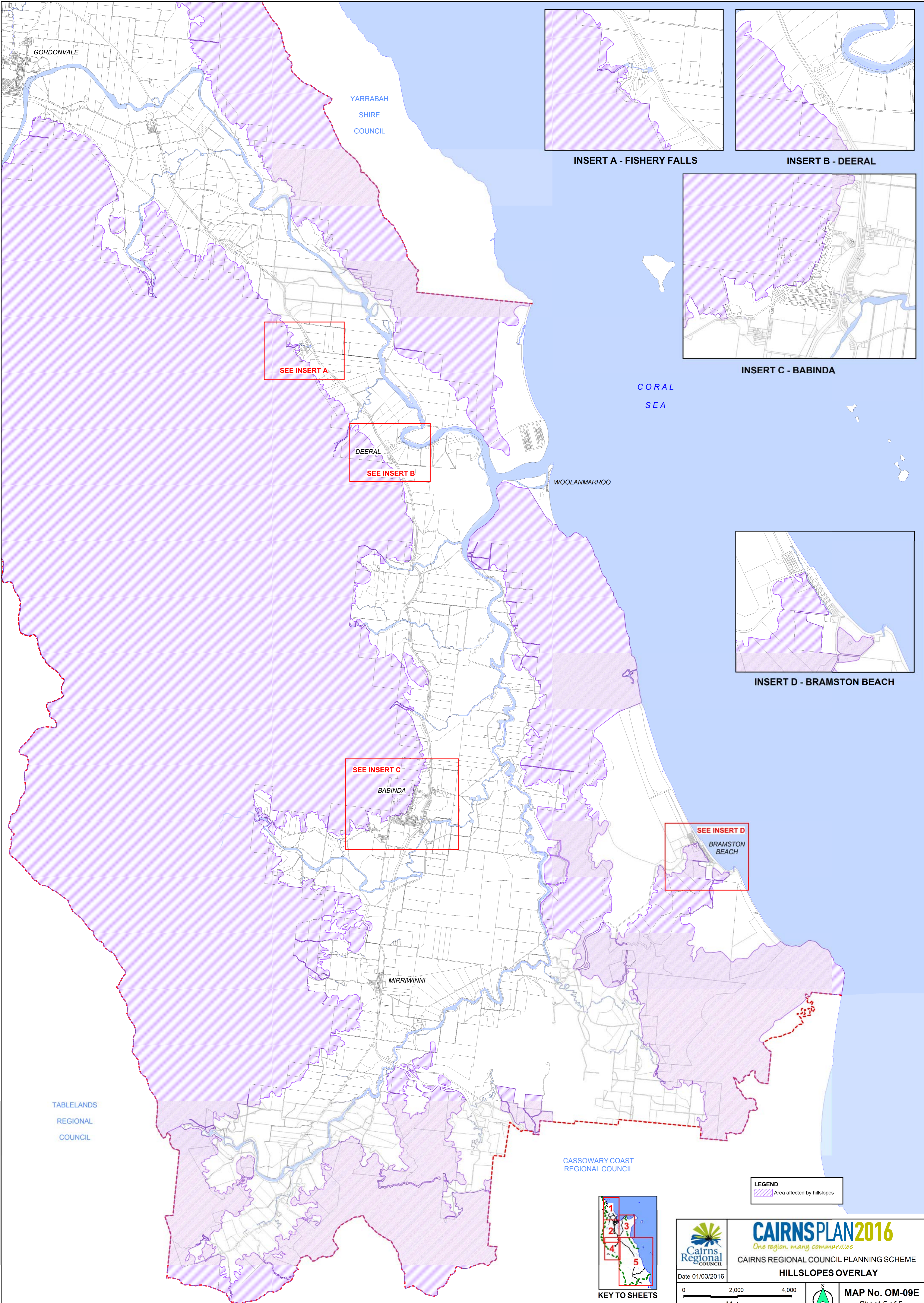


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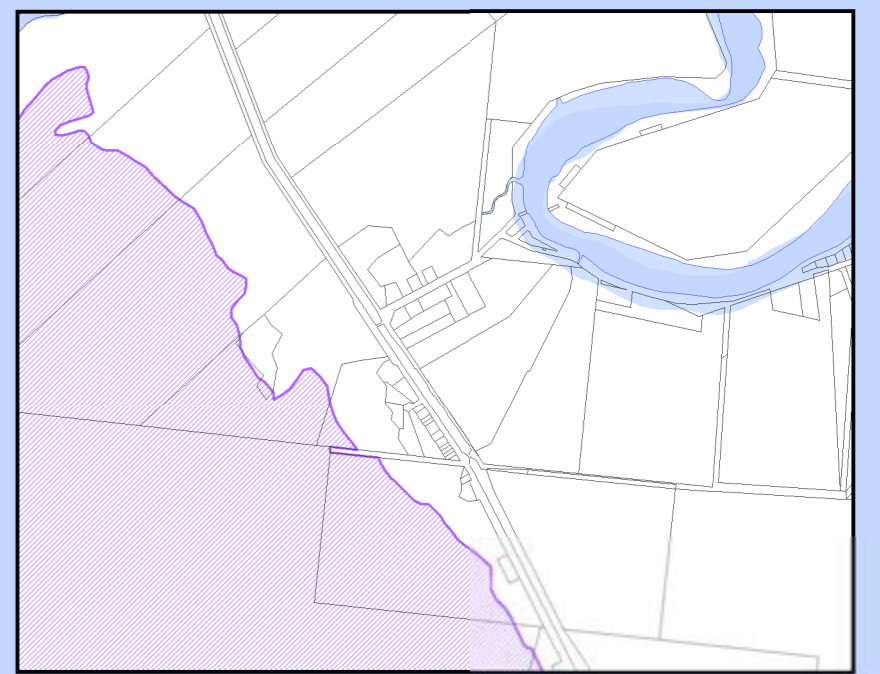
LEGEND
 Area affected by hillslopes

 <p>Cairns Regional Council</p>	<p>CAIRNSPLAN2016 <i>One region many communities</i></p>
	<p>CAIRNS REGIONAL COUNCIL PLANNING SCHEME HILLSLOPES OVERLAY</p>
<p>Date 01/03/2016</p>	<p>MAP No. OM-09D Sheet 4 of 5</p>

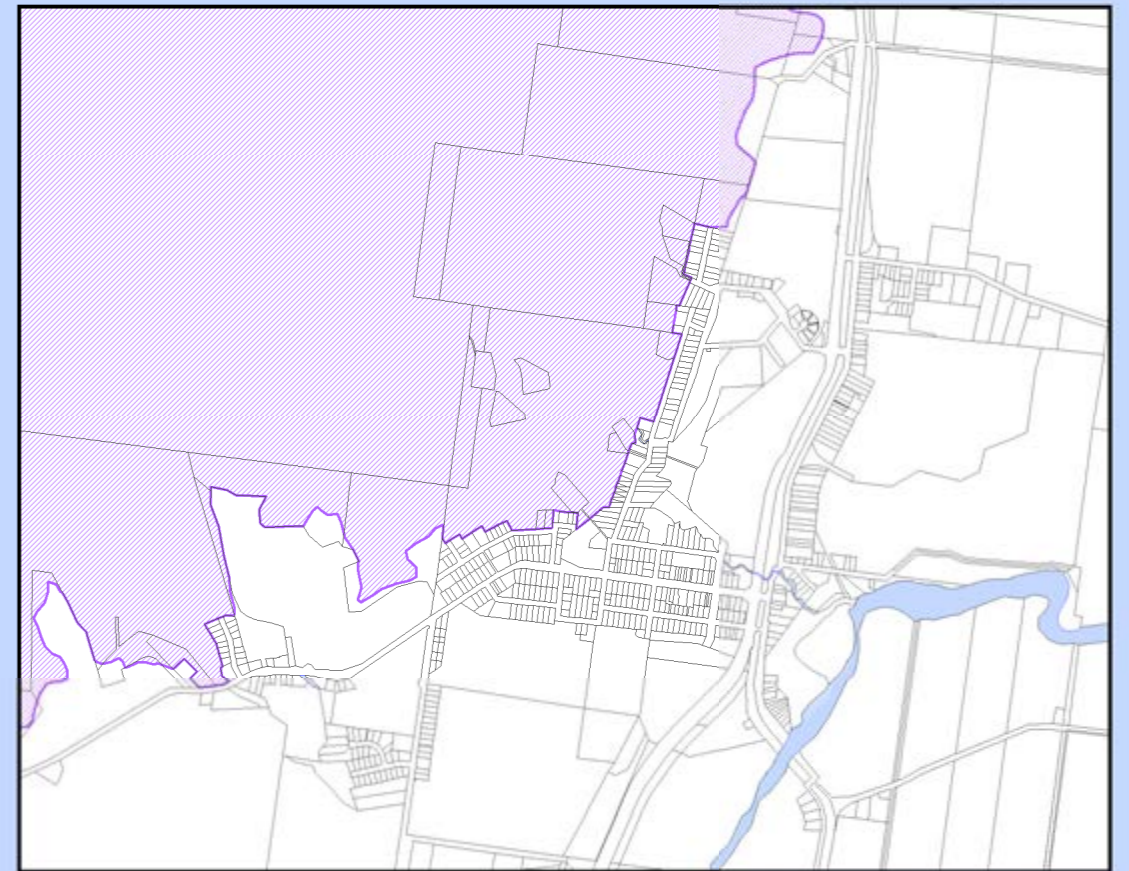




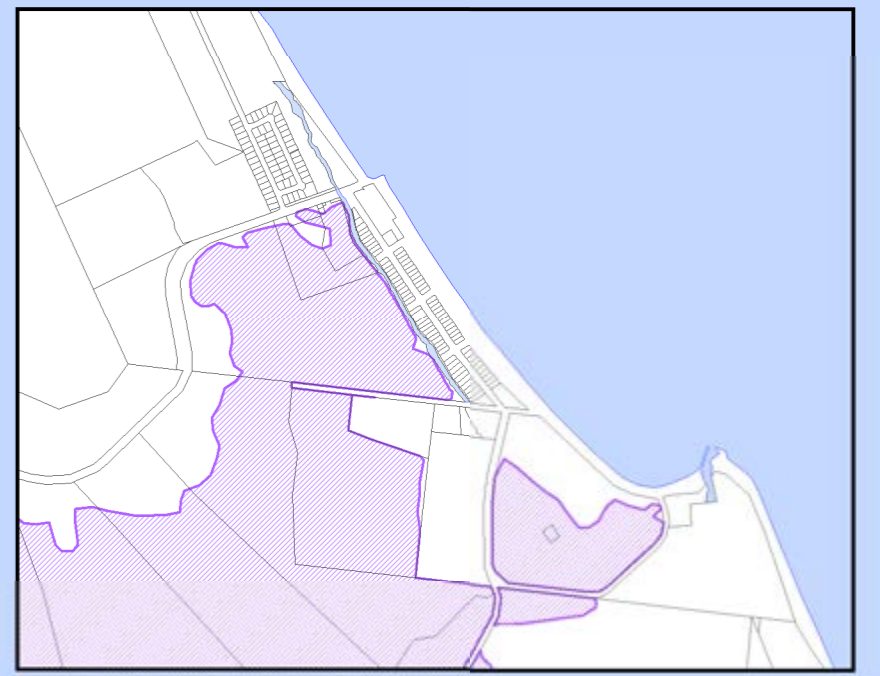
INSERT A - FISHERY FALLS



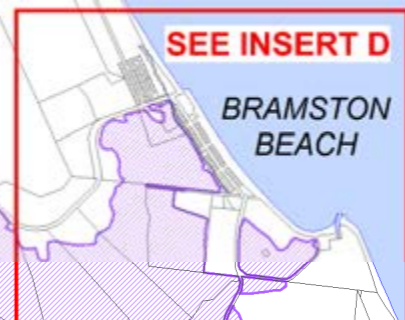
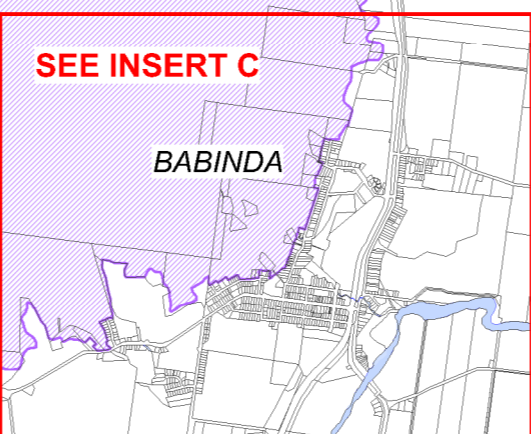
INSERT B - DEERAL



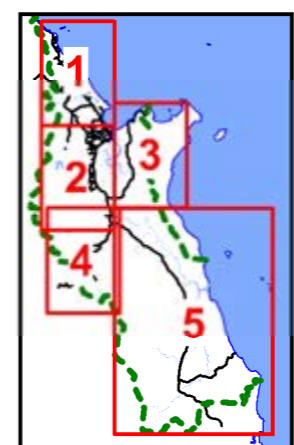
INSERT C - BABINDA



INSERT D - BRAMSTON BEACH



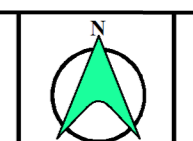
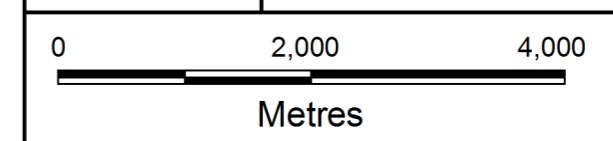
LEGEND
 Area affected by hillslopes



KEY TO SHEETS

Cairns Regional Council
 Date 01/03/2016

CAIRNSPLAN2016
One region. many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
HILLSLOPES OVERLAY



MAP No. OM-09E
 Sheet 5 of 5

SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

HOLLOWAYS BEACH

MACHANS BEACH

REDLYNCH

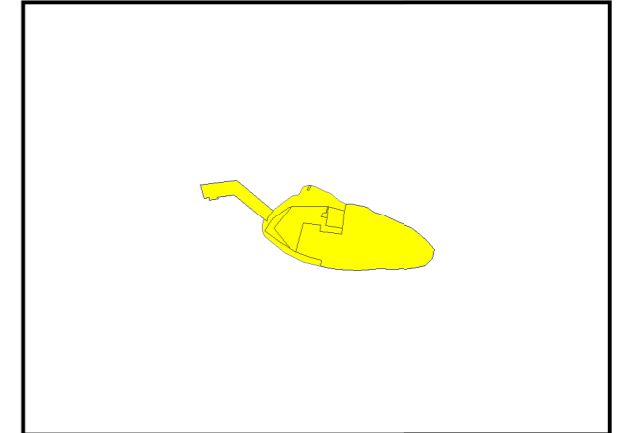
CORAL
SEA

MAREEBA
SHIRE
COUNCIL

TRINITY
INLET



INSERT A - ELLIS BEACH



INSERT B - GREEN ISLAND



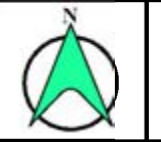
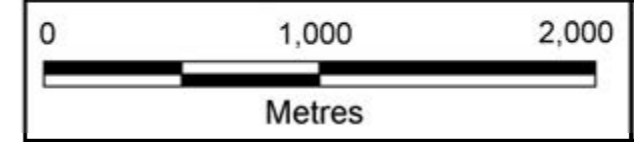
CAIRNSPLAN2016

One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

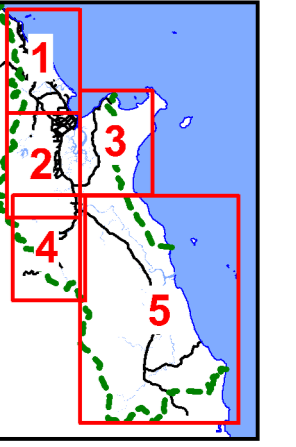
LANDSCAPE VALUES OVERLAY

Date 01/03/2016



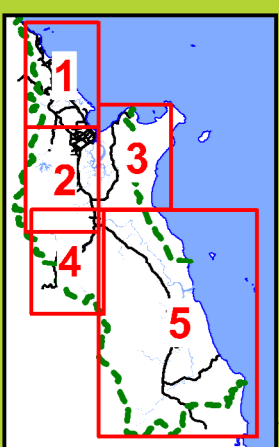
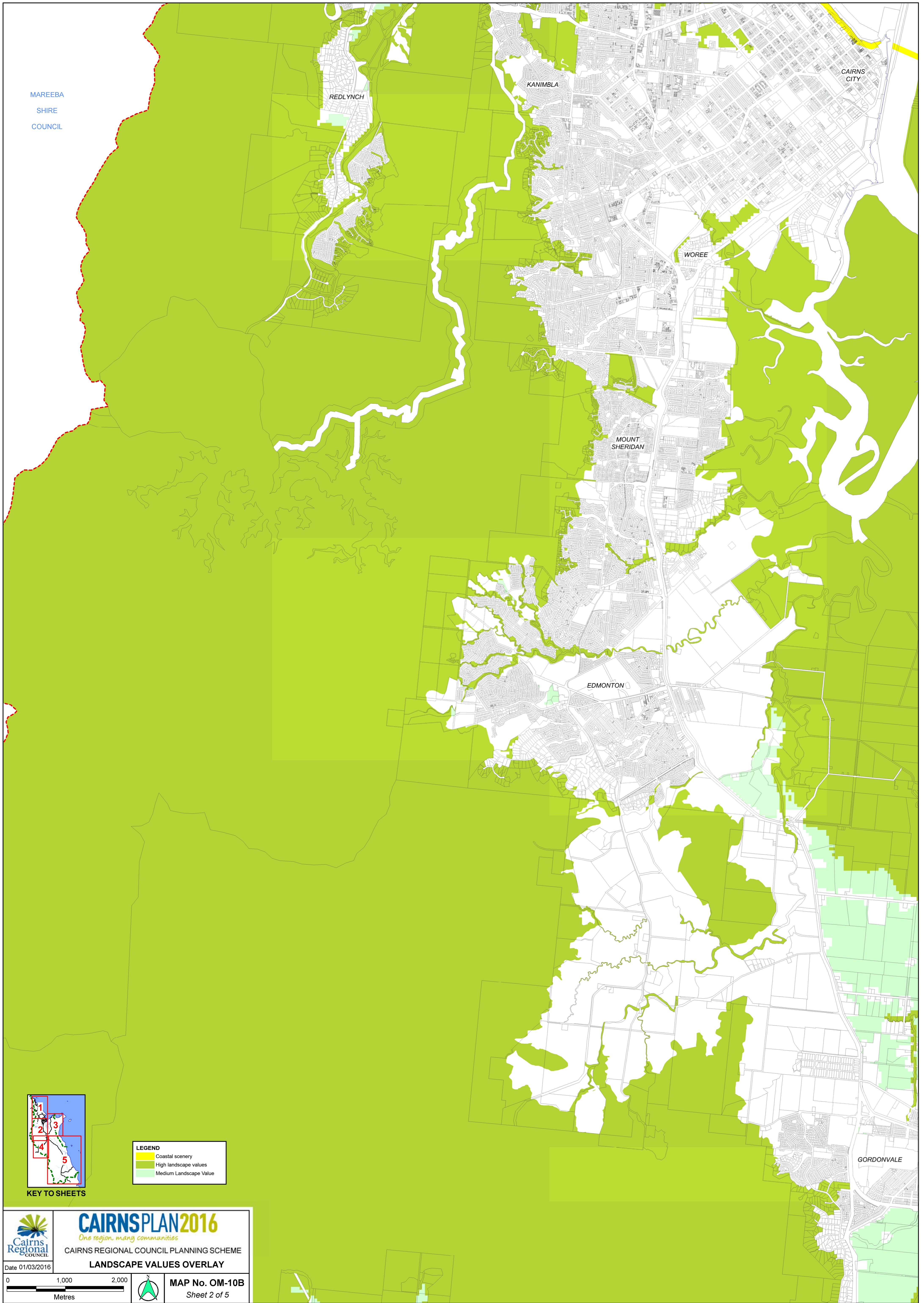
MAP No. OM-10A
Sheet 1 of 5

LEGEND	
	Coastal scenery
	High landscape values
	Medium Landscape Value




KEY TO SHEETS

MAREEBA
SHIRE
COUNCIL



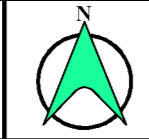
KEY TO SHEETS

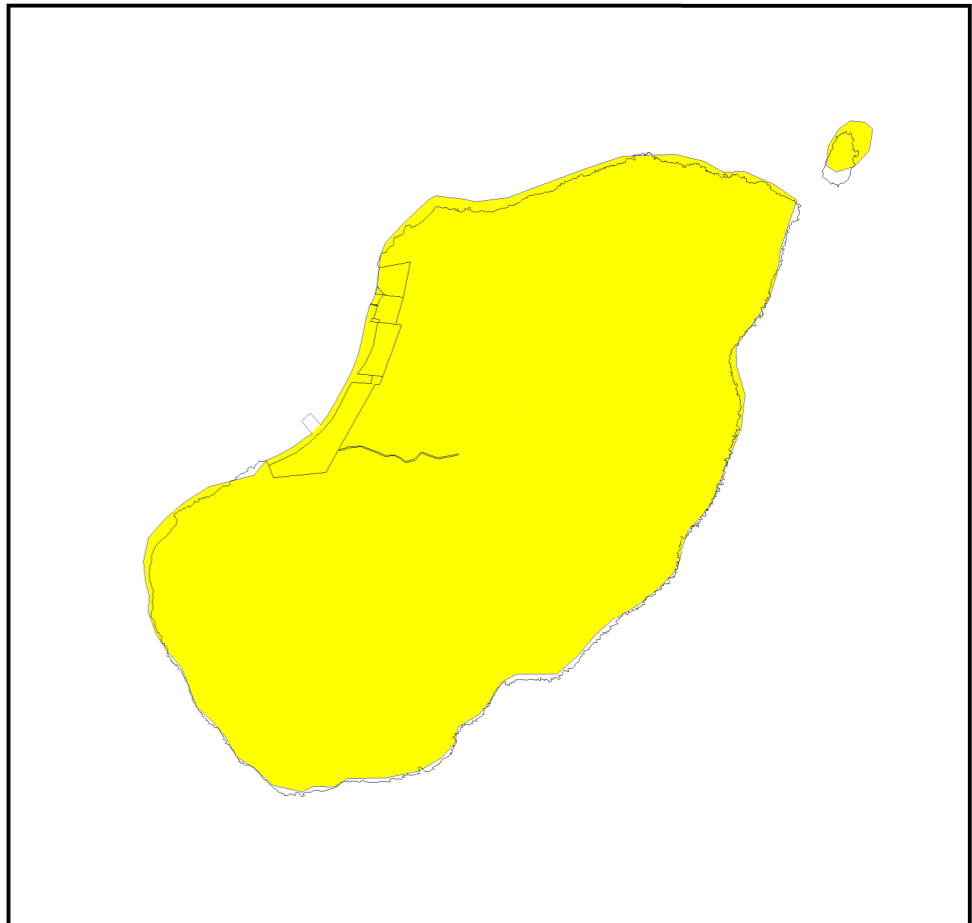
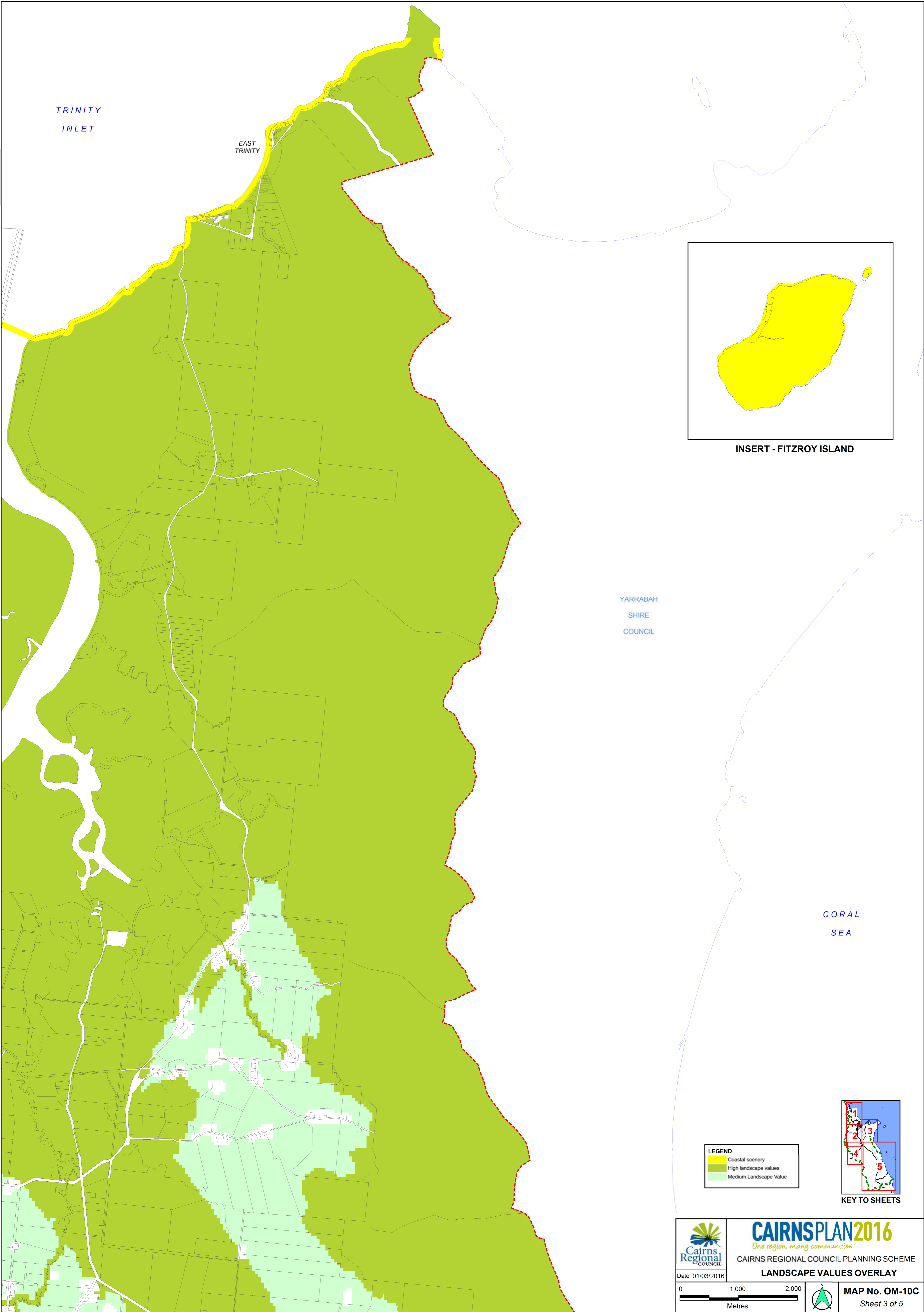
LEGEND	
	Coastal scenery
	High landscape values
	Medium Landscape Value

 **CAIRNSPLAN2016**
One region. many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
LANDSCAPE VALUES OVERLAY

Date 01/03/2016

0 1,000 2,000
Metres

 **MAP No. OM-10B**
Sheet 2 of 5



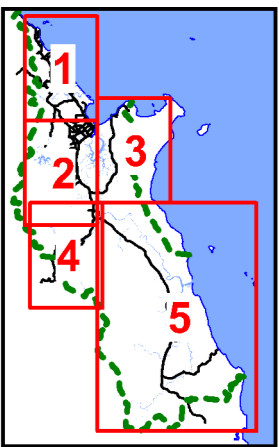
INSERT - FITZROY ISLAND

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

LEGEND

	Coastal scenery
	High landscape values
	Medium Landscape Value



KEY TO SHEETS

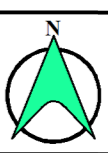
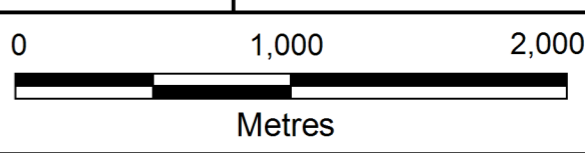


CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

Date 01/03/2016

LANDSCAPE VALUES OVERLAY



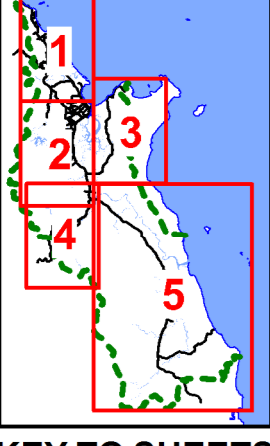
MAP No. OM-10C
Sheet 3 of 5



GORDONVALE

GOLDSBOROUGH

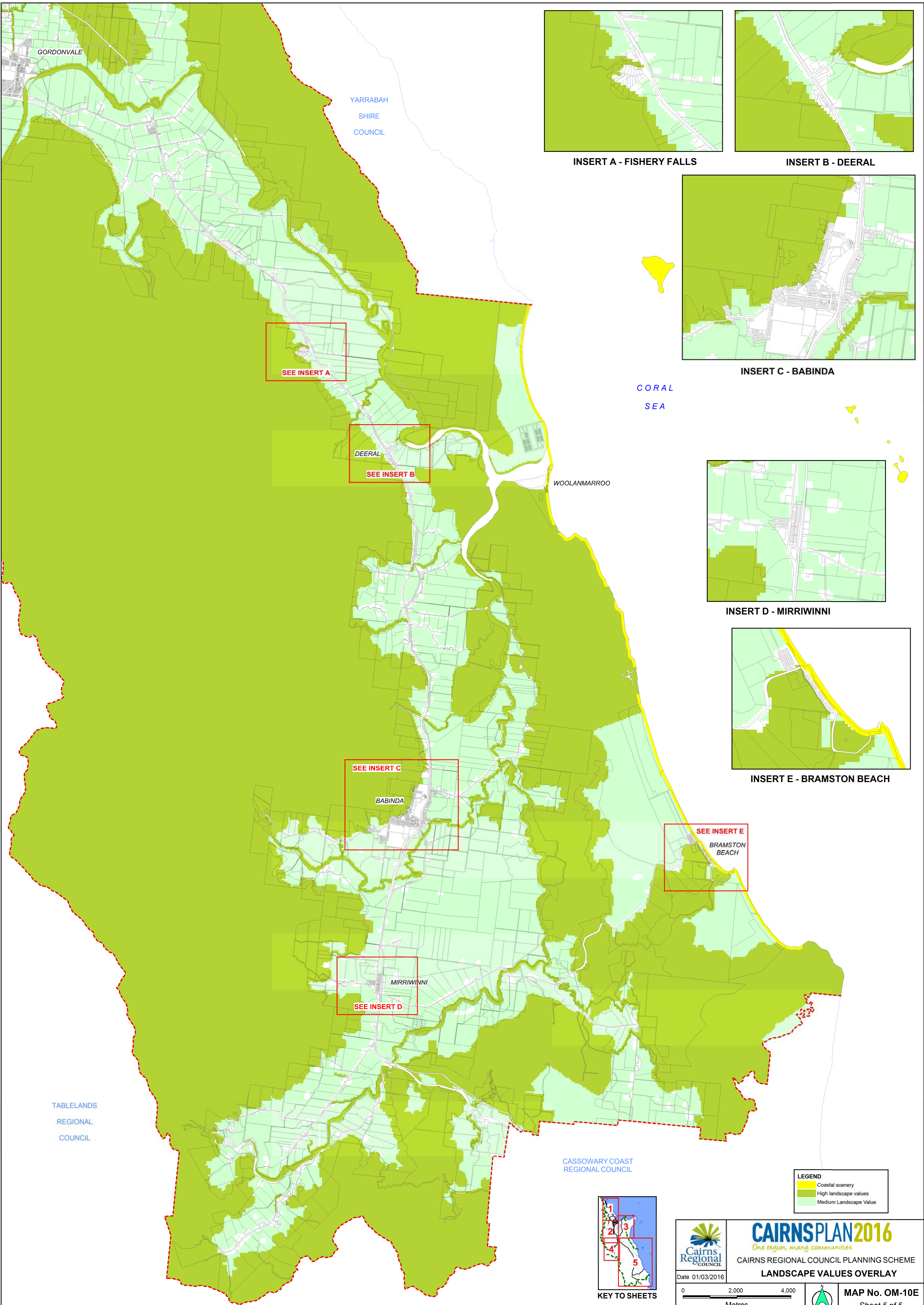
TABLELANDS
REGIONAL
COUNCIL



KEY TO SHEETS

LEGEND	
	Coastal scenery
	High landscape values
	Medium Landscape Value

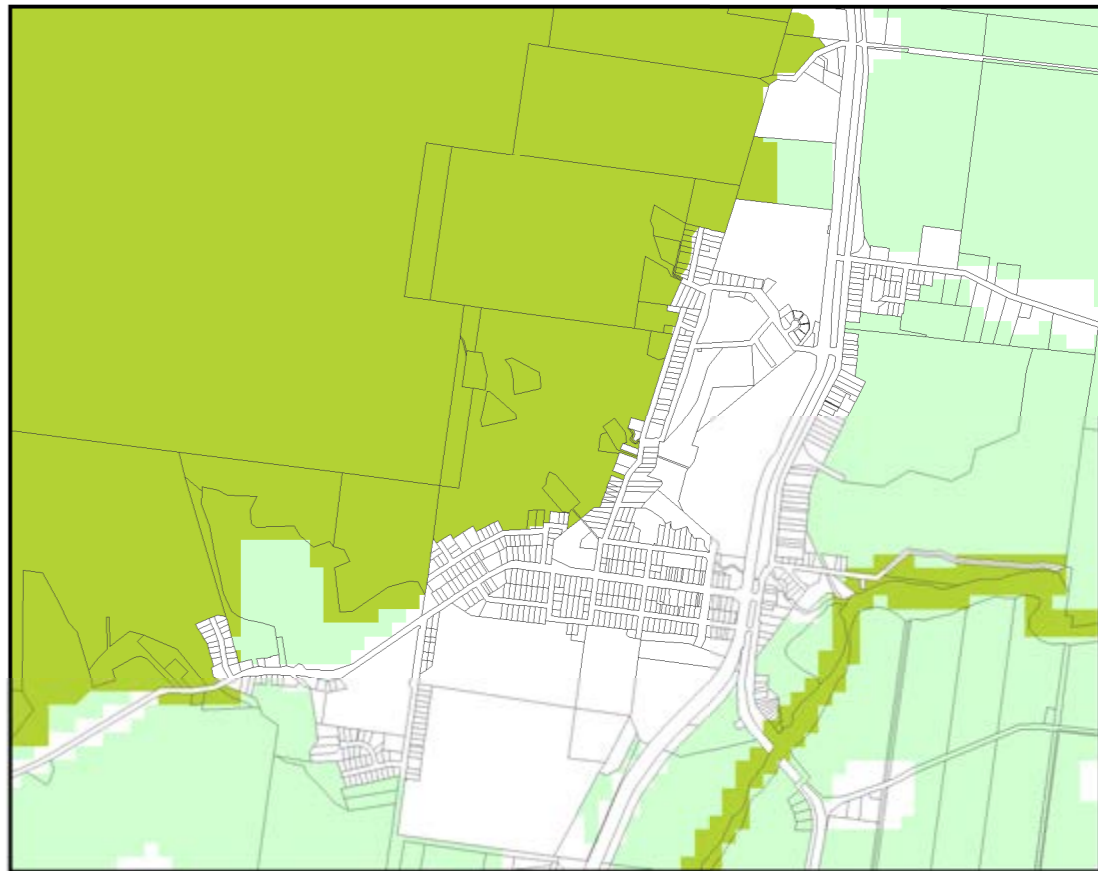
	CAIRNSPLAN2016 <i>One region many communities</i>
	CAIRNS REGIONAL COUNCIL PLANNING SCHEME LANDSCAPE VALUES OVERLAY
Date 01/03/2016	MAP No. OM-10D Sheet 4 of 5



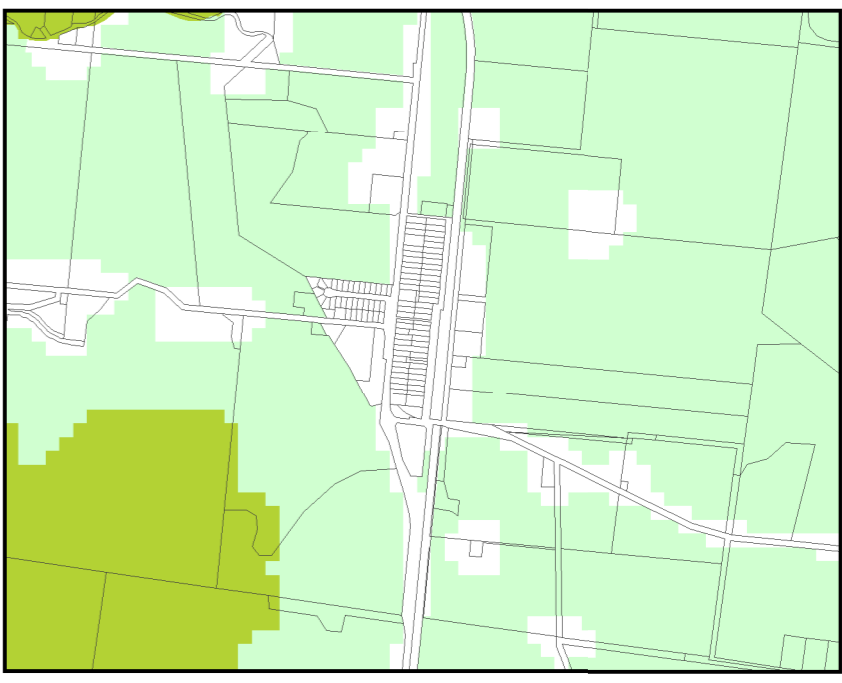
INSERT A - FISHERY FALLS



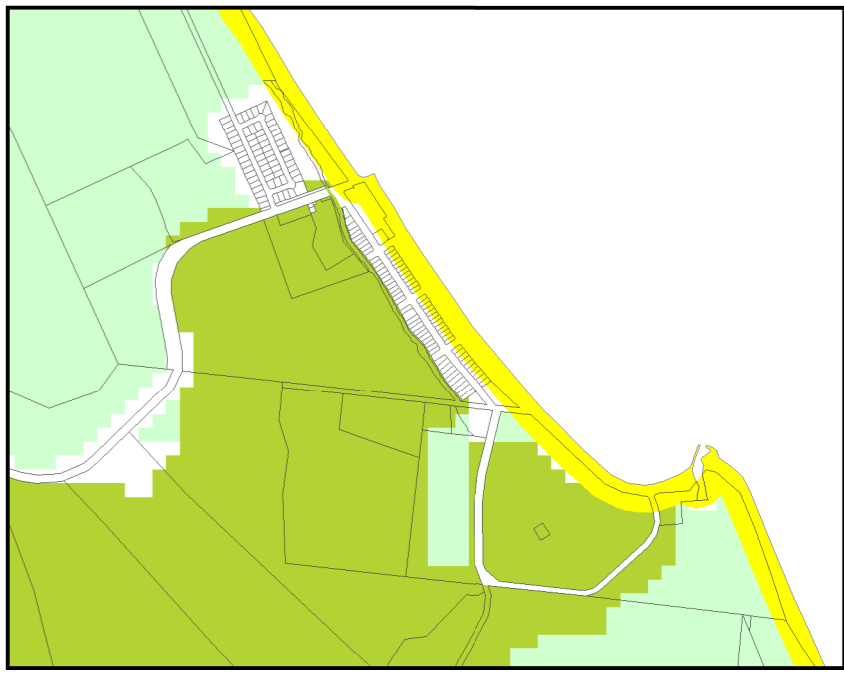
INSERT B - DEERAL



INSERT C - BABINDA



INSERT D - MIRRIWINNI



INSERT E - BRAMSTON BEACH

SEE INSERT A

SEE INSERT B

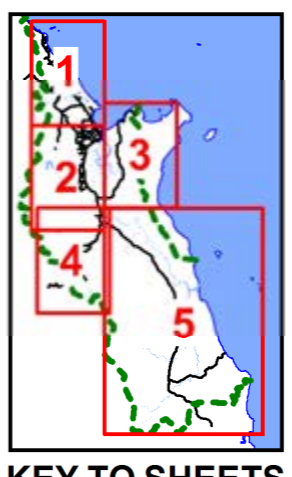
SEE INSERT C

SEE INSERT D

SEE INSERT E

LEGEND

- Coastal scenery
- High landscape values
- Medium Landscape Value



KEY TO SHEETS

Date 01/03/2016

CAIRNSPLAN2016
One region, many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
LANDSCAPE VALUES OVERLAY

0 2,000 4,000
 Metres

MAP No. OM-10E
 Sheet 5 of 5

GORDONVALE

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

WOOLANMARROO

DEERAL

BABINDA

MIRRIWINNI

BRAMSTON
BEACH

TABLELANDS
REGIONAL
COUNCIL

CASSOWARY COAST
REGIONAL COUNCIL



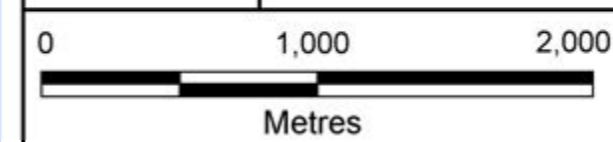
CAIRNSPLAN2016

One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

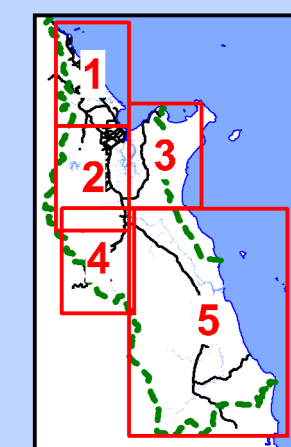
NATURAL AREAS OVERLAY

Date 01/03/2016

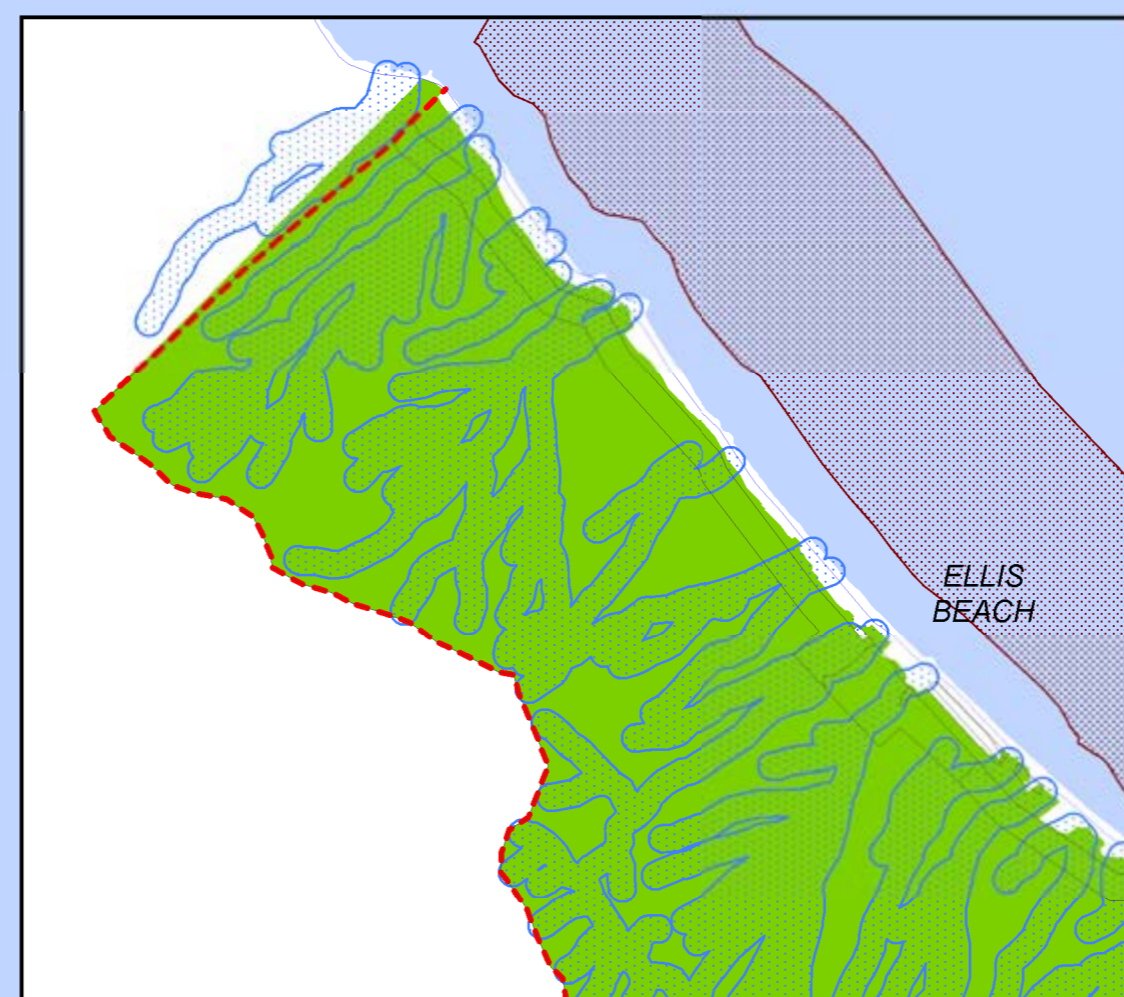


MAP No. OM-11A
Sheet 1 of 5

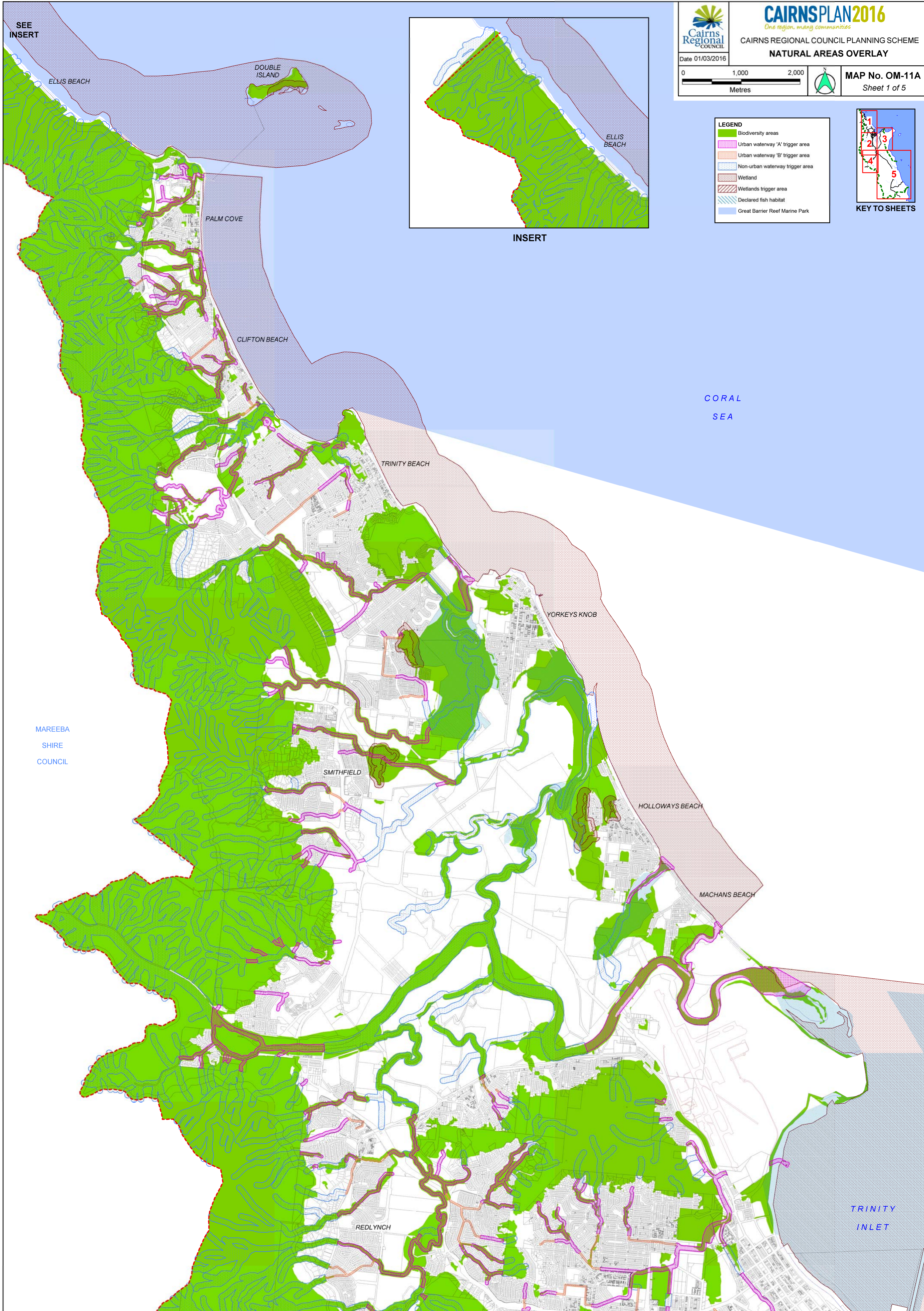
LEGEND	
	Biodiversity areas
	Urban waterway 'A' trigger area
	Urban waterway 'B' trigger area
	Non-urban waterway trigger area
	Wetland
	Wetlands trigger area
	Declared fish habitat
	Great Barrier Reef Marine Park



KEY TO SHEETS



INSERT



SEE
INSERT

ELLIS BEACH

DOUBLE ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

HOLLOWAYS BEACH

MACHANS BEACH

REDLYNCH

CORAL
SEA


TRINITY
INLET

MAREEBA
SHIRE
COUNCIL

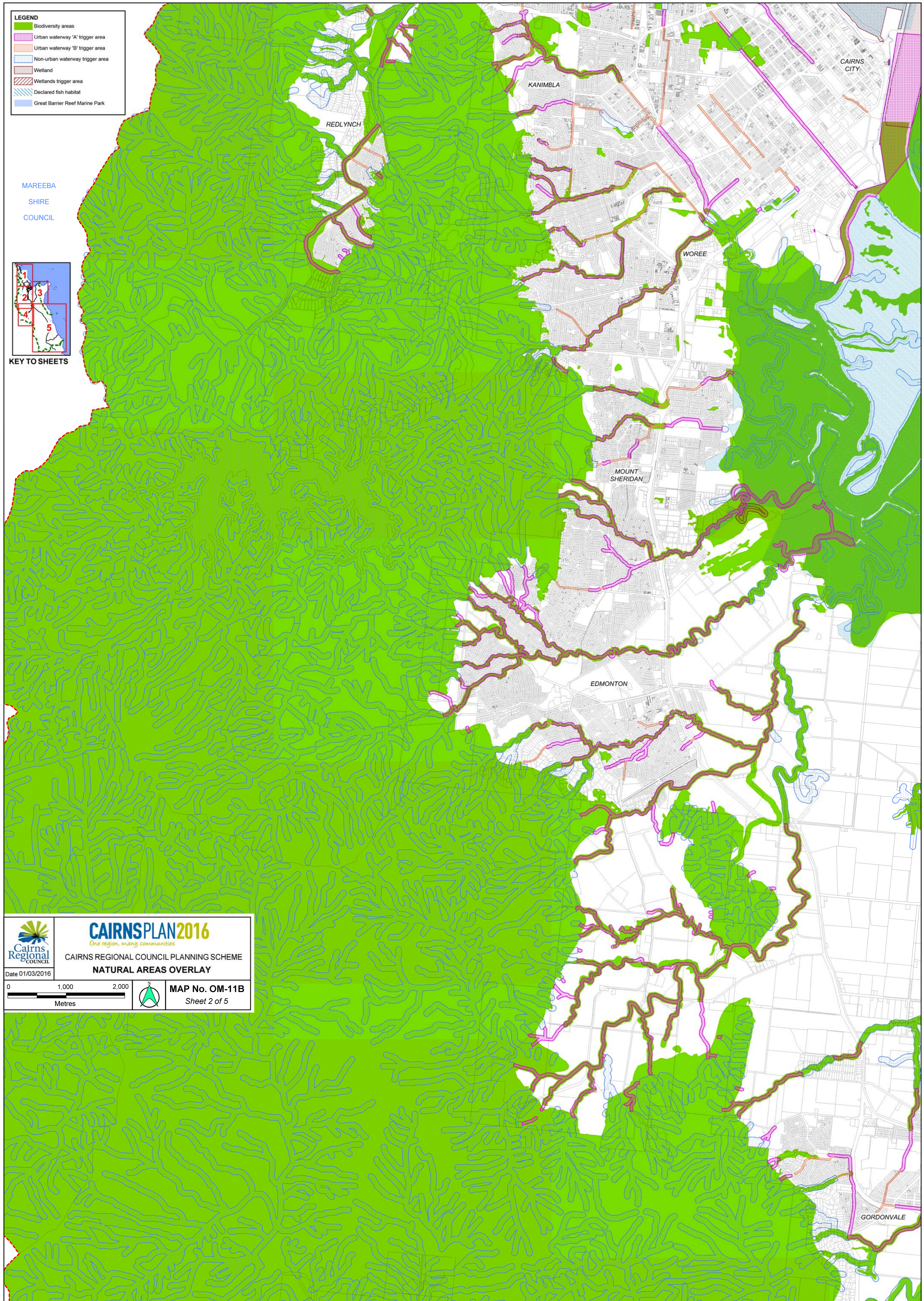
LEGEND


- Biodiversity areas
- Urban waterway 'A' trigger area
- Urban waterway 'B' trigger area
- Non-urban waterway trigger area
- Wetland
- Wetlands trigger area
- Declared fish habitat
- Great Barrier Reef Marine Park

MAREEBA
SHIRE
COUNCIL



KEY TO SHEETS






CAIRNSPLAN2016
One region. many communities

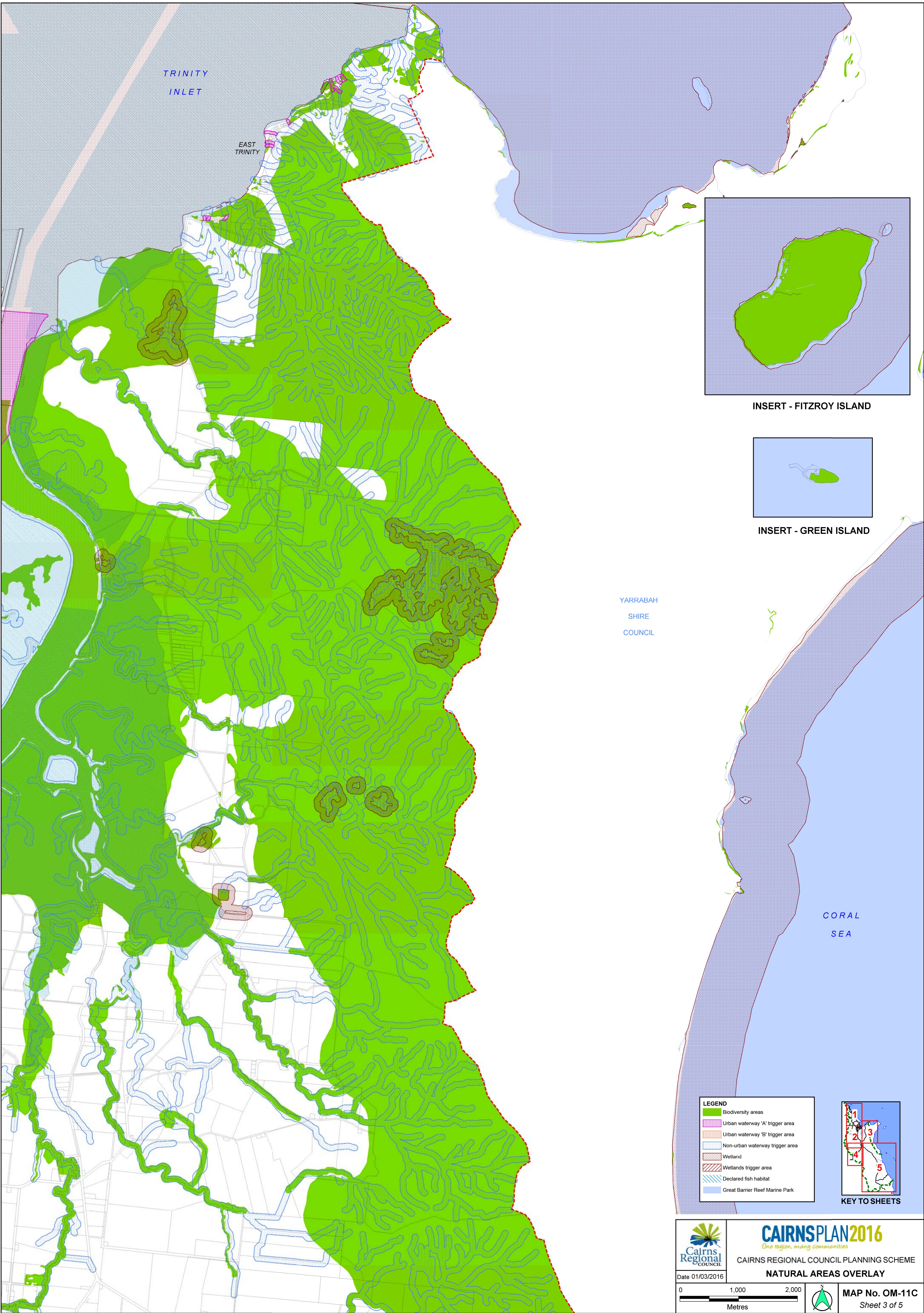
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
NATURAL AREAS OVERLAY

Date 01/03/2016

0 1,000 2,000
Metres



MAP No. OM-11B
Sheet 2 of 5

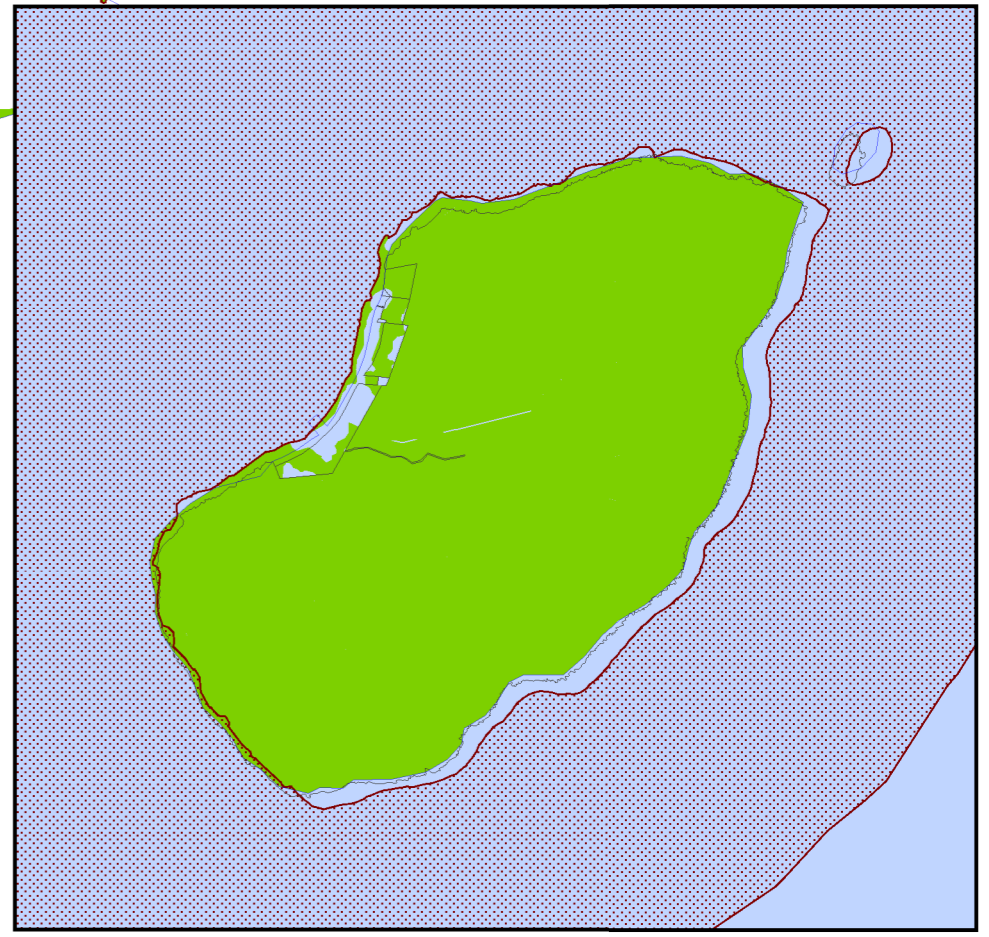


TRINITY
INLET

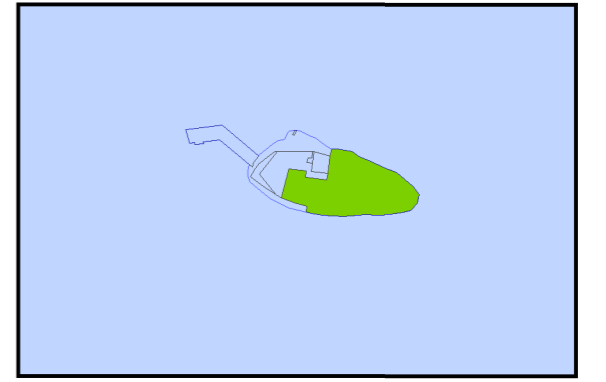
EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

CORAL
SEA



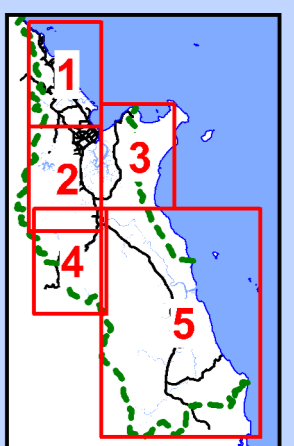
INSERT - FITZROY ISLAND




INSERT - GREEN ISLAND

LEGEND

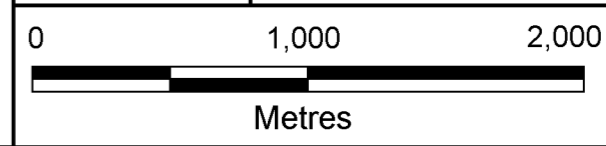
- Biodiversity areas
- Urban waterway 'A' trigger area
- Urban waterway 'B' trigger area
- Non-urban waterway trigger area
- Wetland
- Wetlands trigger area
- Declared fish habitat
- Great Barrier Reef Marine Park



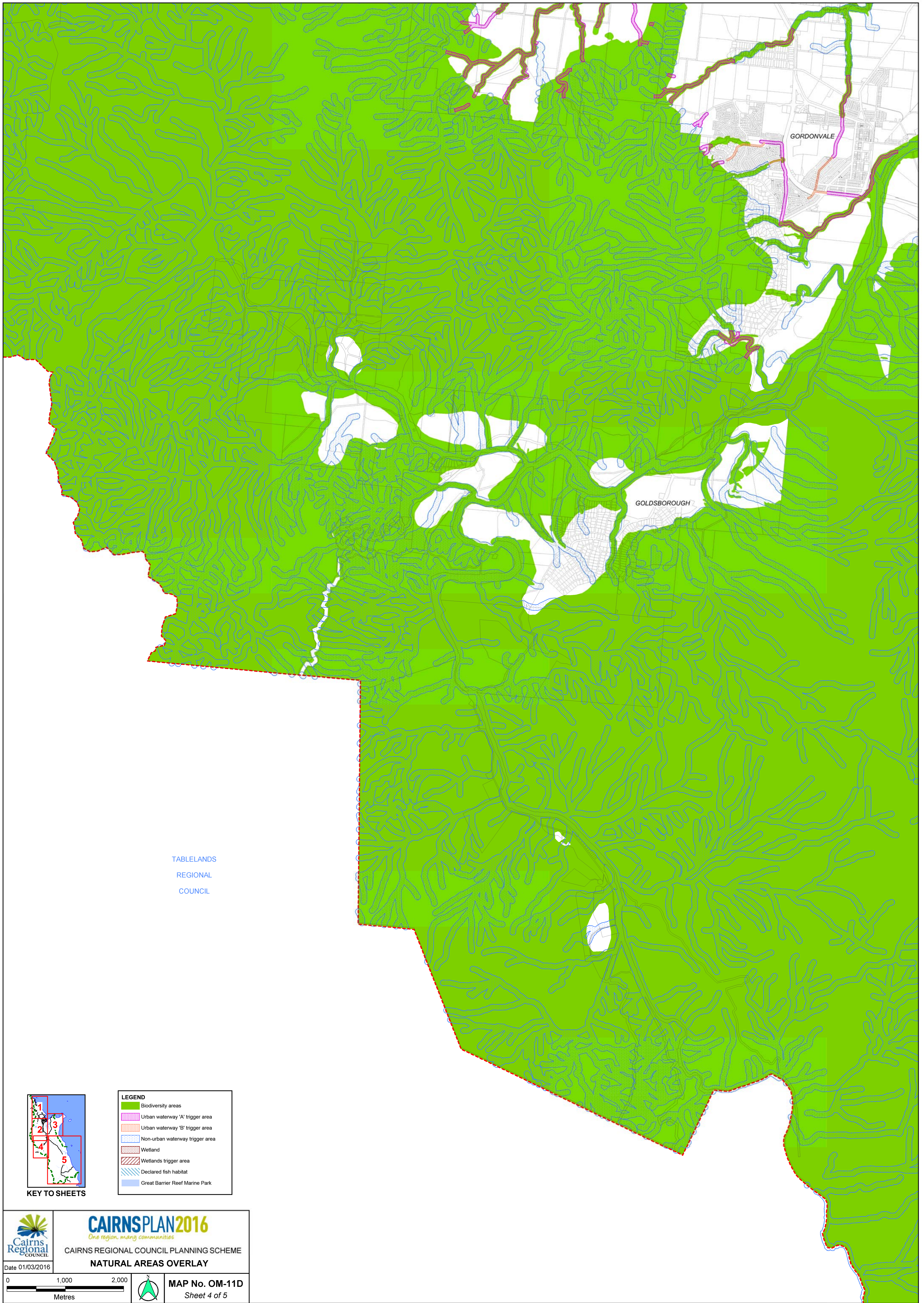
KEY TO SHEETS


Date 01/03/2016

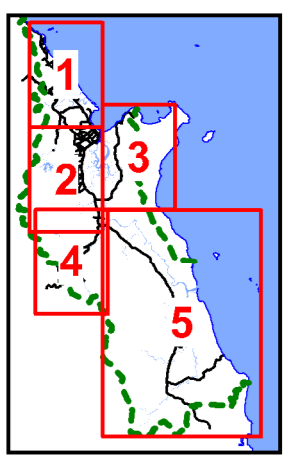
CAIRNSPLAN2016
One region, many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
NATURAL AREAS OVERLAY



MAP No. OM-11C
Sheet 3 of 5

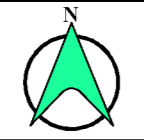
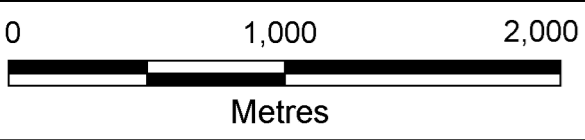


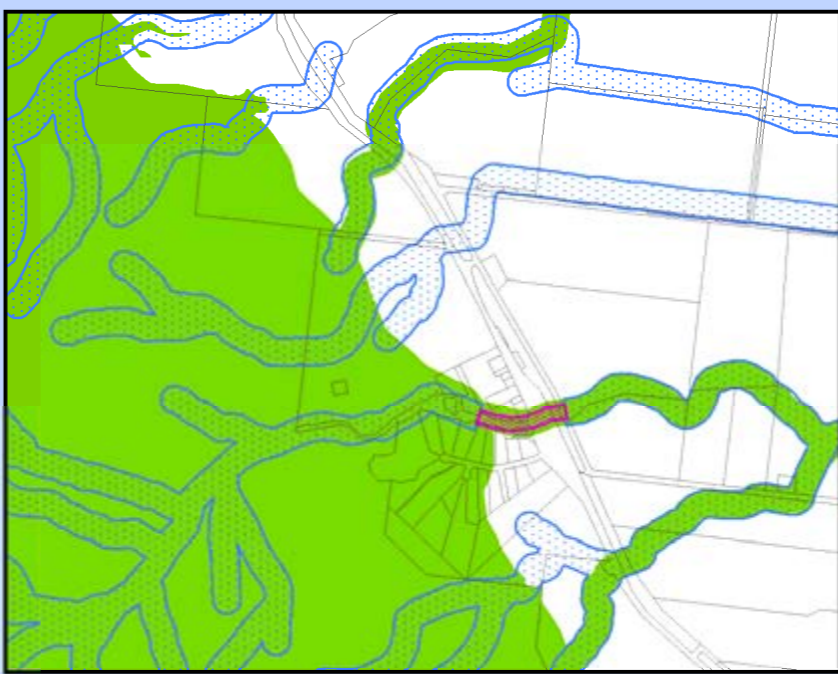
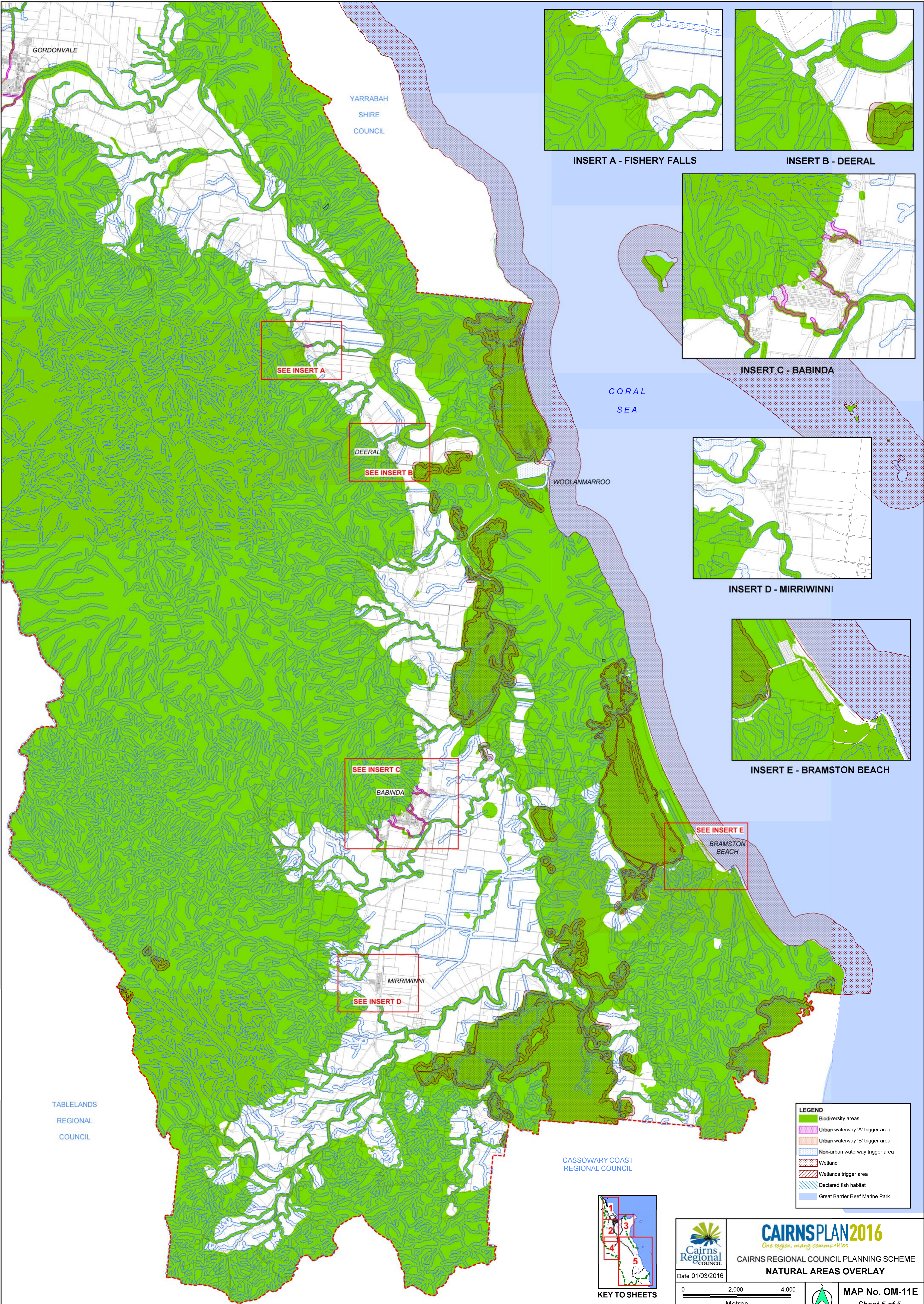
TABLELANDS
REGIONAL
COUNCIL



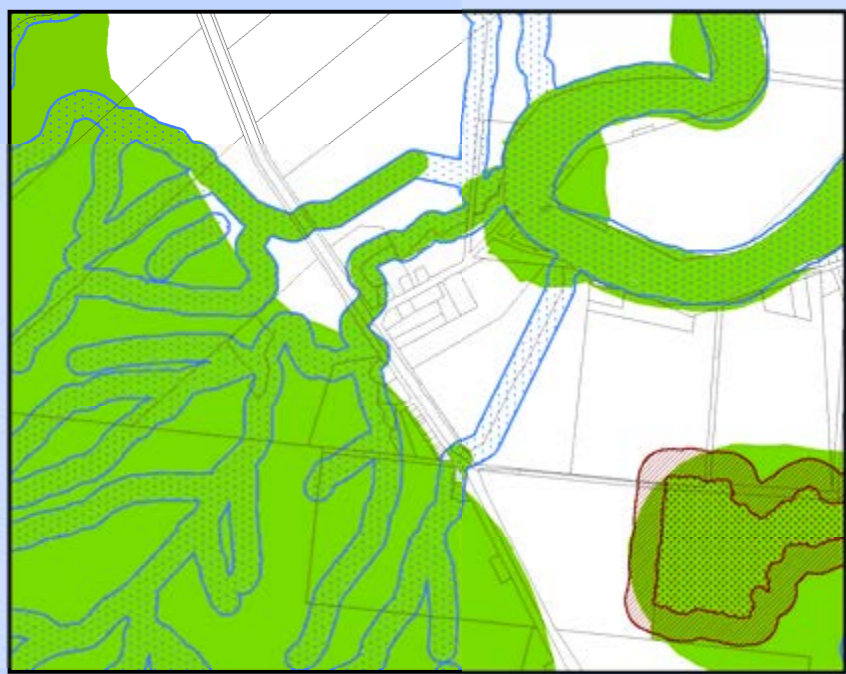
KEY TO SHEETS

LEGEND	
	Biodiversity areas
	Urban waterway 'A' trigger area
	Urban waterway 'B' trigger area
	Non-urban waterway trigger area
	Wetland
	Wetlands trigger area
	Declared fish habitat
	Great Barrier Reef Marine Park

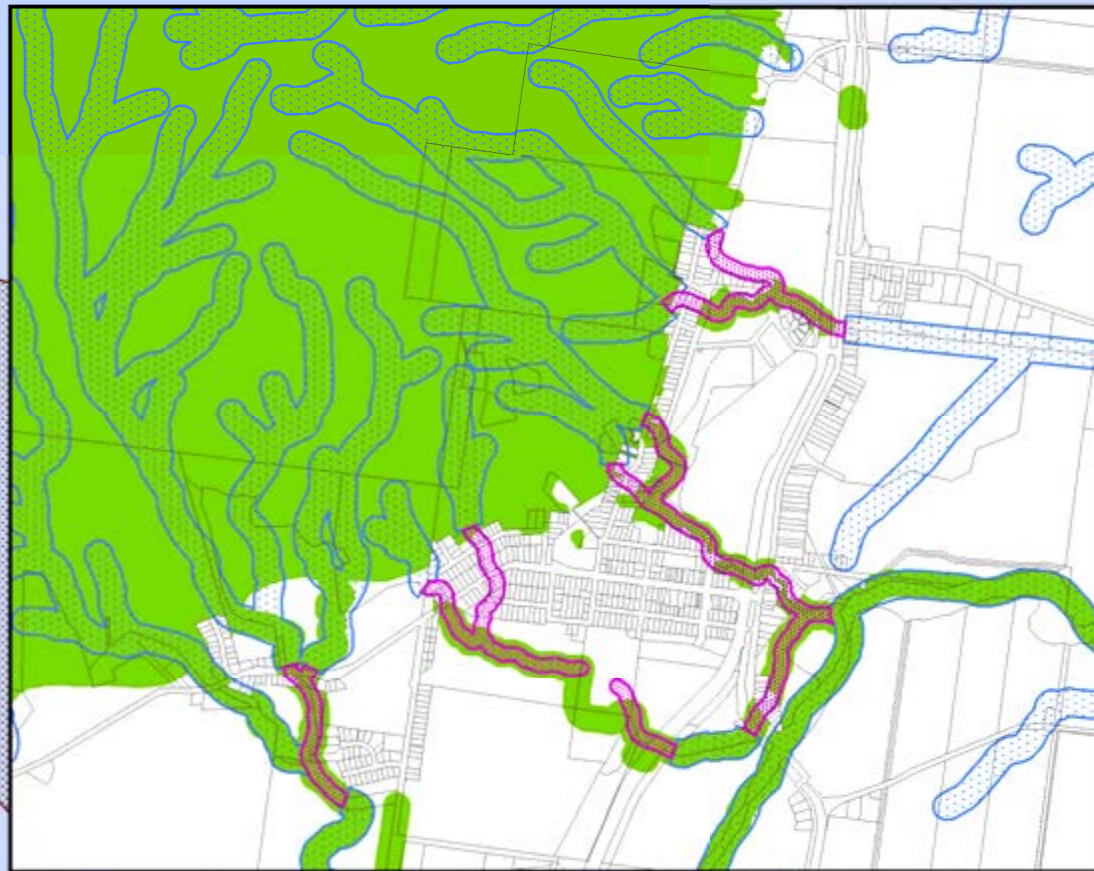




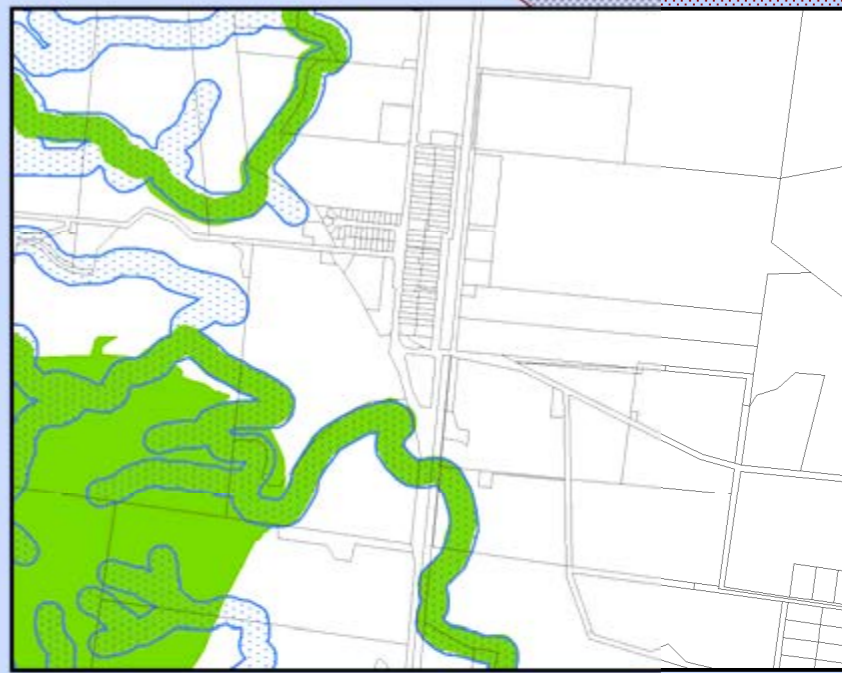
INSERT A - FISHERY FALLS



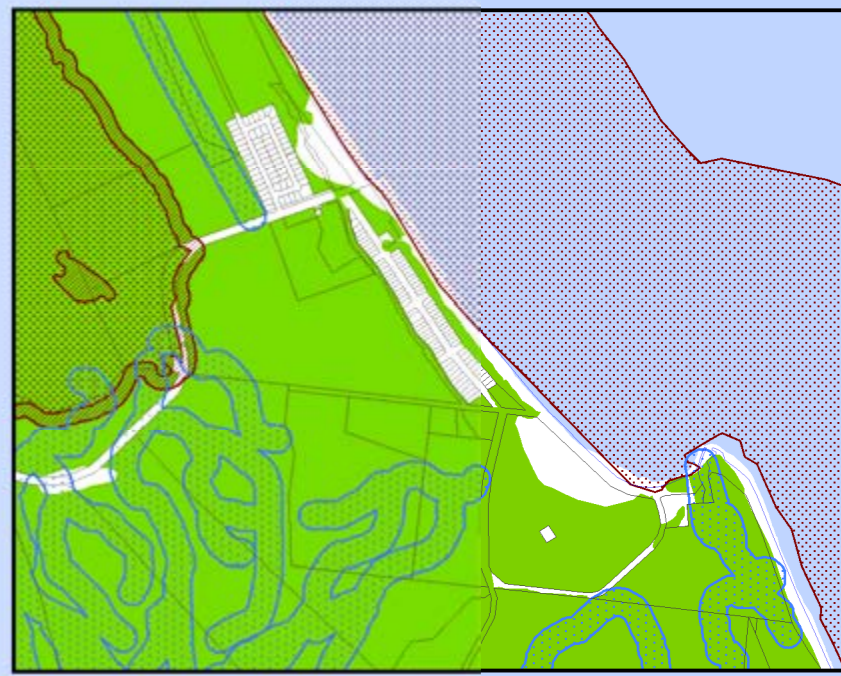
INSERT B - DEERAL



INSERT C - BABINDA



INSERT D - MIRRIWINNI



INSERT E - BRAMSTON BEACH

SEE INSERT A

SEE INSERT B

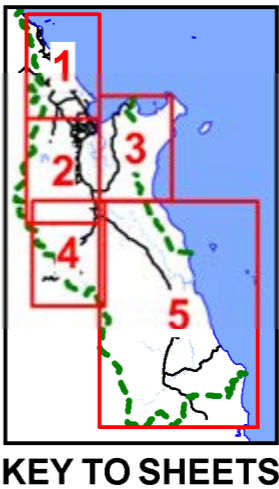
SEE INSERT C

SEE INSERT D

SEE INSERT E

LEGEND

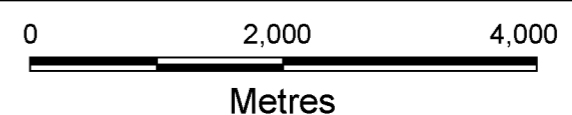
- Biodiversity areas
- Urban waterway 'A' trigger area
- Urban waterway 'B' trigger area
- Non-urban waterway trigger area
- Wetland
- Wetlands trigger area
- Declared fish habitat
- Great Barrier Reef Marine Park



KEY TO SHEETS

Cairns Regional Council
Date 01/03/2016

CAIRNSPLAN2016
One region, many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
NATURAL AREAS OVERLAY



MAP No. OM-11E
Sheet 5 of 5

TABLELANDS
REGIONAL
COUNCIL

CASSOWARY COAST
REGIONAL COUNCIL

GORDONVALE

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

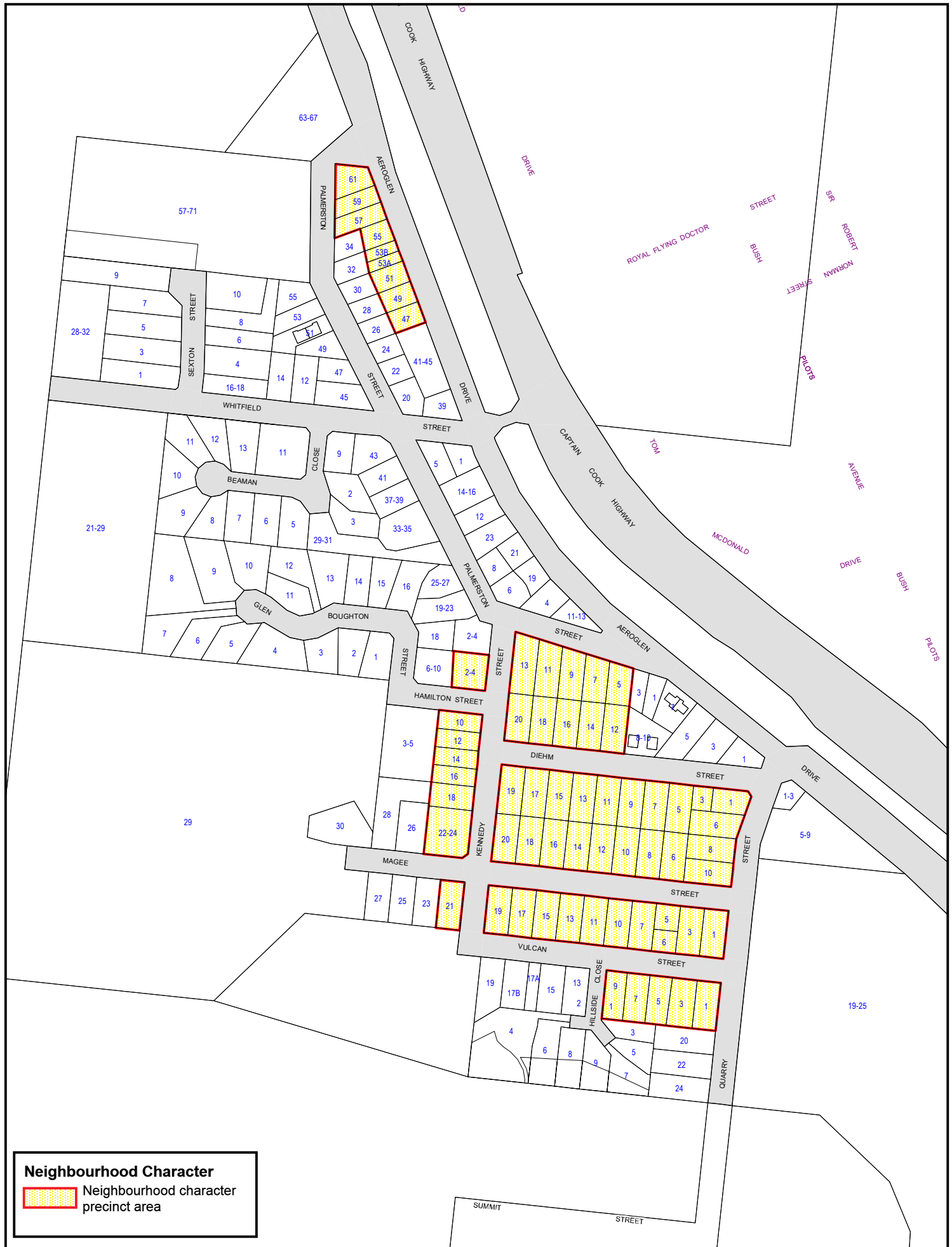
WOOLANMARROO

DEERAL


BABINDA

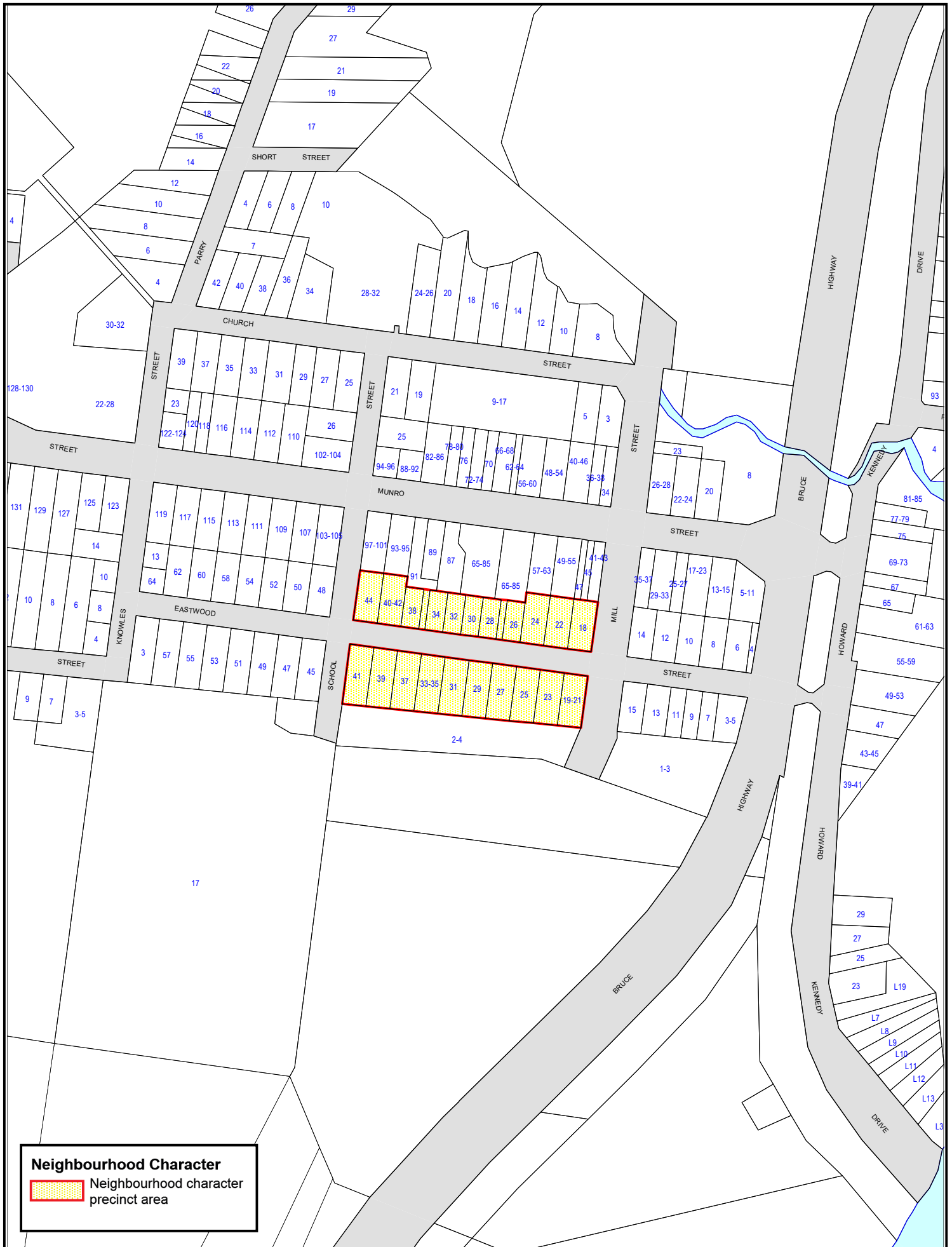
MIRRIWINNI


BRAMSTON
BEACH




Neighbourhood Character

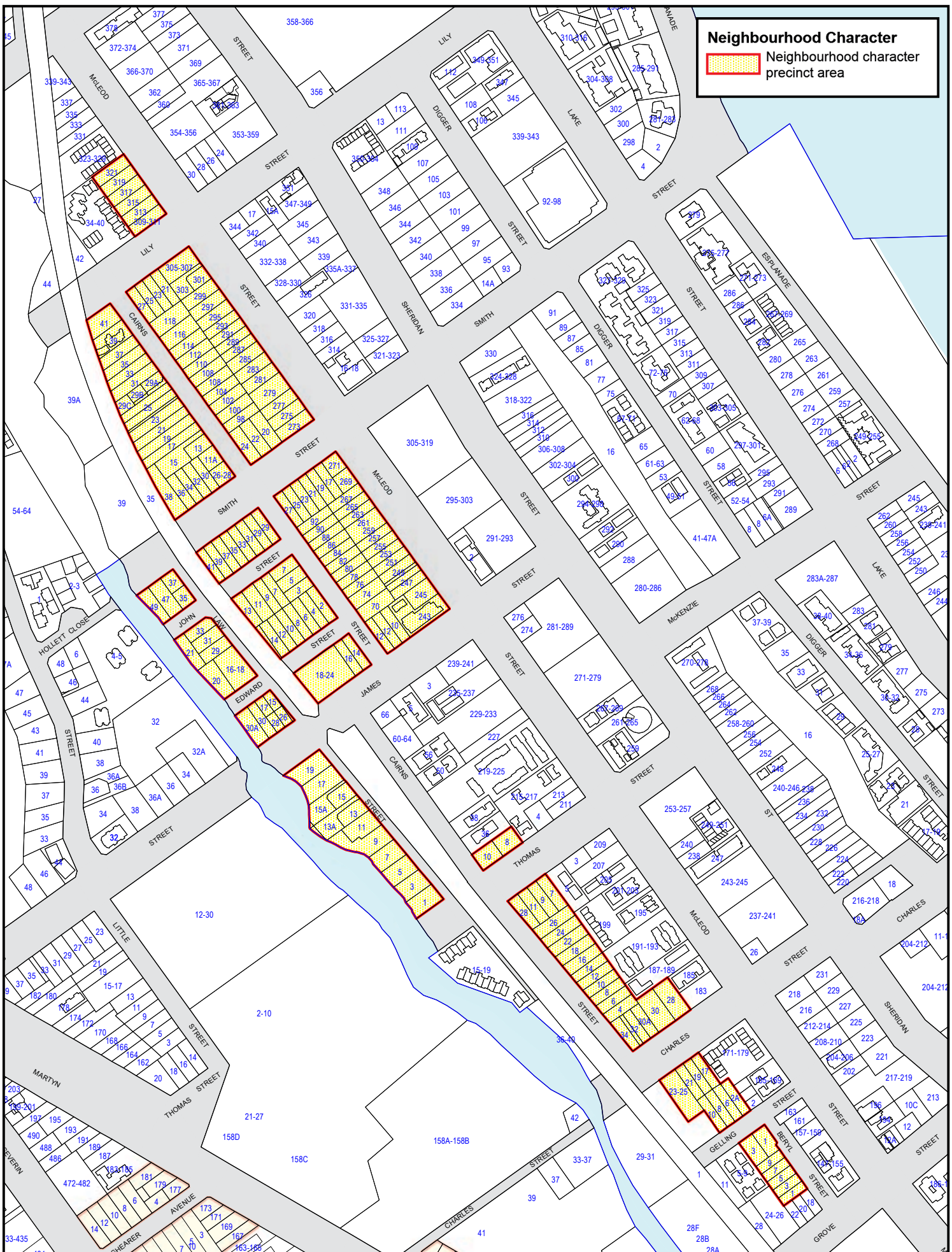
 Neighbourhood character precinct area

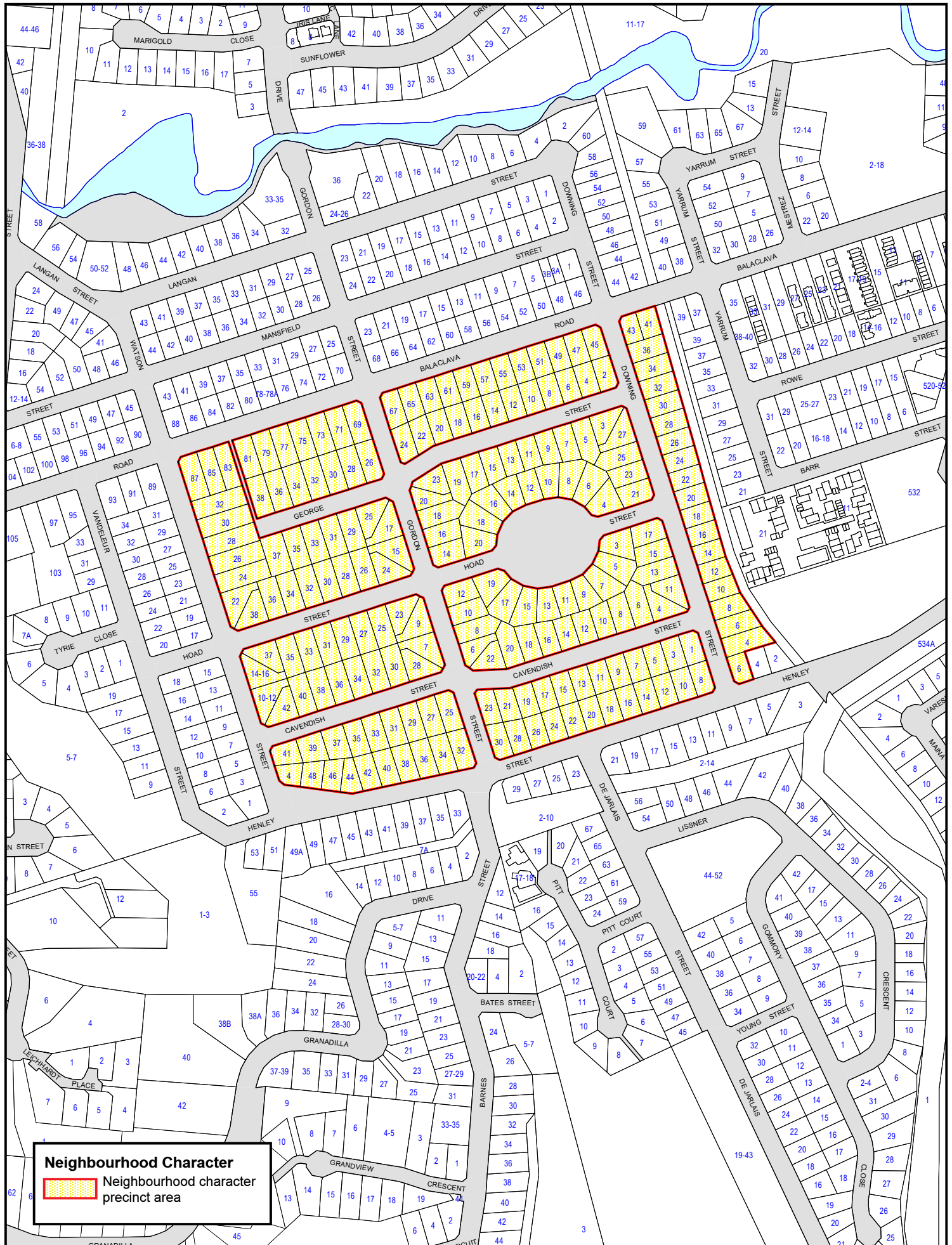



Neighbourhood Character
 Neighbourhood character precinct area

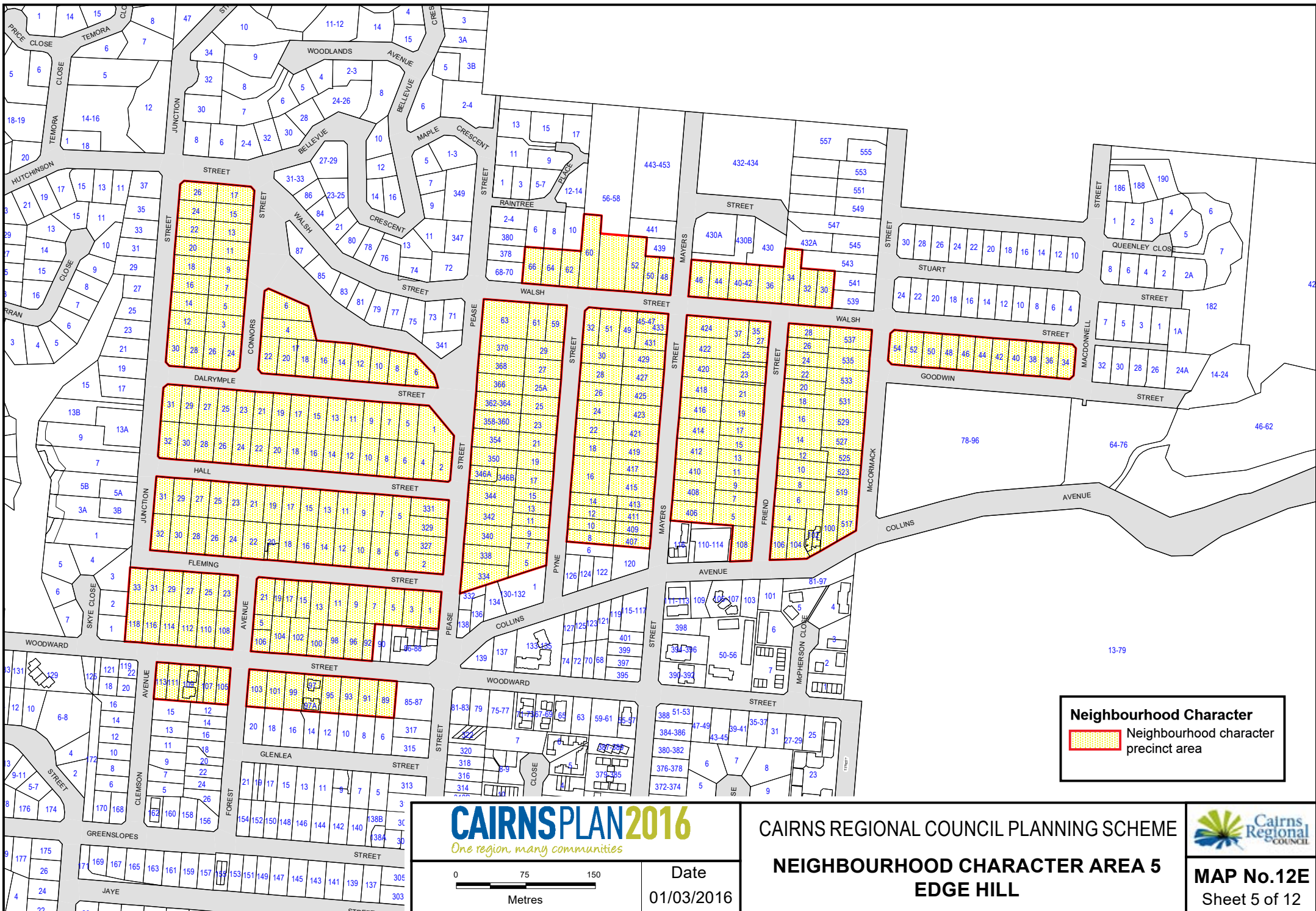
Neighbourhood Character


 Neighbourhood character precinct area





Neighbourhood Character
 Neighbourhood character precinct area



Neighbourhood Character
 Neighbourhood character precinct area


CAIRNS PLAN 2016
One region. many communities

0 75 150
 Metres

Date
 01/03/2016


CAIRNS REGIONAL COUNCIL PLANNING SCHEME

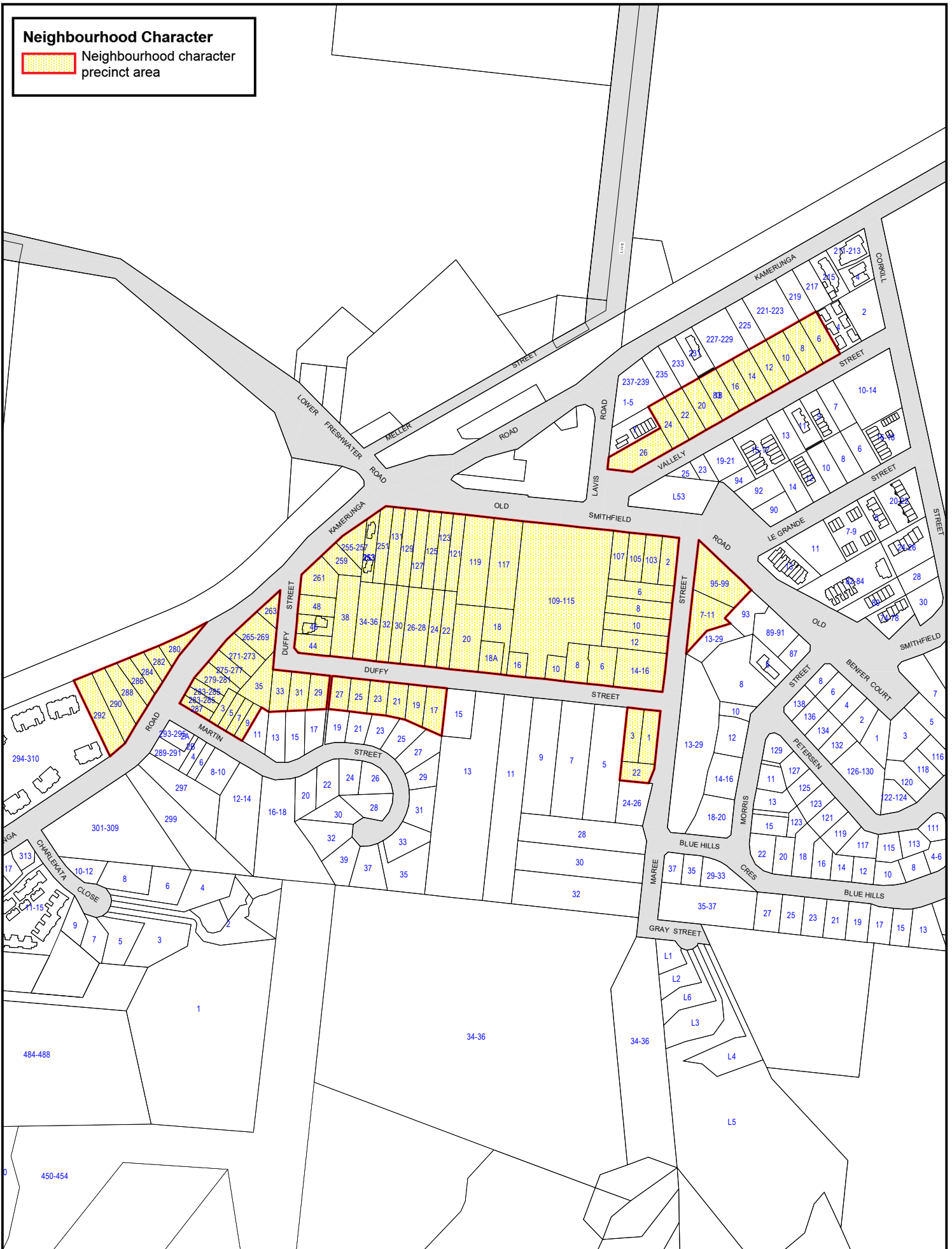
NEIGHBOURHOOD CHARACTER AREA 5
EDGE HILL

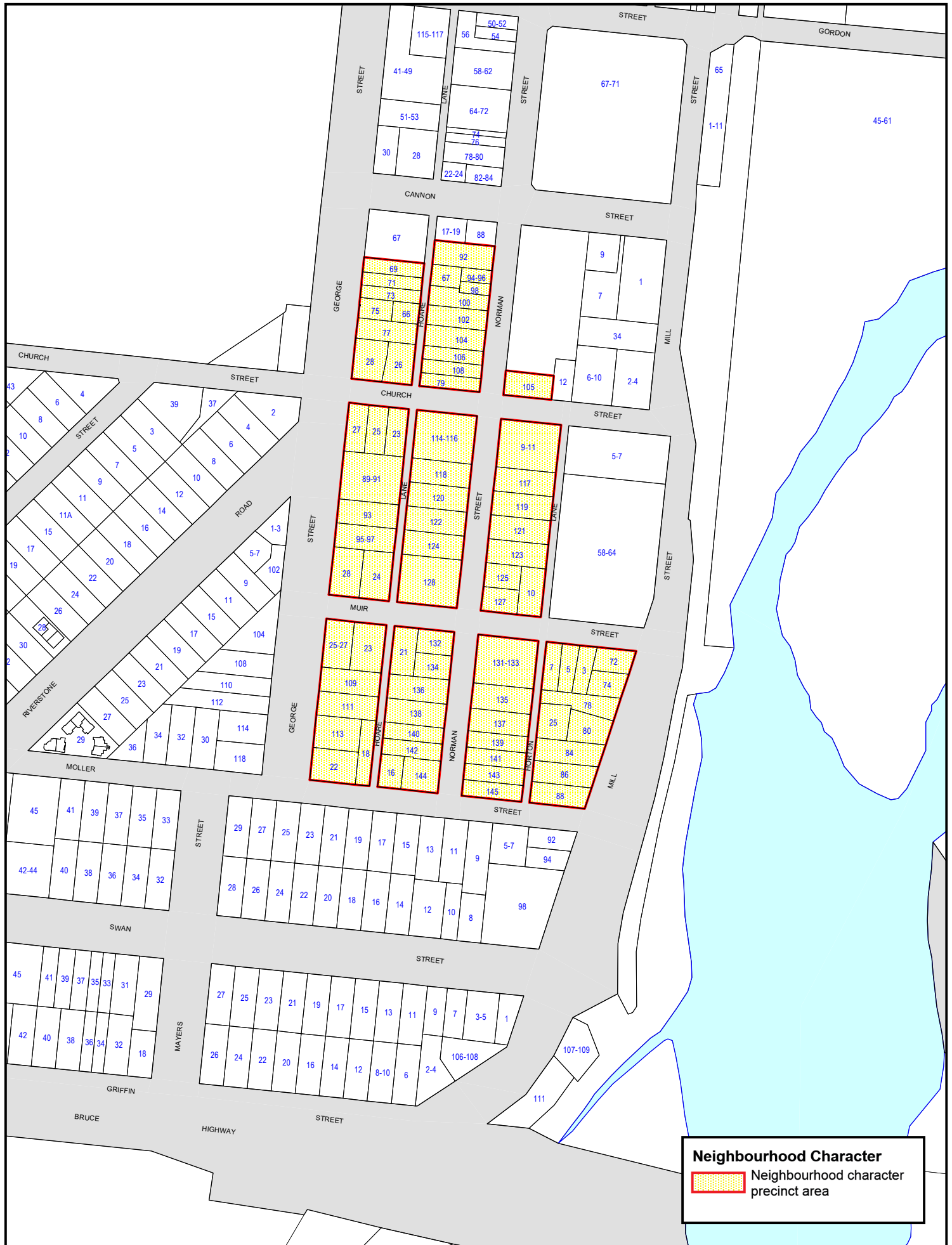


MAP No.12E
 Sheet 5 of 12


Neighbourhood Character

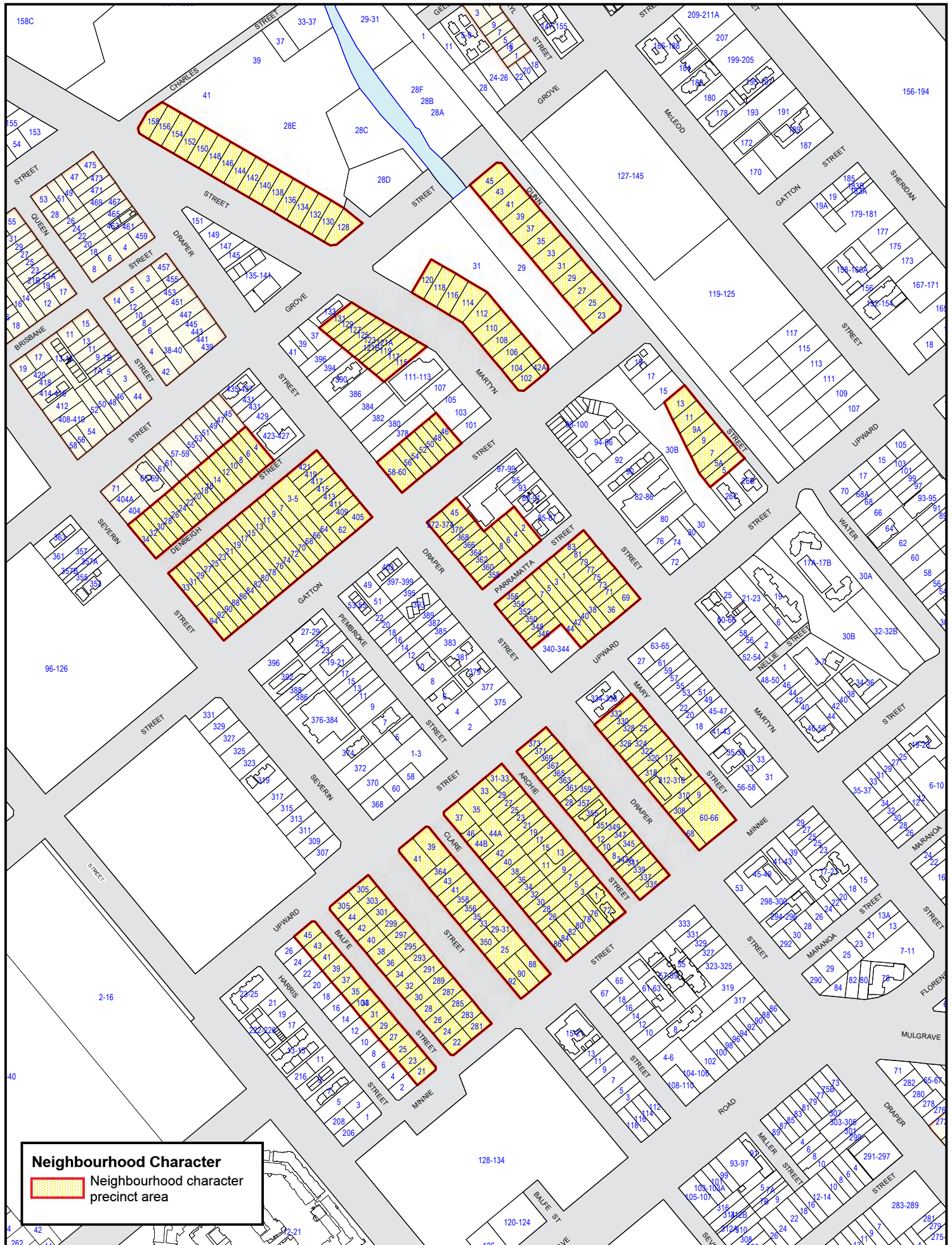
 Neighbourhood character precinct area




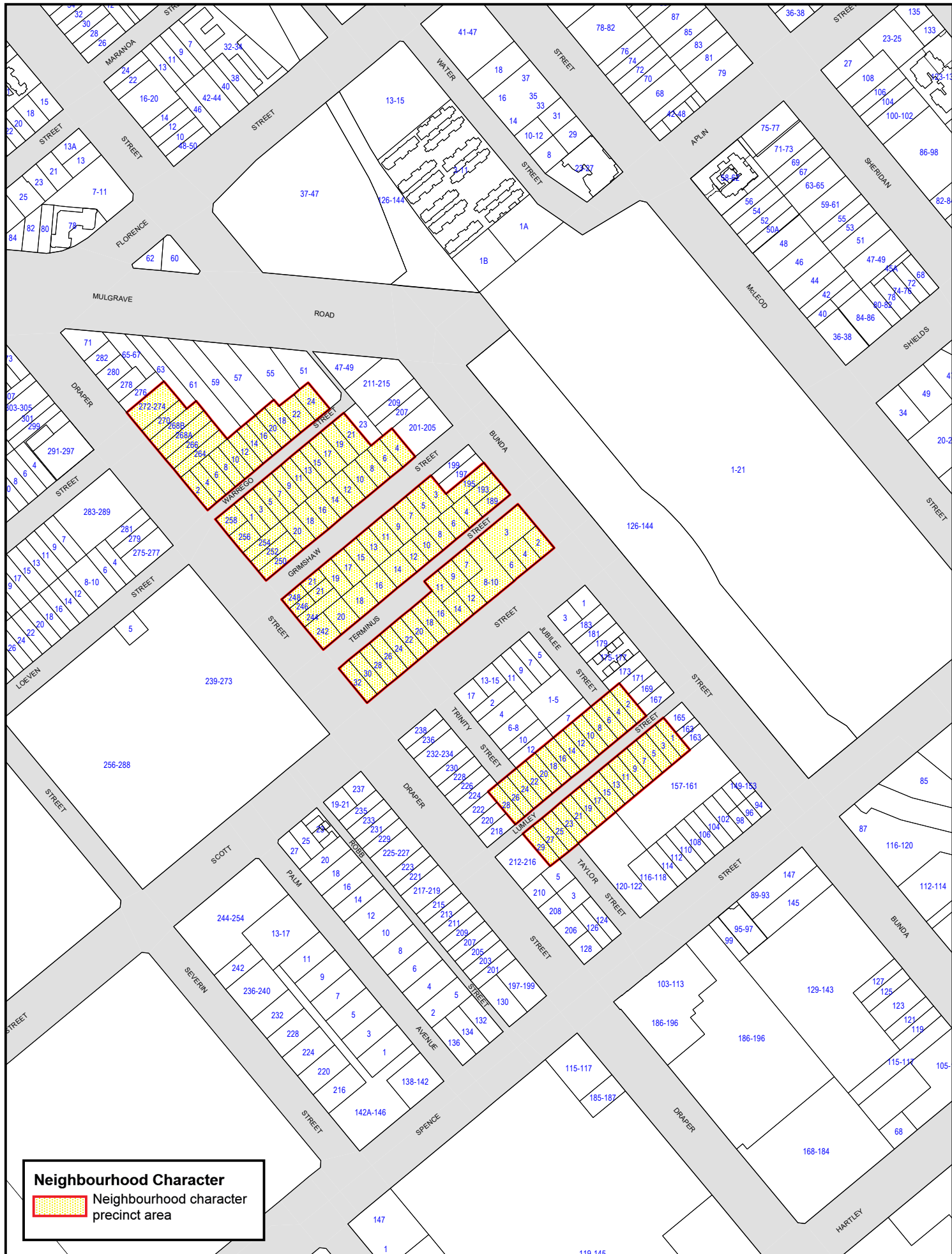



Neighbourhood Character

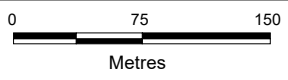
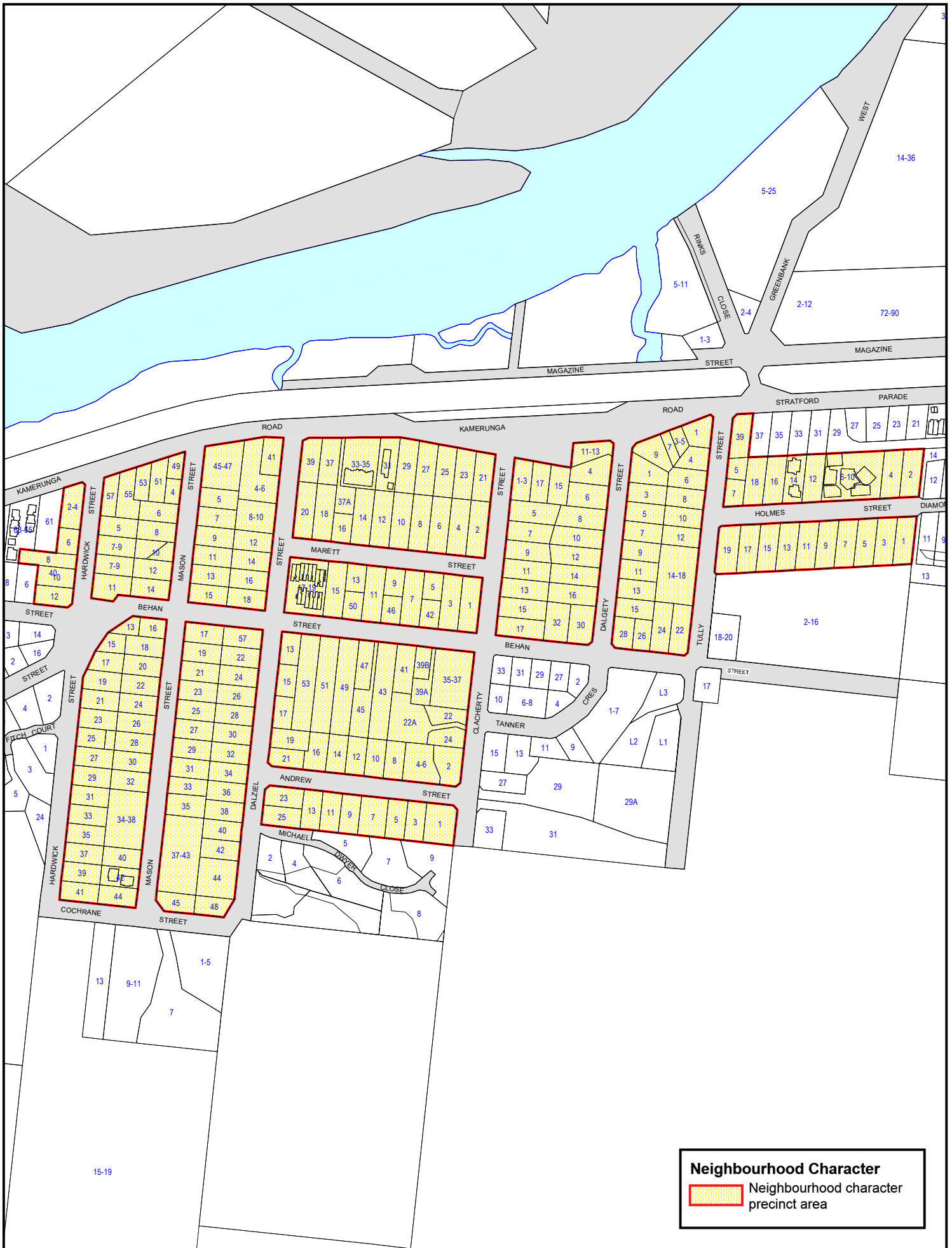
 Neighbourhood character precinct area

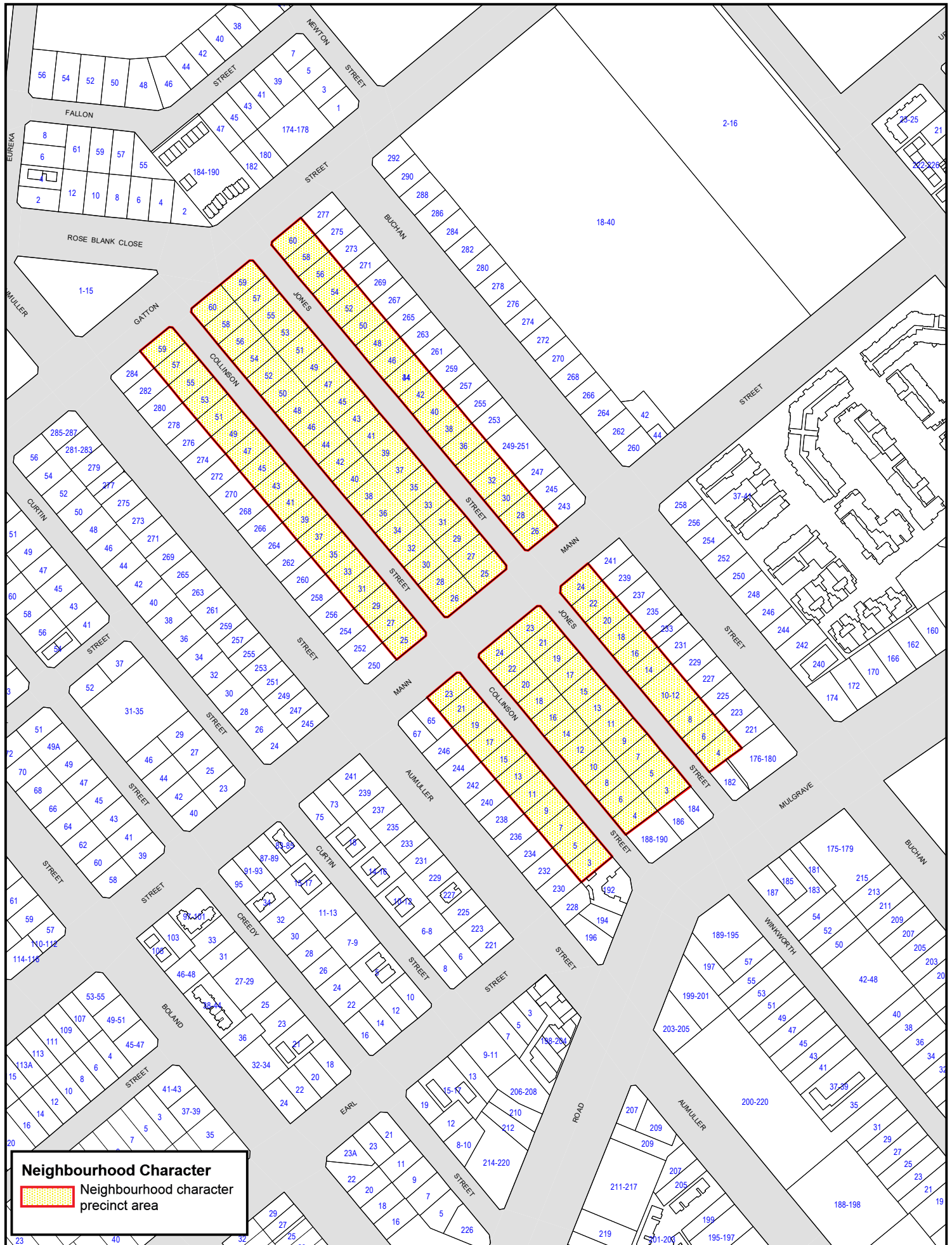



Neighbourhood Character
 Neighbourhood character precinct area

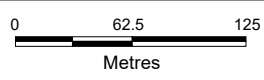


Neighbourhood Character
 Neighbourhood character precinct area





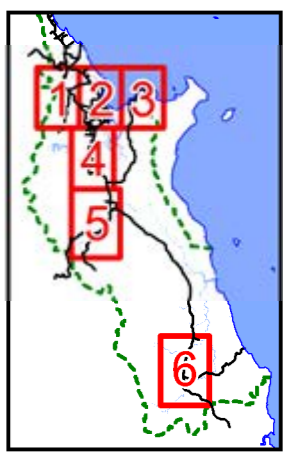
Neighbourhood Character
 Neighbourhood character precinct area



Date
01/03/2016

MAP No.12L
 Sheet 12 of 12

MAREEBA
SHIRE
COUNCIL



KEY TO SHEETS

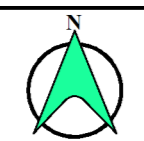
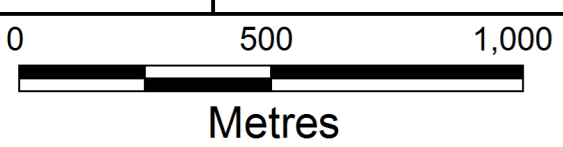


Date 01/03/2016

CAIRNS PLAN 2016

One region, many communities

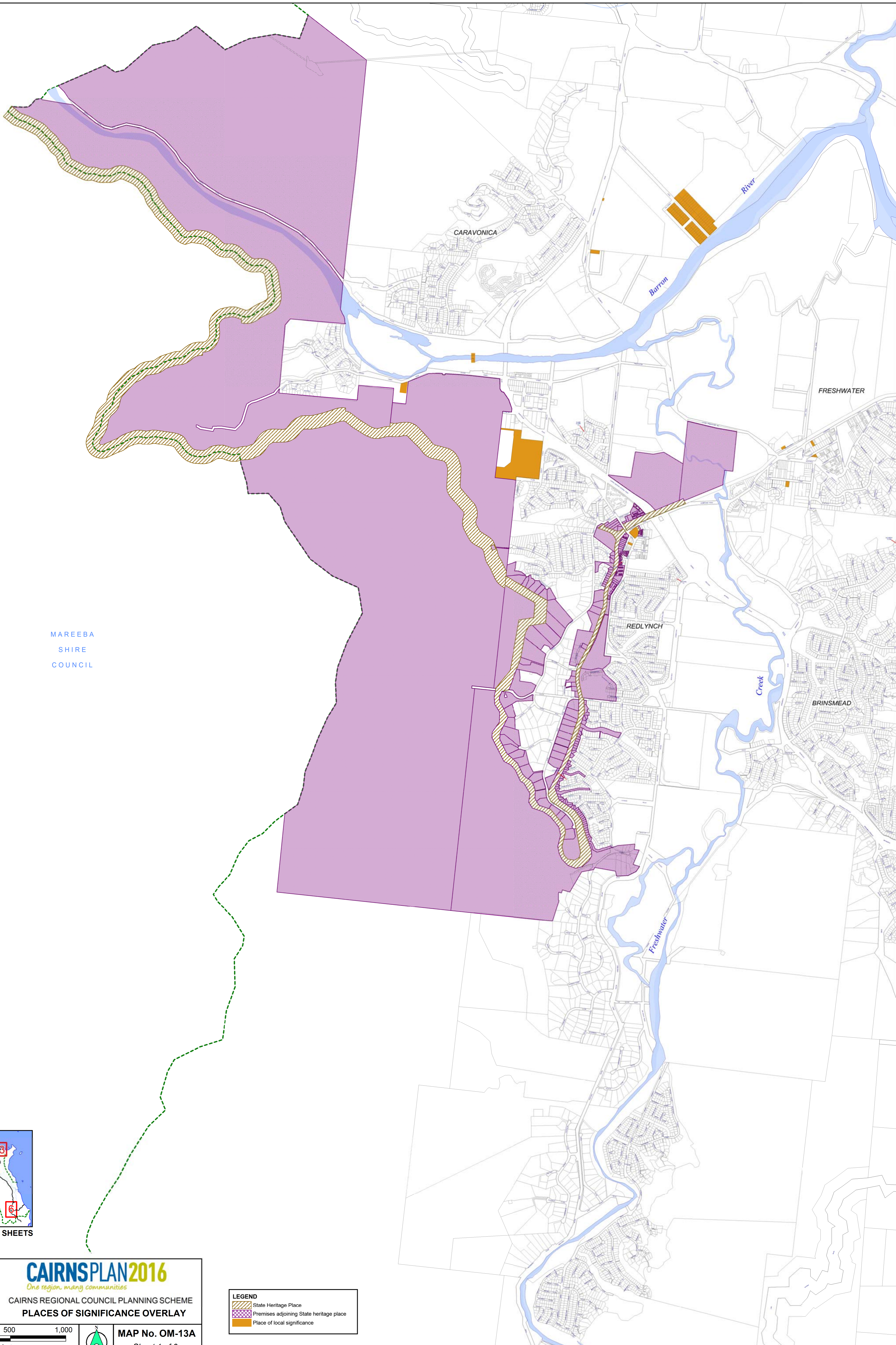
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY

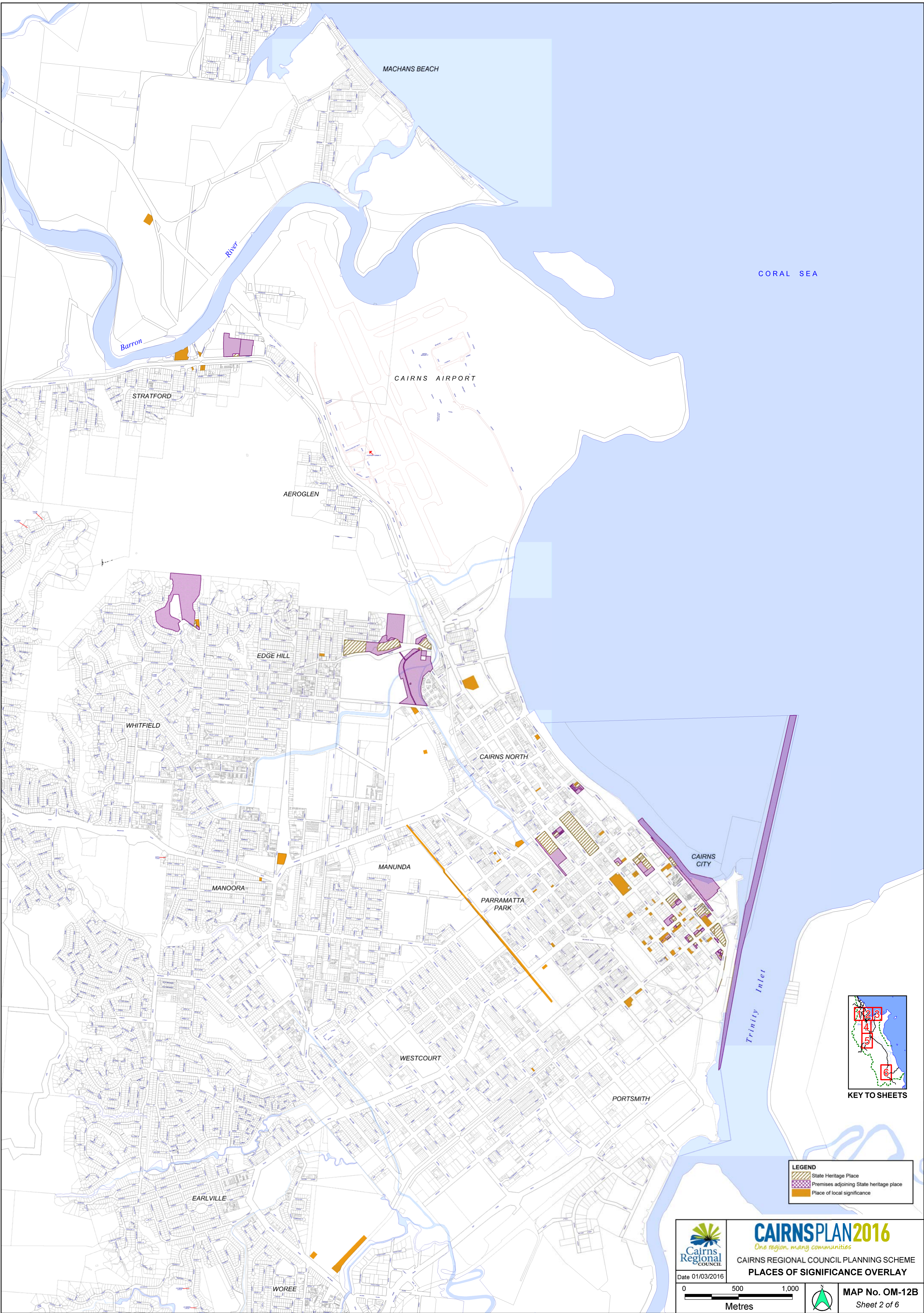


MAP No. OM-13A
Sheet 1 of 6

LEGEND

- State Heritage Place
- Premises adjoining State heritage place
- Place of local significance





MACHANS BEACH

CORAL SEA

Barron River

CAIRNS AIRPORT

STRATFORD

AEROGLEN

EDGE HILL

WHITFIELD

CAIRNS NORTH

CAIRNS CITY

MANUNDA

MANOORA

PARRAMATTA PARK

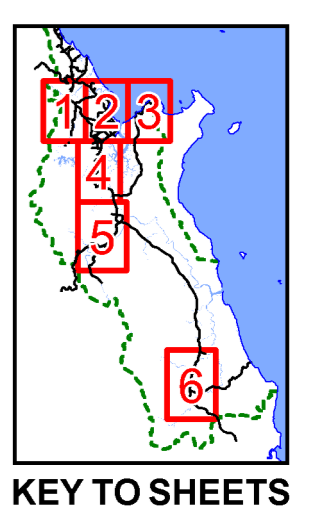
Trinity Inlet

WESTCOURT

PORTSMITH

EARLVILLE

WOREE

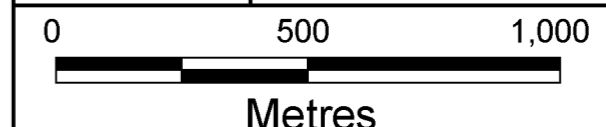


LEGEND	
	State Heritage Place
	Premises adjoining State heritage place
	Place of local significance

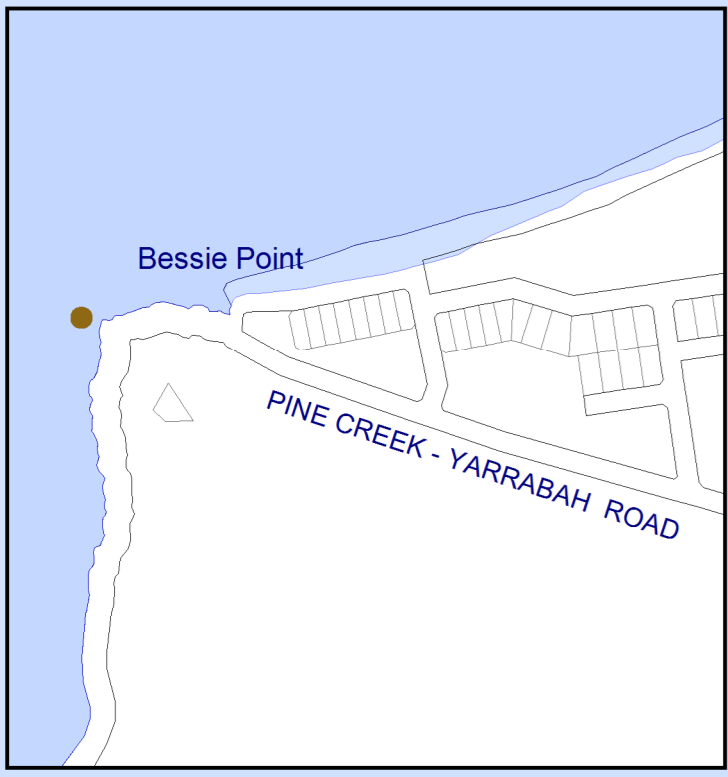


CAIRNSPLAN2016
One region. many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY

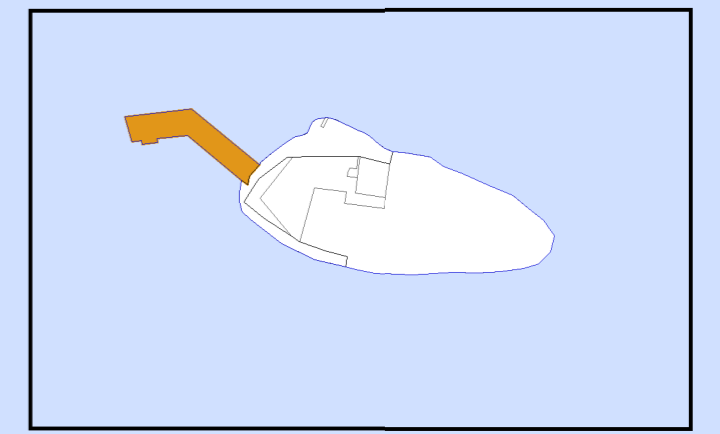
Date 01/03/2016



MAP No. OM-12B
 Sheet 2 of 6



INSERT - BESSIE POINT



INSERT - GREEN ISLAND

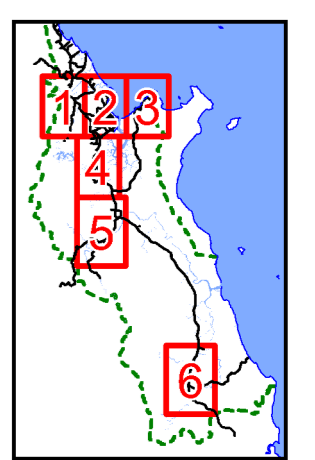
CORAL SEA

FALSE CAPE

EAST TRINITY

SEE BESSIE POINT INSERT

YARRABAH SHIRE COUNCIL



KEY TO SHEETS

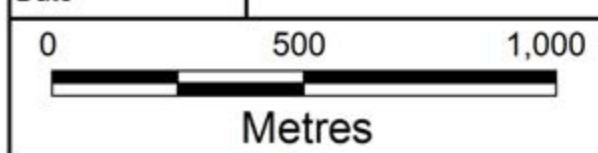
LEGEND	
	State Heritage Place
	Premises adjoining State heritage place
	Place of local significance



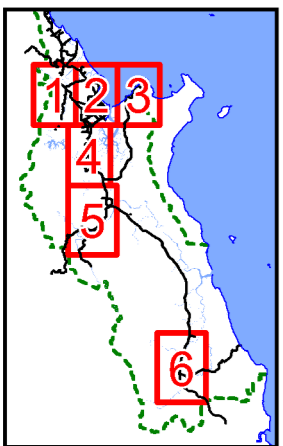
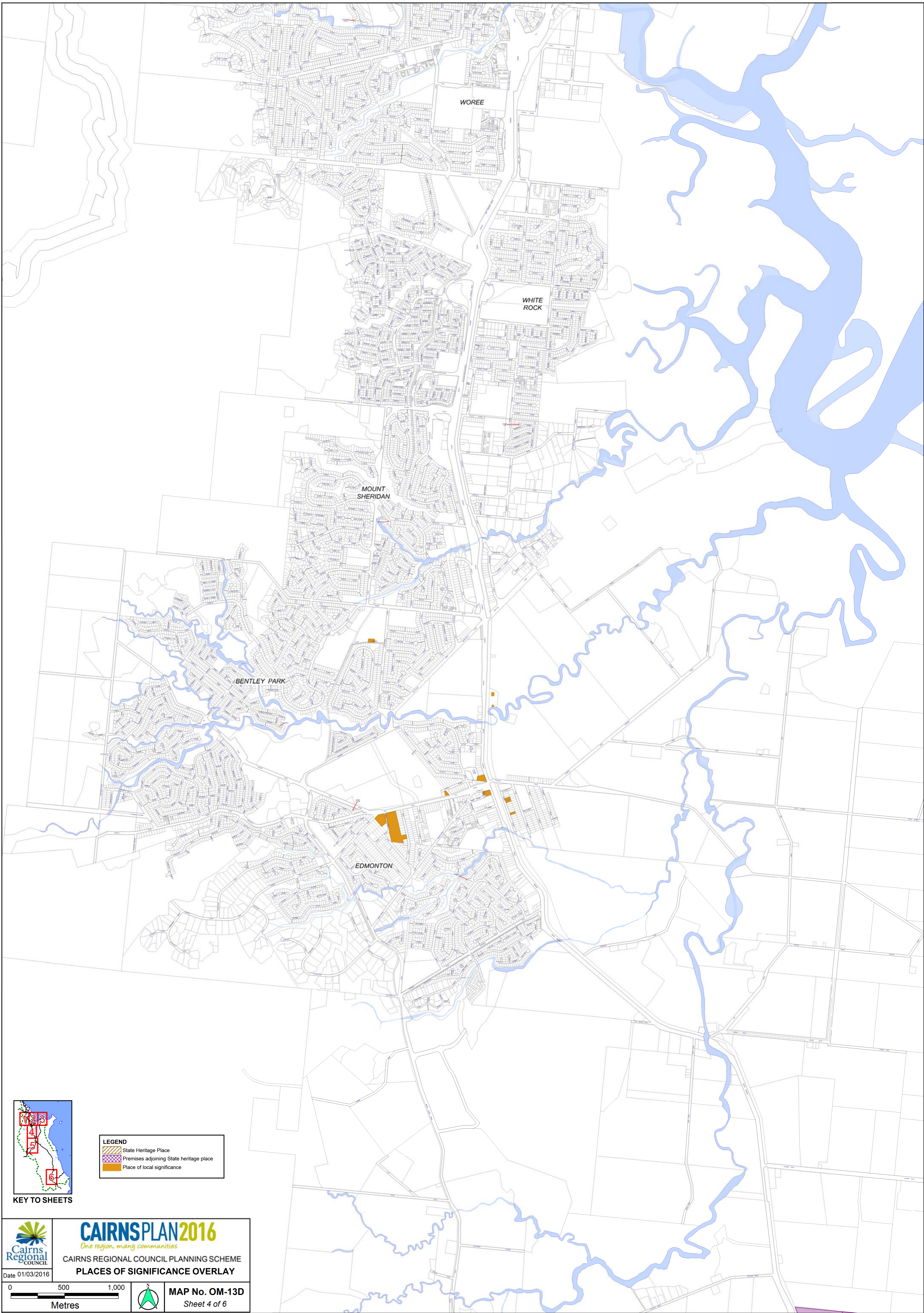
CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY

Date 01/03/2016



MAP No. OM-13C
Sheet 3 of 6



KEY TO SHEETS

LEGEND	
	State Heritage Place
	Premises adjoining State heritage place
	Place of local significance

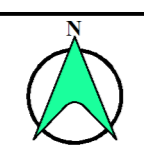
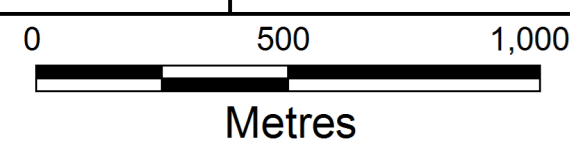


CAIRNSPLAN2016

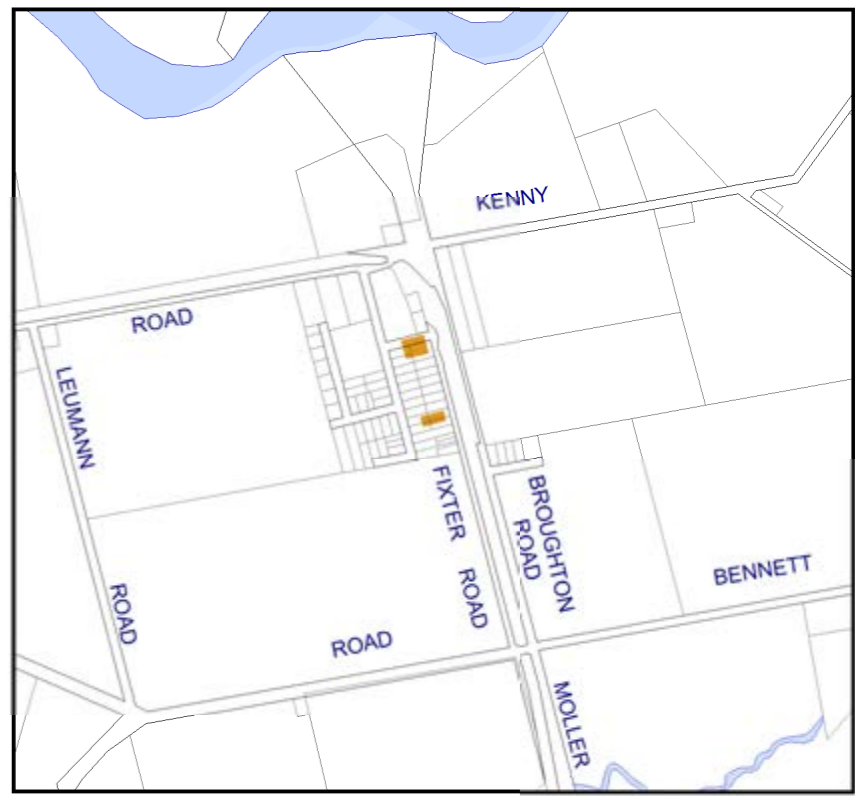
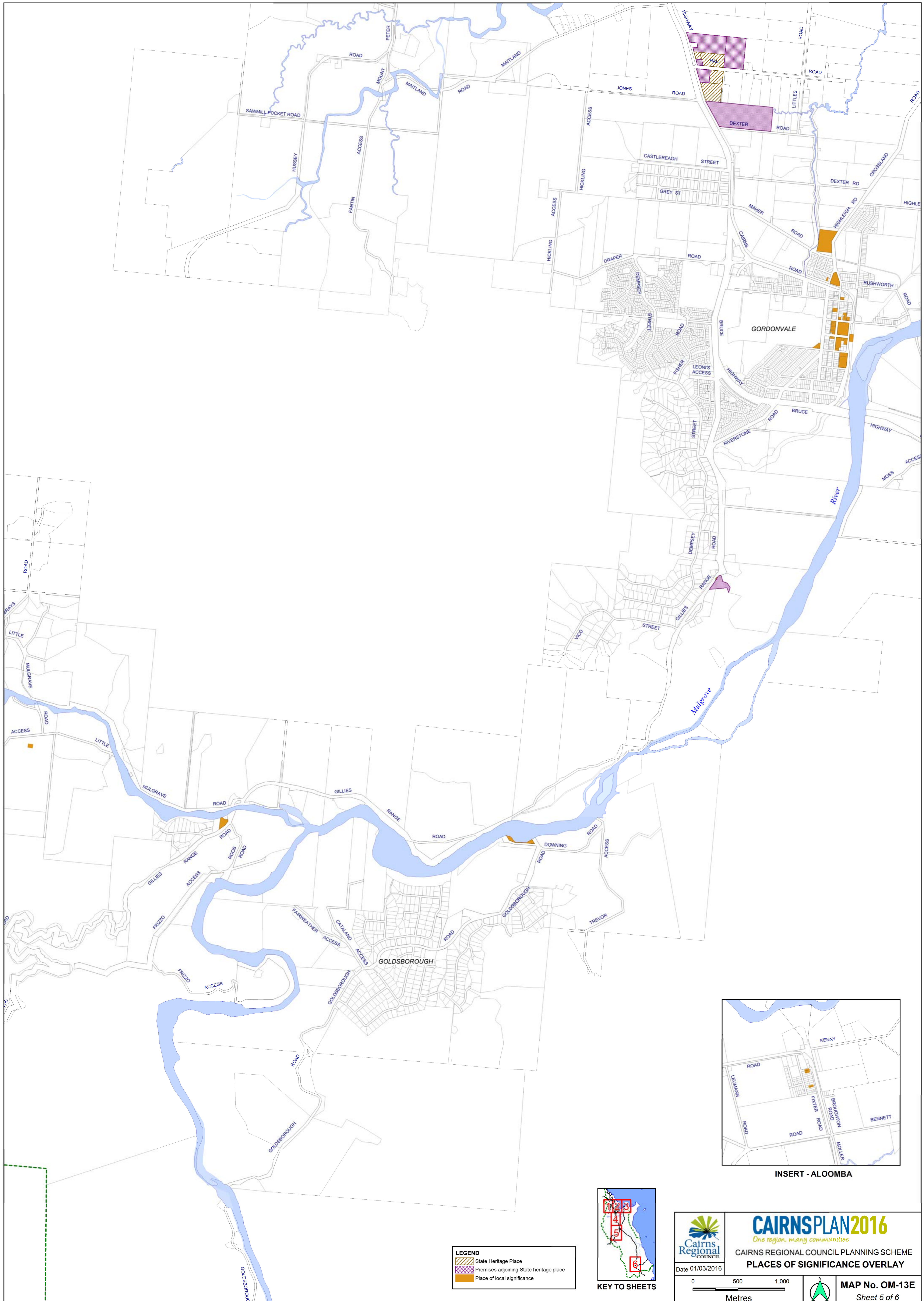
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY

Date 01/03/2016

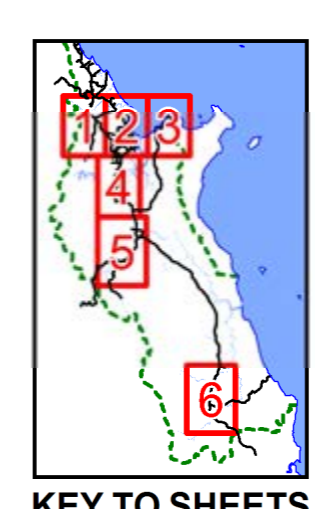


MAP No. OM-13D
Sheet 4 of 6



INSERT - ALOOMBA

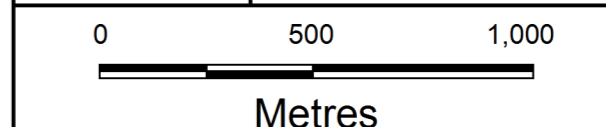
LEGEND	
	State Heritage Place
	Premises adjoining State heritage place
	Place of local significance



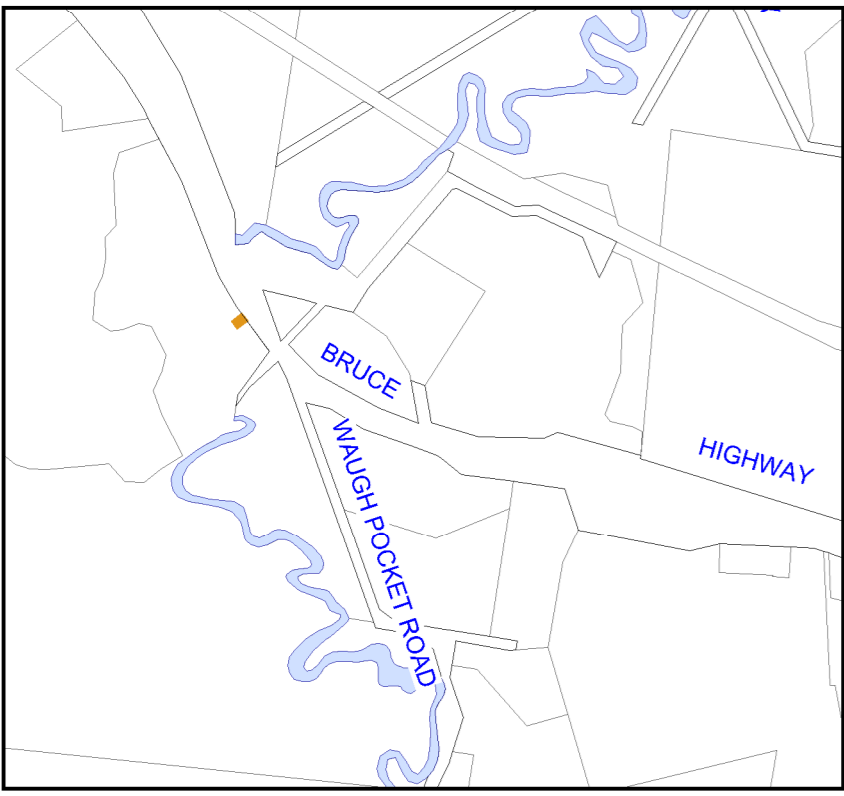
KEY TO SHEETS



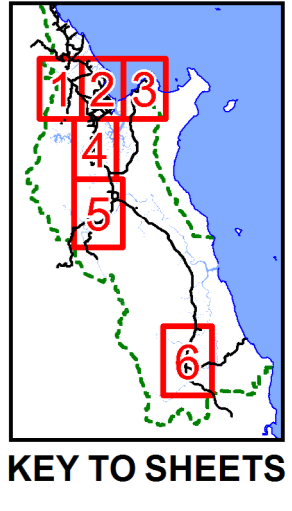
CAIRNSPLAN2016
One region. many communities
 CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY



MAP No. OM-13E
 Sheet 5 of 6




INSERT - WAUGH POCKET



KEY TO SHEETS

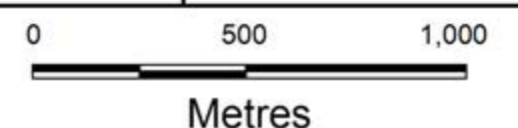
LEGEND	
	State Heritage Place
	Premises adjoining State heritage place
	Place of local significance




CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
PLACES OF SIGNIFICANCE OVERLAY

Date 01/03/2016



0 500 1,000
Metres



MAP No. OM-13F
Sheet 6 of 6

SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

HOLLOWAYS BEACH

MACHANS BEACH

REDLYNCH

TRINITY
INLET



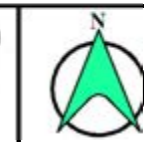
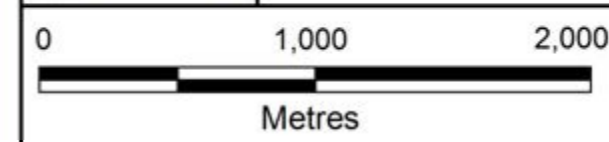
CAIRNSPLAN2016

One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

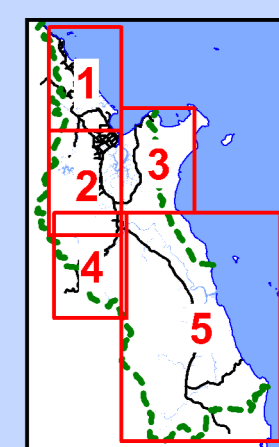
POTENTIAL LANDSLIP HAZARD OVERLAY

Date 01/03/2016

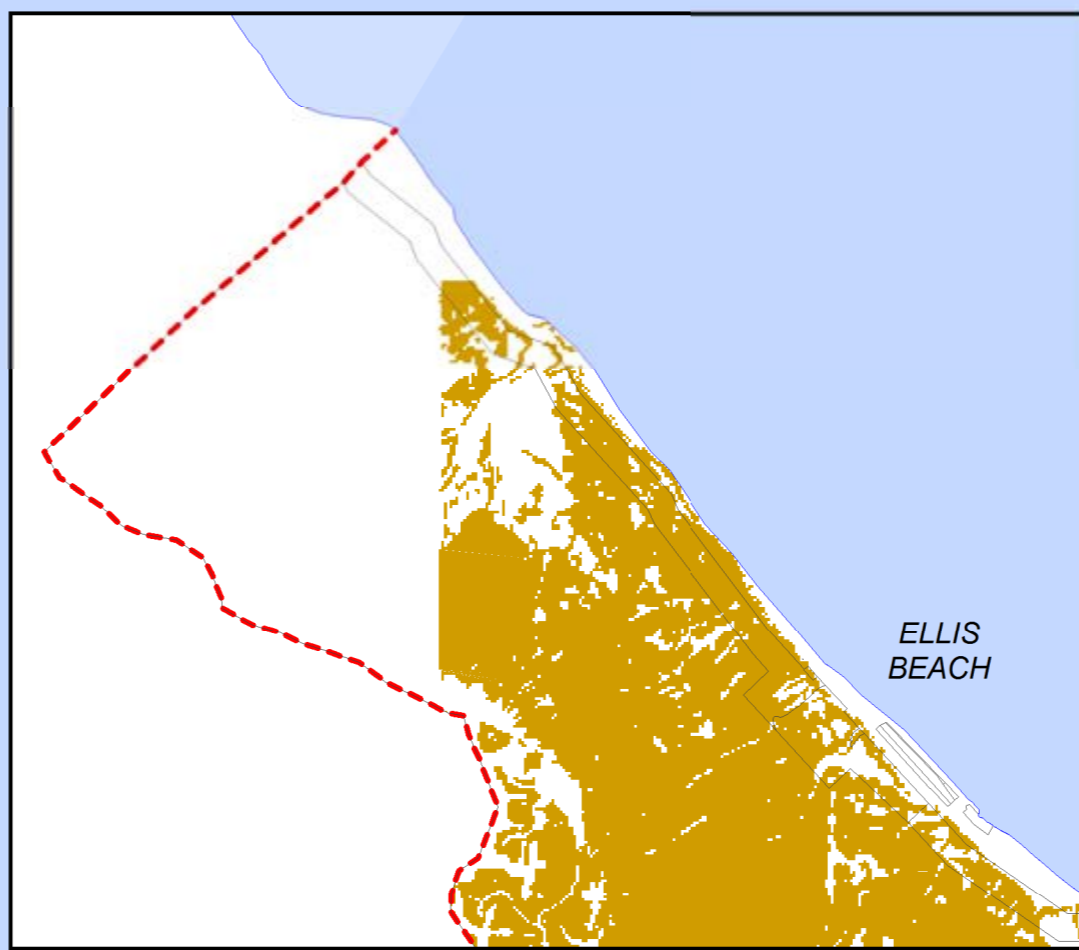


MAP No. OM-14A
Sheet 1 of 5

LEGEND
Potential landslip hazard area



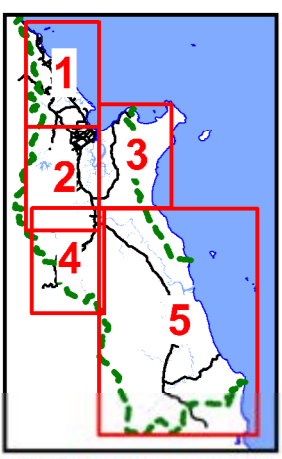
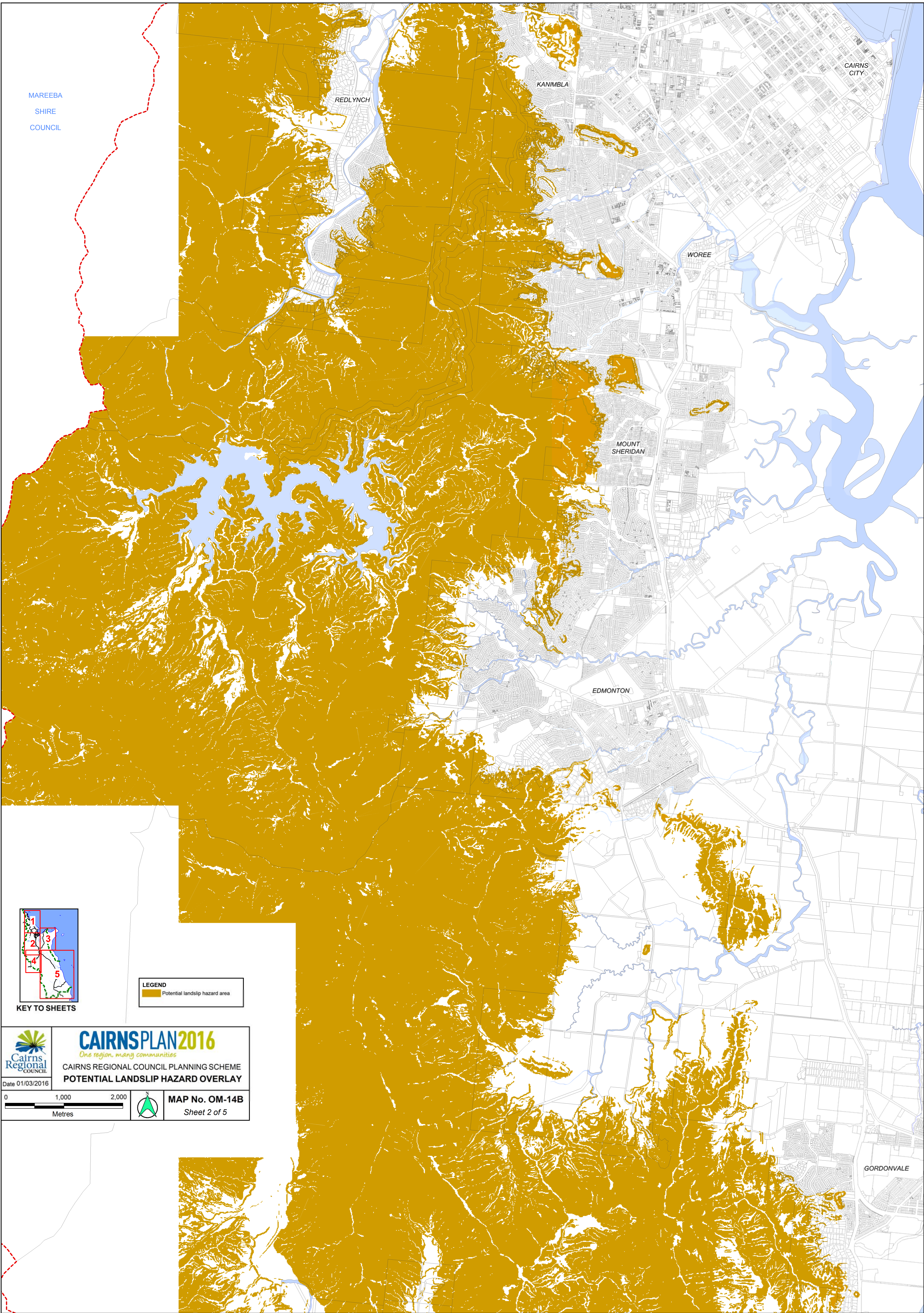
INSERT



MAREEBA
SHIRE
COUNCIL

CORAL
SEA

MAREEBA
SHIRE
COUNCIL



KEY TO SHEETS

LEGEND
Potential landslip hazard area

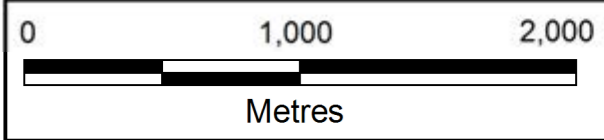


CAIRNSPLAN2016

One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
POTENTIAL LANDSLIP HAZARD OVERLAY

Date 01/03/2016



MAP No. OM-14B
Sheet 2 of 5

GORDONVALE



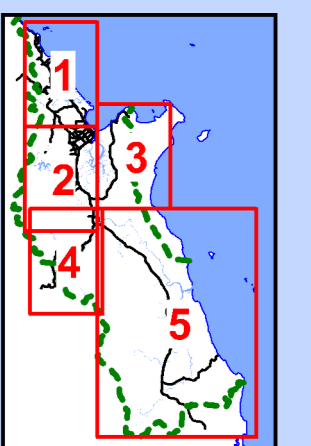
TRINITY
INLET

EAST
TRINITY

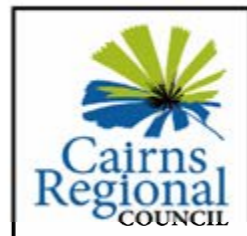
YARRABAH
SHIRE
COUNCIL

CORAL
SEA

LEGEND
Potential landslide hazard area



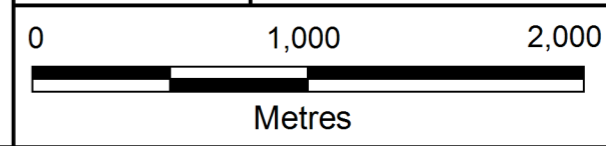
KEY TO SHEETS



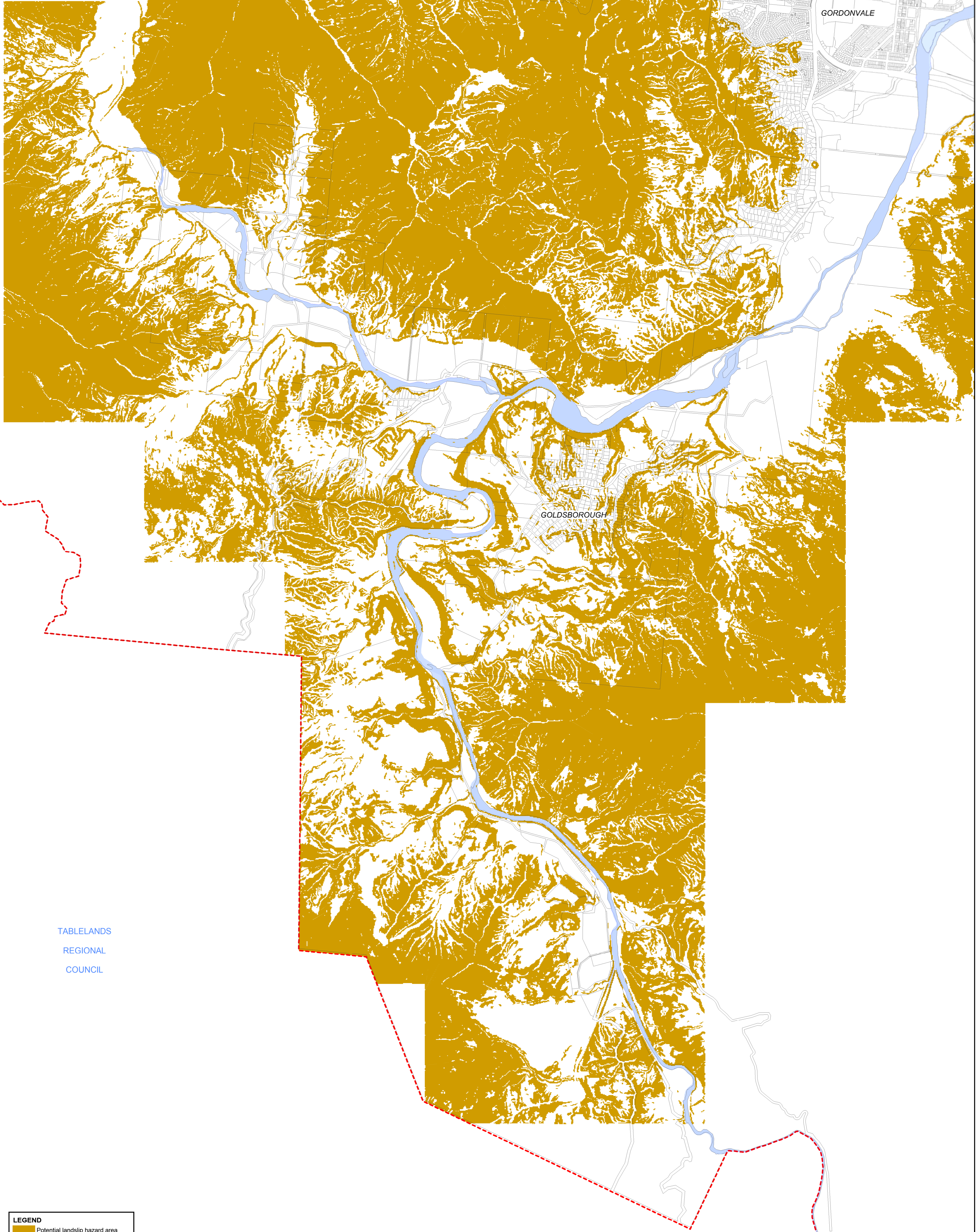
Date 01/03/2016

CAIRNSPLAN2016
One region. many communities

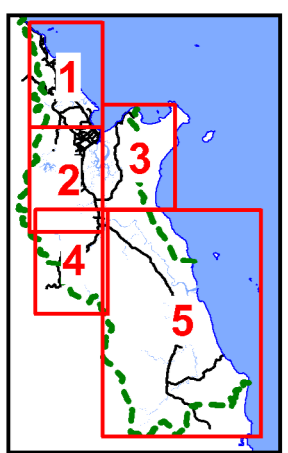
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
POTENTIAL LANDSLIP HAZARD OVERLAY




MAP No. OM-14C
Sheet 3 of 5

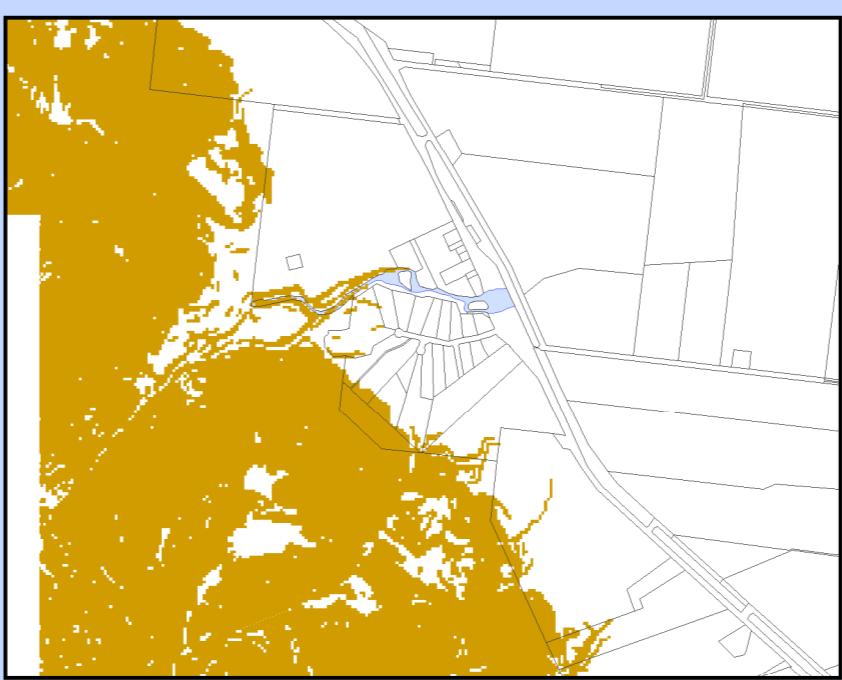
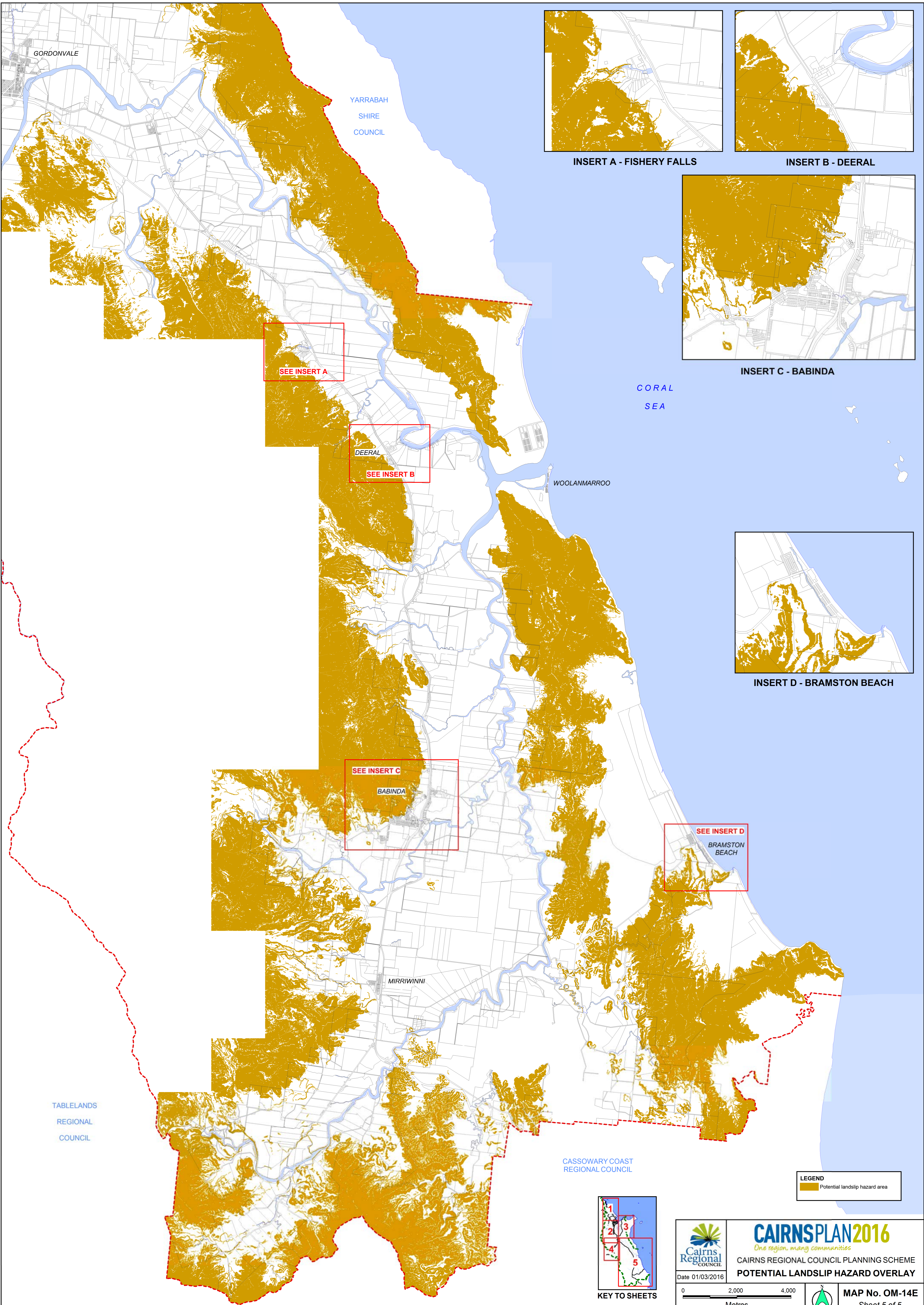


TABLELANDS
REGIONAL
COUNCIL

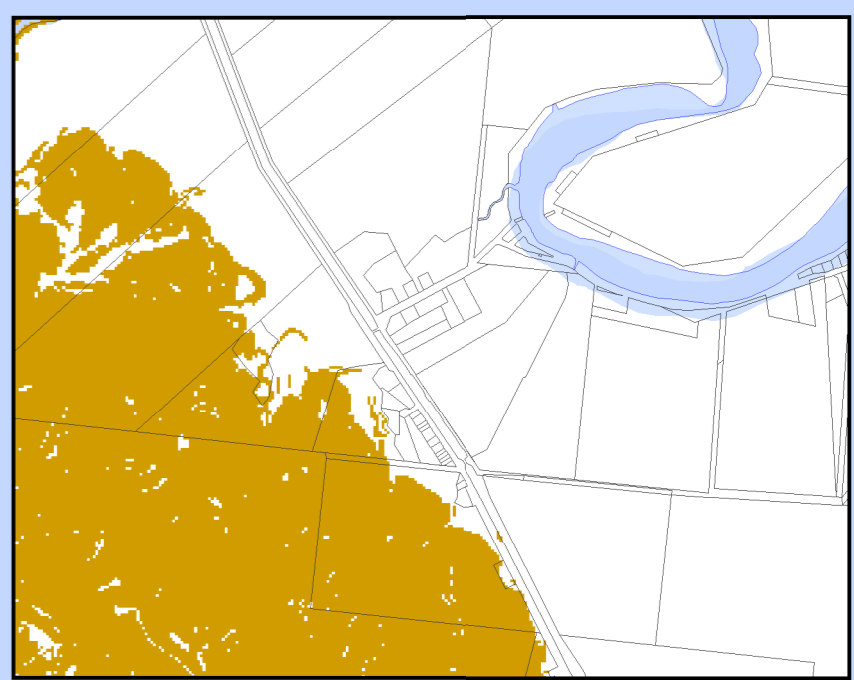


KEY TO SHEETS

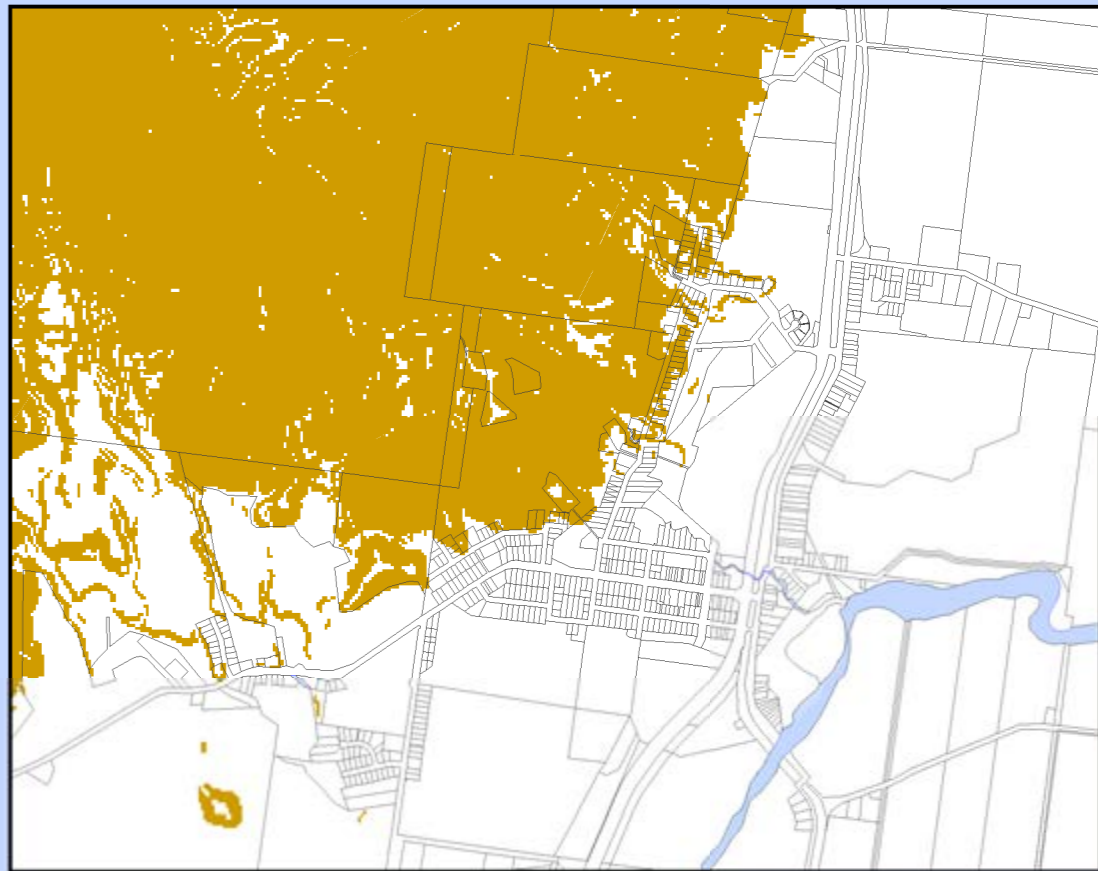
LEGEND
 Potential landslide hazard area



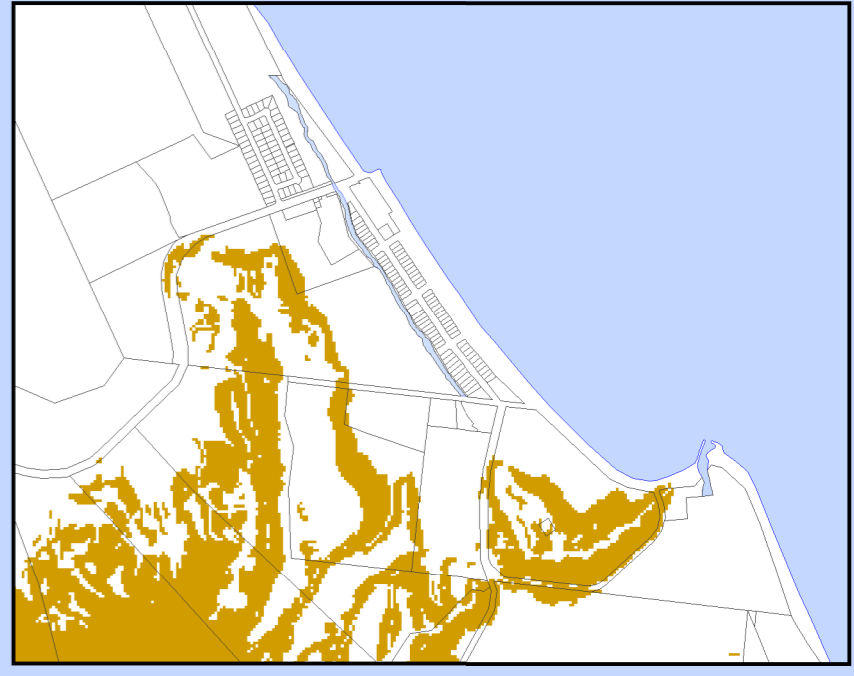
INSERT A - FISHERY FALLS



INSERT B - DEERAL



INSERT C - BABINDA



INSERT D - BRAMSTON BEACH

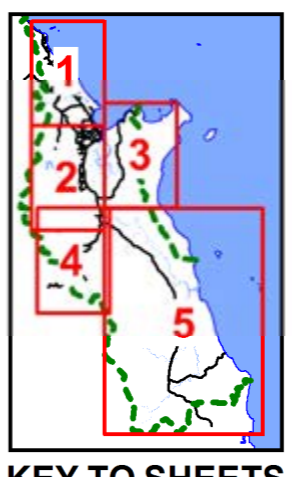
SEE INSERT A

DEERAL
SEE INSERT B

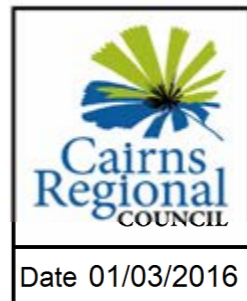
SEE INSERT C
BABINDA

SEE INSERT D
BRAMSTON BEACH

LEGEND
Potential landslip hazard area



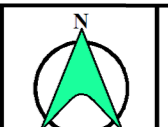
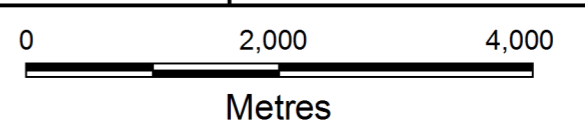
KEY TO SHEETS



CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
POTENTIAL LANDSLIP HAZARD OVERLAY

Date 01/03/2016



MAP No. OM-14E
Sheet 5 of 5

GORDONVALE

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

WOOLANMARROO

DEERAL

BABINDA

BRAMSTON
BEACH

MIRRIWINNI

TABLELANDS
REGIONAL
COUNCIL

CASSOWARY COAST
REGIONAL COUNCIL

SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND

PALM COVE

CLIFTON BEACH

TRINITY BEACH

YORKEYS KNOB

SMITHFIELD

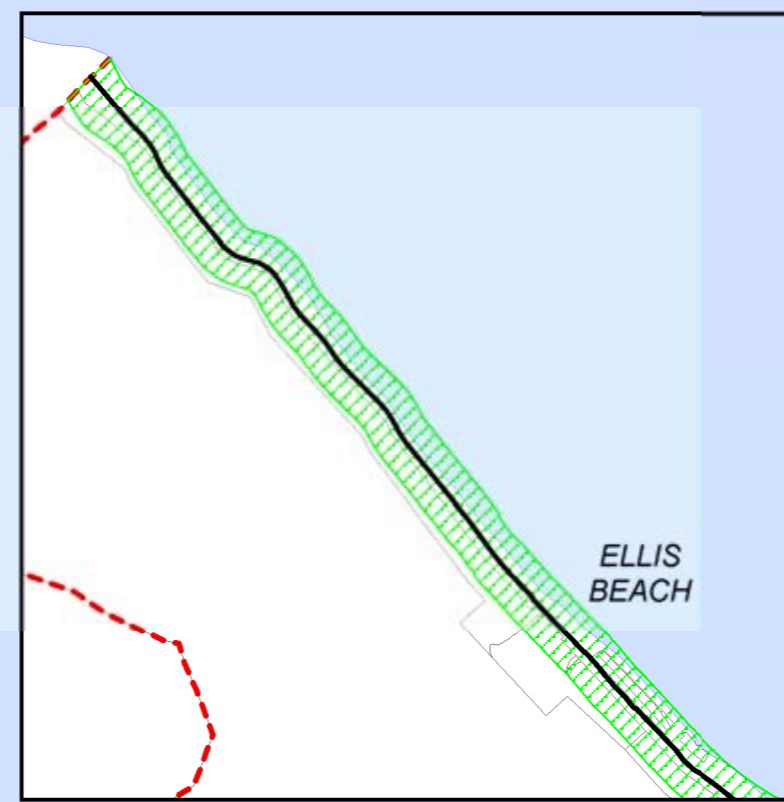
HOLLOWAYS BEACH

CORAL
SEA

MACHANS BEACH

REDLYNCH

TRINITY
INLET



INSERT

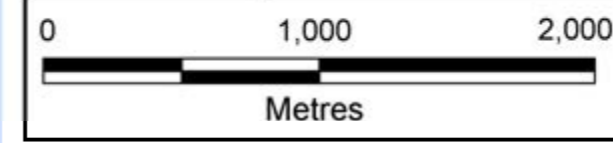


CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

**TRANSPORT NETWORK OVERLAY
ROAD HIERARCHY**

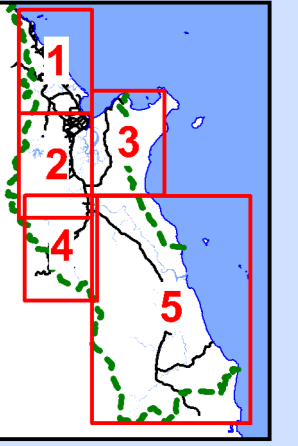
Date 01/03/2016



MAP No. OM-15A
Sheet 1 of 5

LEGEND

- State Controlled Road
- Future State Controlled Road
- Sub Arterial Road
- Future Sub Arterial Road
- Collector Road
- Future Collector Road
- Access Road
- Future Access Road
- Industrial Road
- Major Rural Road
- Future Major Rural Road
- Minor Rural Road
- Future Minor Rural Road
- Unformed Road
- ▨ Major transport corridor buffer area



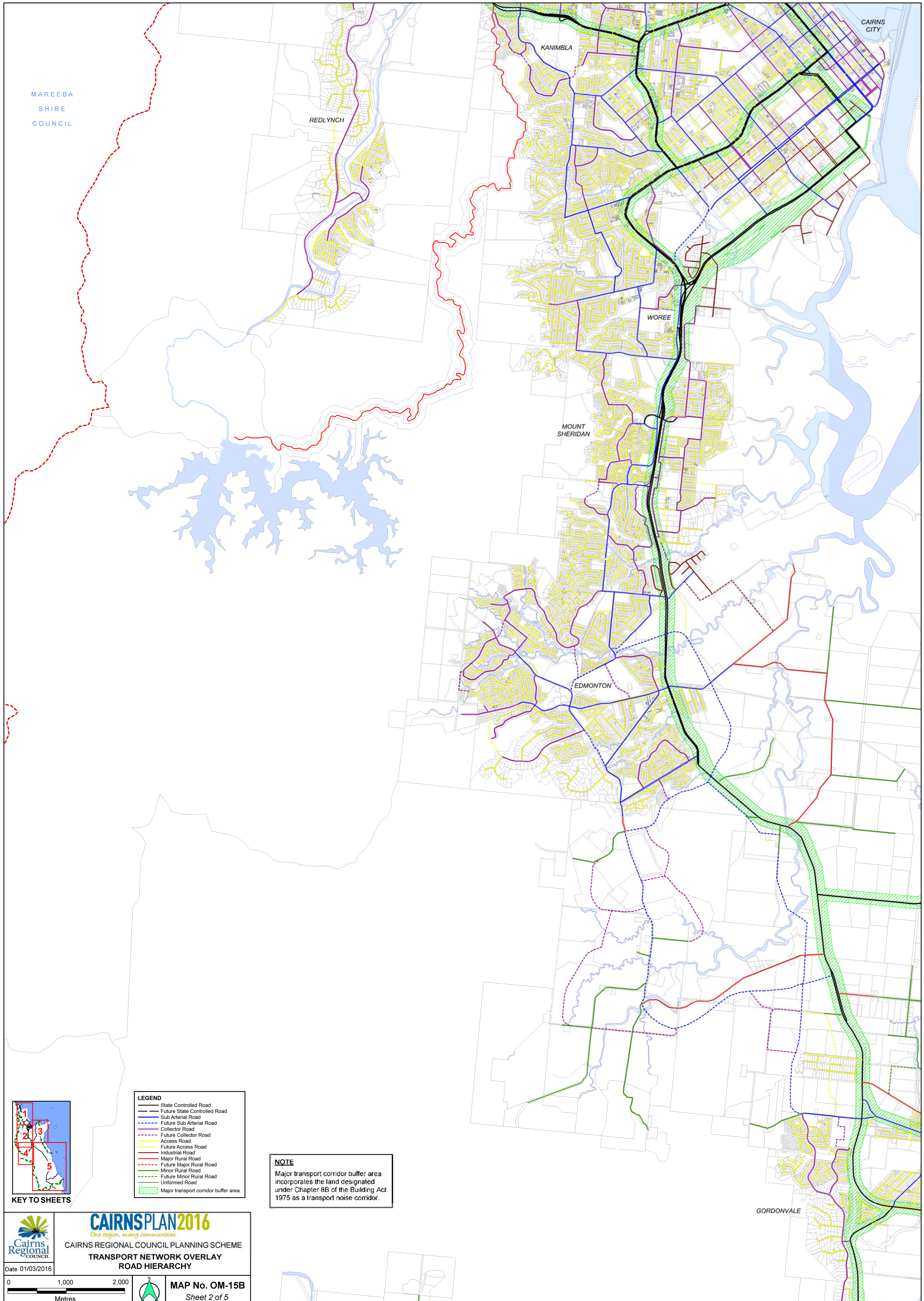
KEY TO SHEETS

NOTE

Major transport corridor buffer area incorporates the land designated under Chapter 8B of the Building Act 1975 as a transport noise corridor.

MAREEBA
SHIRE
COUNCIL

MAREEBA
SHIRE
COUNCIL



CAIRNS
CITY

KANIMBLA

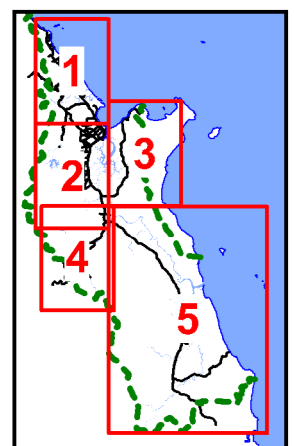
REDLYNCH

WOREE

MOUNT
SHERIDAN

EDMONTON

GORDONVALE



KEY TO SHEETS

LEGEND	
	State Controlled Road
	Future State Controlled Road
	Sub Arterial Road
	Future Sub Arterial Road
	Collector Road
	Future Collector Road
	Access Road
	Future Access Road
	Industrial Road
	Major Rural Road
	Future Major Rural Road
	Minor Rural Road
	Future Minor Rural Road
	Unformed Road
	Major transport corridor buffer area

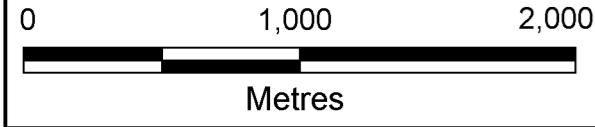
NOTE
Major transport corridor buffer area incorporates the land designated under Chapter 8B of the Building Act 1975 as a transport noise corridor.



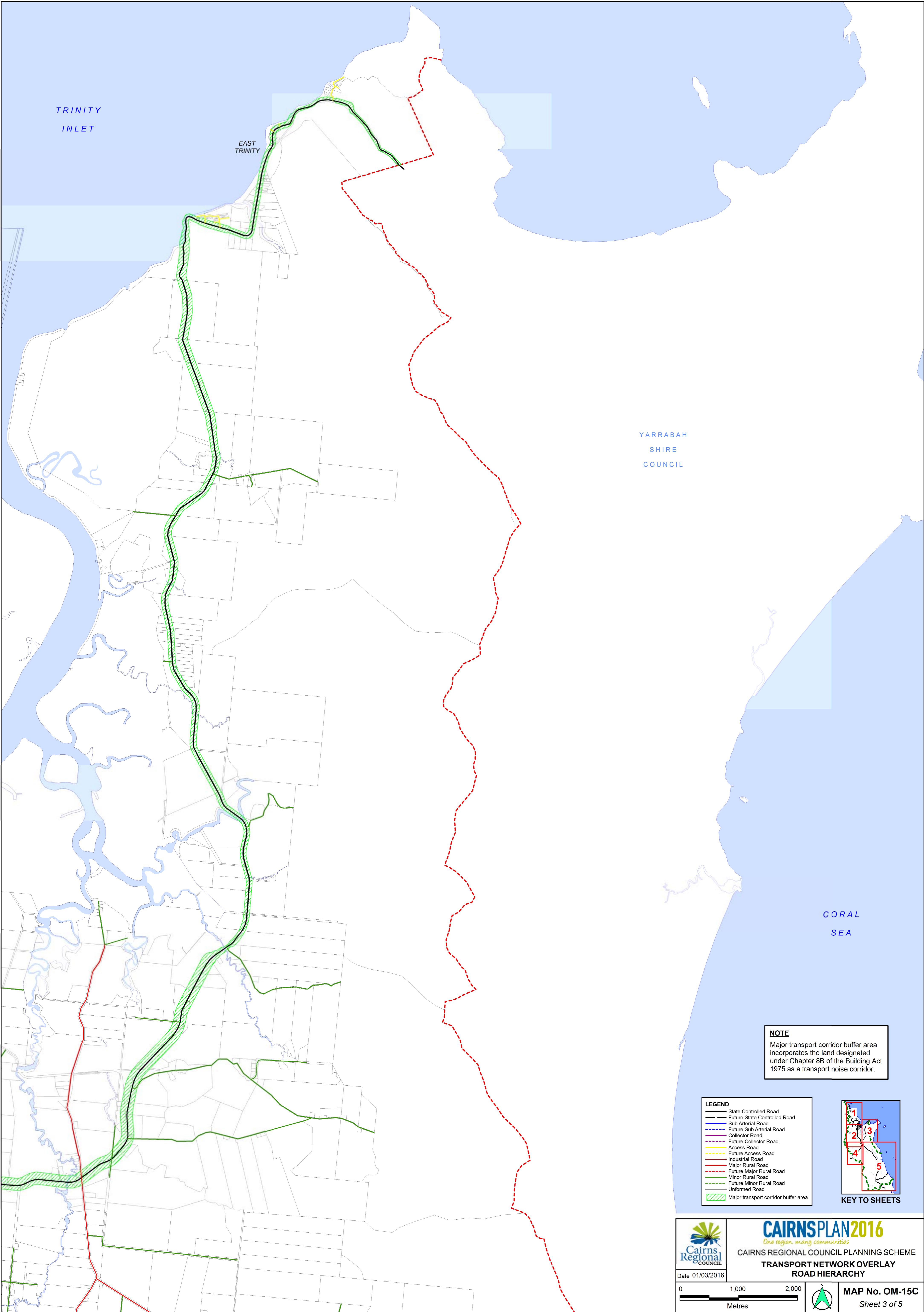
CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
**TRANSPORT NETWORK OVERLAY
ROAD HIERARCHY**

Date 01/03/2016



MAP No. OM-15B
Sheet 2 of 5



TRINITY
INLET

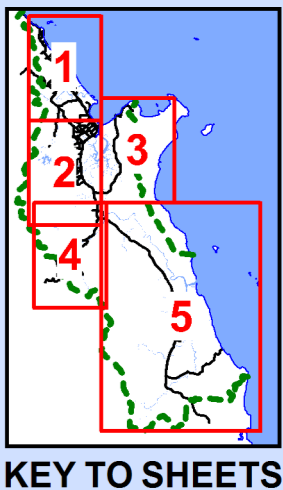
EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

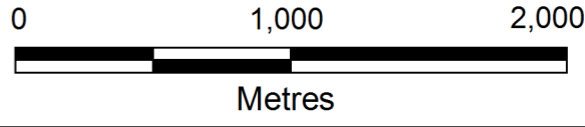
NOTE
Major transport corridor buffer area incorporates the land designated under Chapter 8B of the Building Act 1975 as a transport noise corridor.

- LEGEND**
- State Controlled Road
 - Future State Controlled Road
 - Sub Arterial Road
 - Future Sub Arterial Road
 - Collector Road
 - Future Collector Road
 - Access Road
 - Future Access Road
 - Industrial Road
 - Major Rural Road
 - Future Major Rural Road
 - Minor Rural Road
 - Future Minor Rural Road
 - Unformed Road
 - ▨ Major transport corridor buffer area

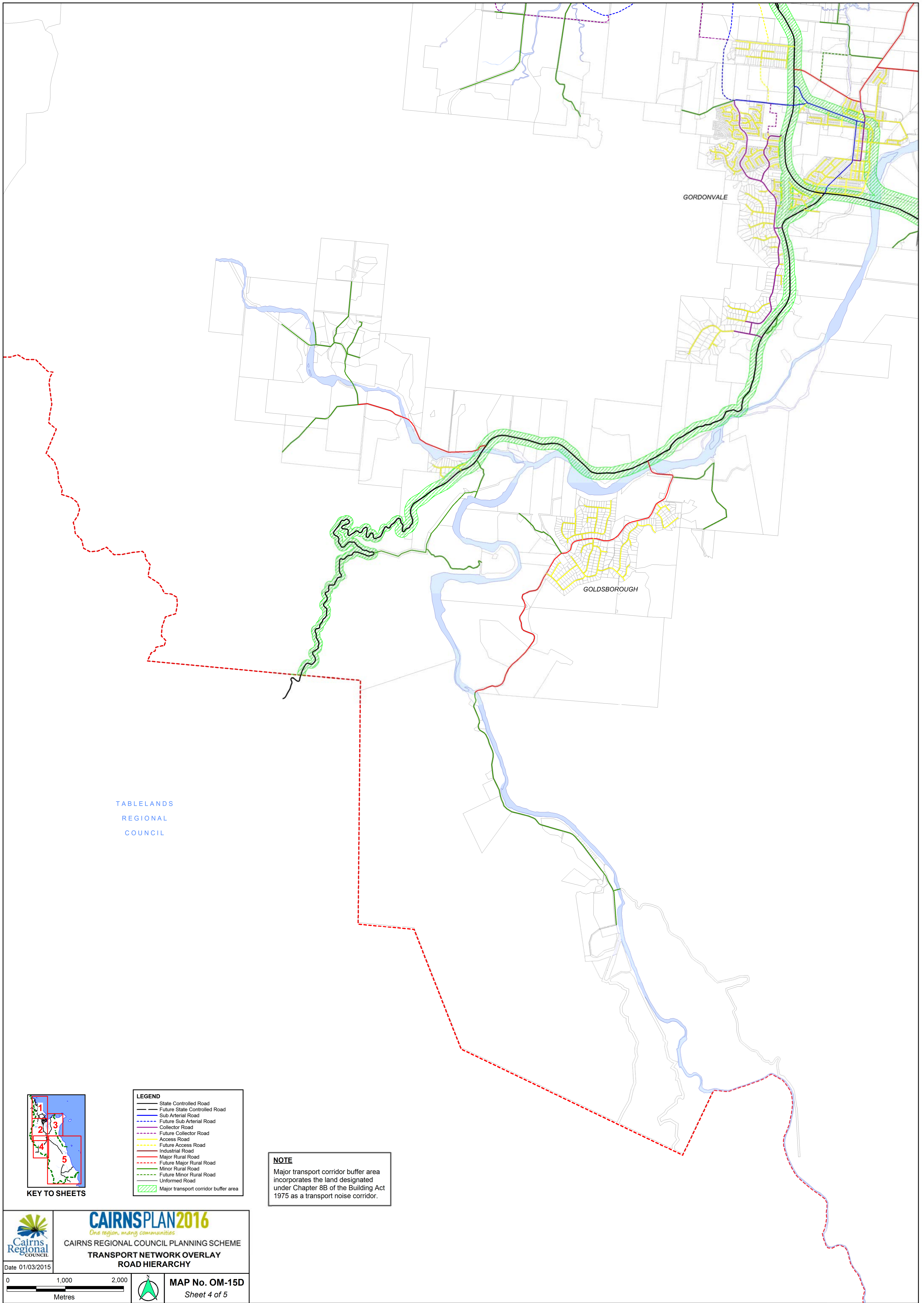


CAIRNSPLAN2016
One region, many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
**TRANSPORT NETWORK OVERLAY
ROAD HIERARCHY**

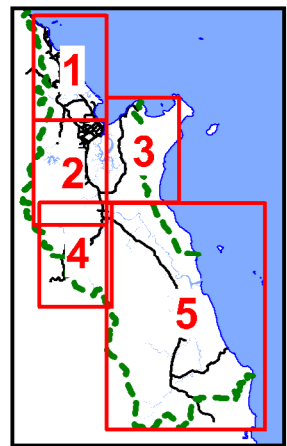
Date 01/03/2016



MAP No. OM-15C
Sheet 3 of 5




TABLELANDS
REGIONAL
COUNCIL



KEY TO SHEETS

LEGEND	
	State Controlled Road
	Future State Controlled Road
	Sub Arterial Road
	Future Sub Arterial Road
	Collector Road
	Future Collector Road
	Access Road
	Future Access Road
	Industrial Road
	Major Rural Road
	Minor Rural Road
	Future Minor Rural Road
	Unformed Road
	Major transport corridor buffer area

NOTE
Major transport corridor buffer area incorporates the land designated under Chapter 8B of the Building Act 1975 as a transport noise corridor.



CAIRNSPLAN2016
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

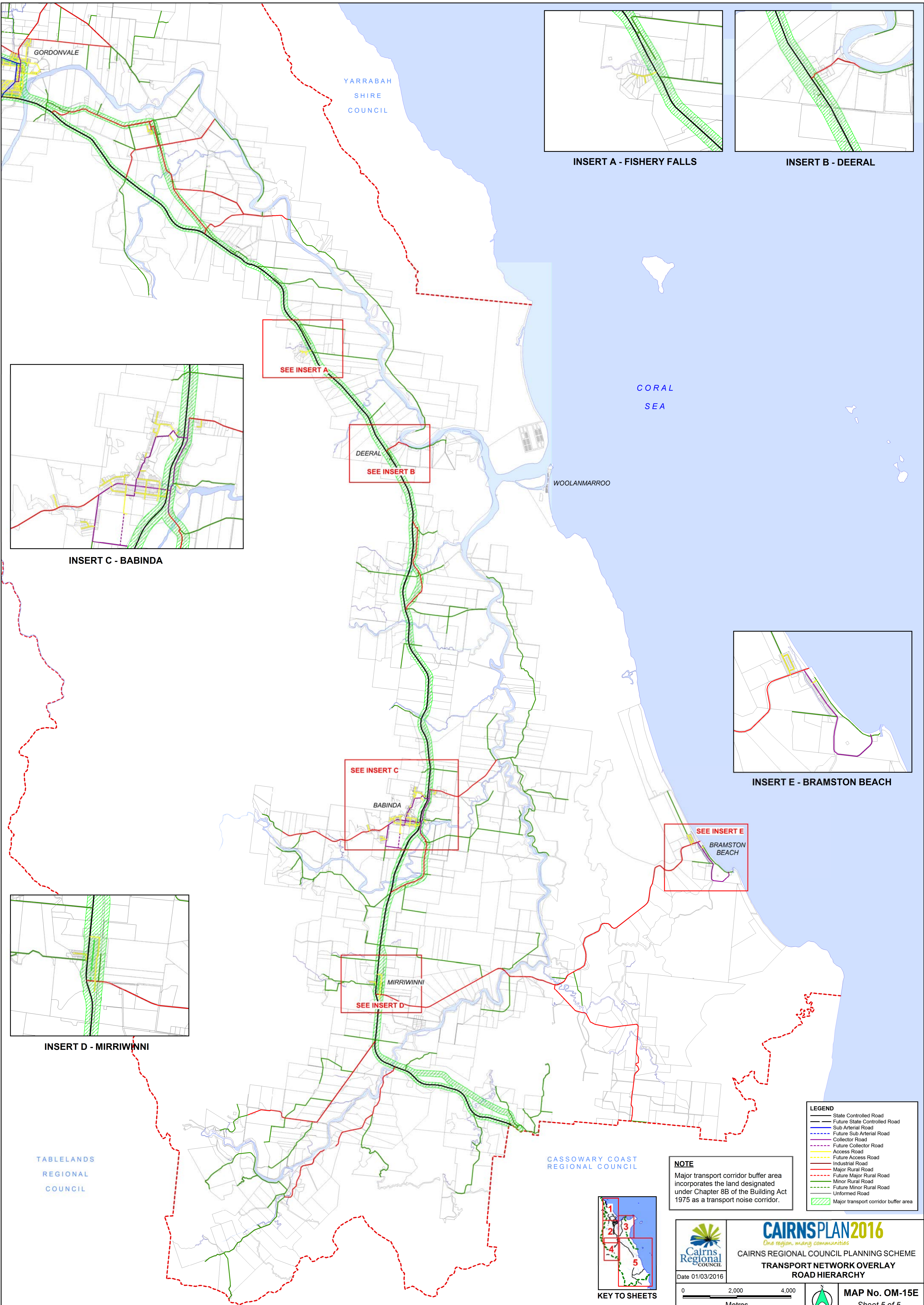
TRANSPORT NETWORK OVERLAY

ROAD HIERARCHY

Date 01/03/2015

0 1,000 2,000
Metres

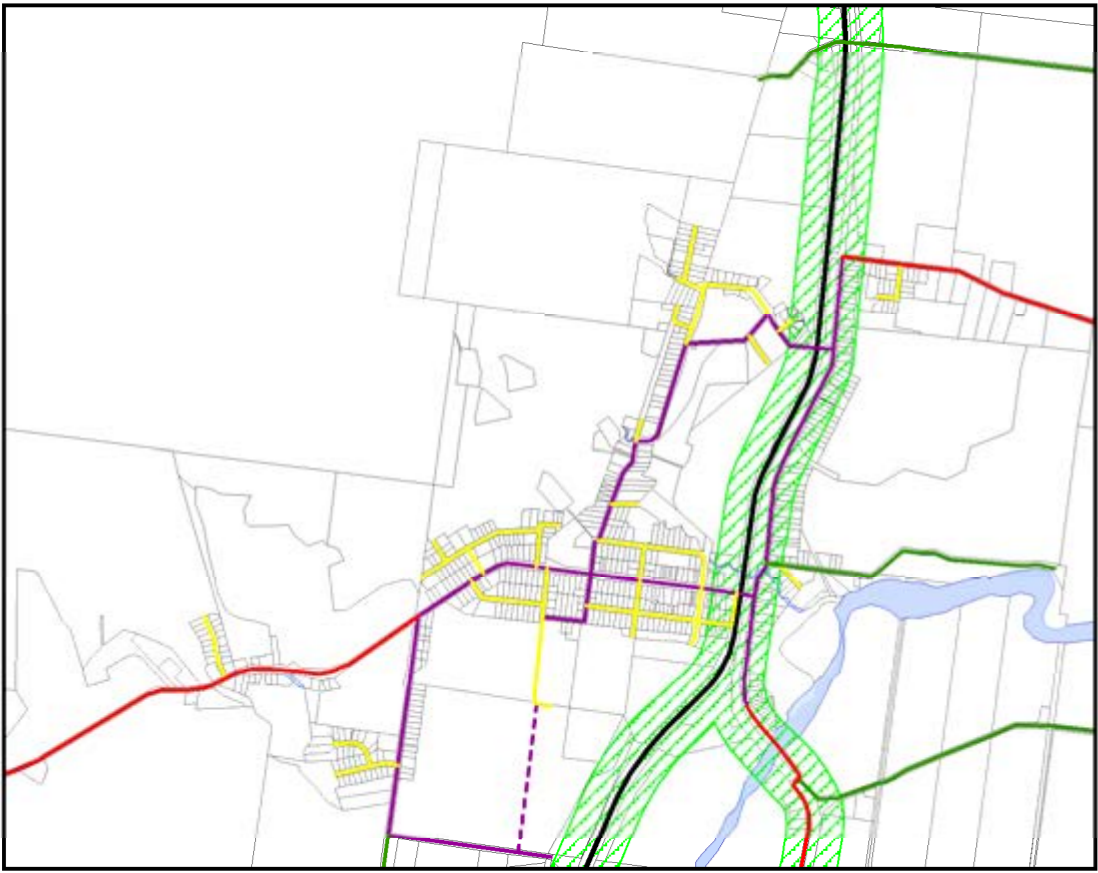
MAP No. OM-15D
Sheet 4 of 5



INSERT A - FISHERY FALLS



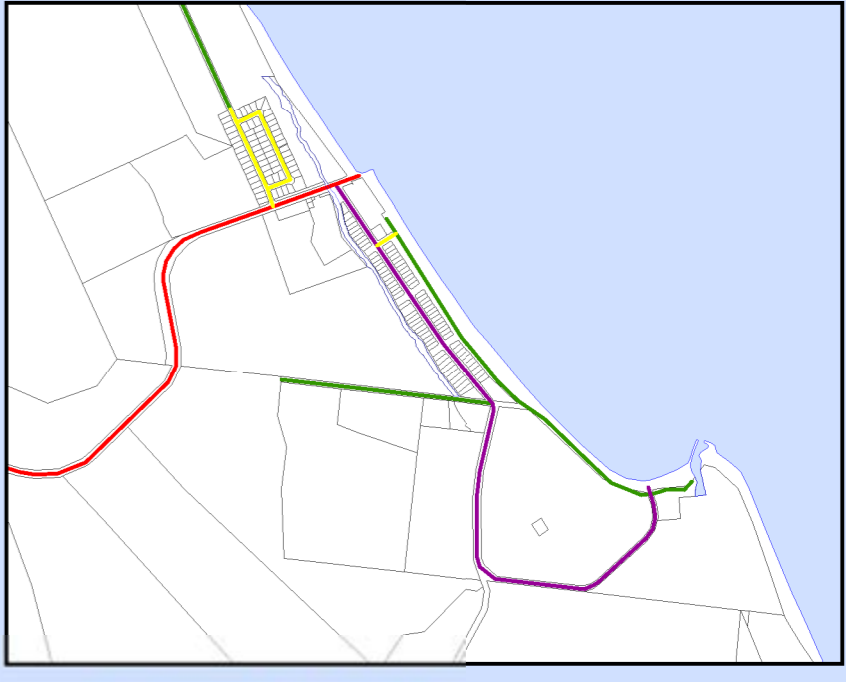
INSERT B - DEERAL



INSERT C - BABINDA



INSERT D - MIRRIWINNI

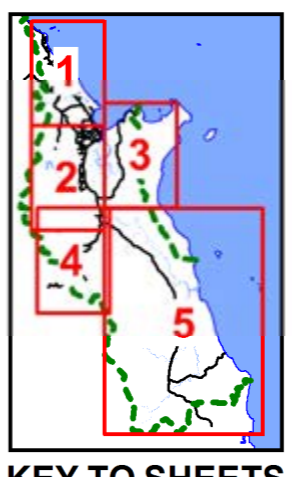


INSERT E - BRAMSTON BEACH


LEGEND

- State Controlled Road
- Future State Controlled Road
- Sub Arterial Road
- Future Sub Arterial Road
- Collector Road
- Future Collector Road
- Access Road
- Future Access Road
- Industrial Road
- Major Rural Road
- Future Major Rural Road
- Minor Rural Road
- Future Minor Rural Road
- Unformed Road
- ▨ Major transport corridor buffer area

NOTE
Major transport corridor buffer area incorporates the land designated under Chapter 8B of the Building Act 1975 as a transport noise corridor.



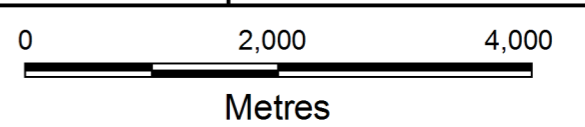
KEY TO SHEETS



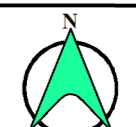
CAIRNSPLAN2016
One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
**TRANSPORT NETWORK OVERLAY
ROAD HIERARCHY**

Date 01/03/2016



0 2,000 4,000
Metres



MAP No. OM-15E
Sheet 5 of 5

TABLELANDS
REGIONAL
COUNCIL

YARRABAH
SHIRE
COUNCIL

CORAL
SEA

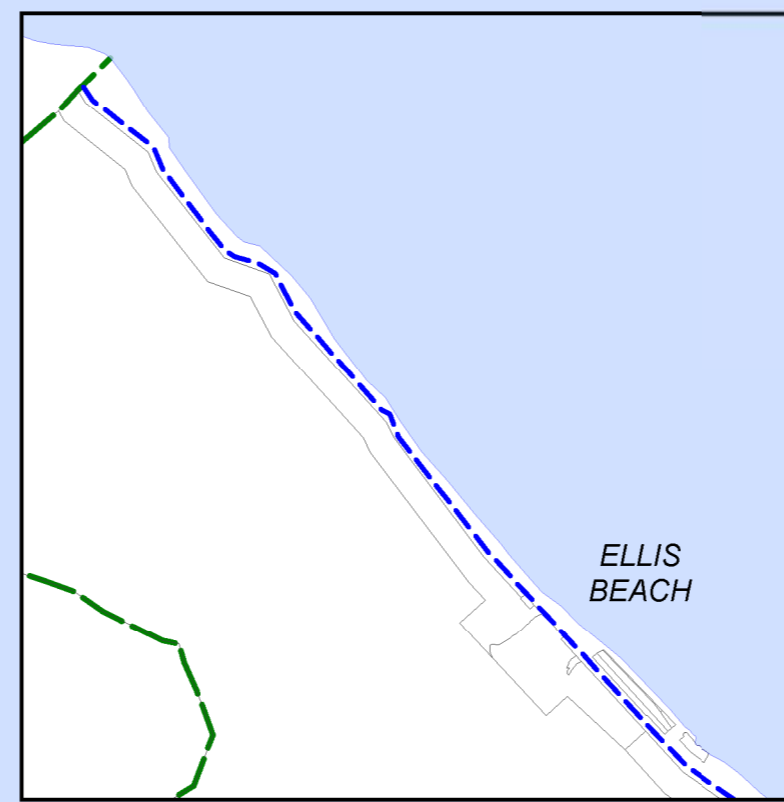
WOOLANMARROO

CASSOWARY COAST
REGIONAL COUNCIL

SEE
INSERT

ELLIS BEACH

DOUBLE
ISLAND



ELLIS
BEACH

INSERT



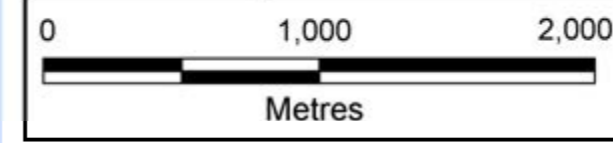
CAIRNSPLAN2016
One region, many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME

TRANSPORT NETWORK OVERLAY

PEDESTRIAN & CYCLE NETWORK

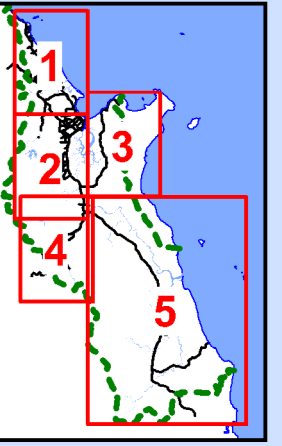
Date 01/03/2016



MAP No. OM-16A
Sheet 1 of 5

LEGEND

- Existing principal route
- Future principal route
- Existing district route
- Future district route
- Existing neighbourhood route
- Future neighbourhood route
- Strategic investigation route
- Tram corridor



KEY TO SHEETS

PALM COVE

CLIFTON BEACH

TRINITY BEACH

CORAL
SEA

YORKEYS KNOB

MAREEBA
SHIRE
COUNCIL

SMITHFIELD

HOLLOWAYS BEACH

MACHANS BEACH

REDLYNCH

TRINITY
INLET

MAREEBA
SHIRE
COUNCIL

CAIRNS
CITY

REDLYNCH

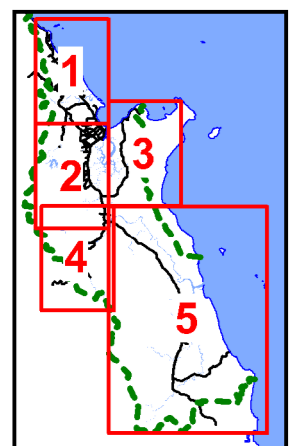
KANIMBLA

WOREE

MOUNT
SHERIDAN

EDMONTON

GORDONVALE



KEY TO SHEETS

LEGEND	
	Existing principal route
	Future principal route
	Existing district route
	Future district route
	Existing neighbourhood route
	Future neighbourhood route
	Strategic investigation route
	Tram corridor

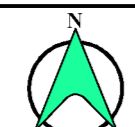
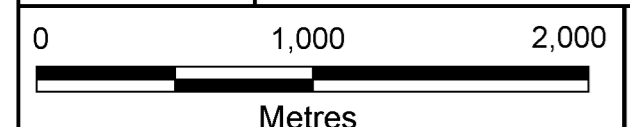


CAIRNSPLAN2016

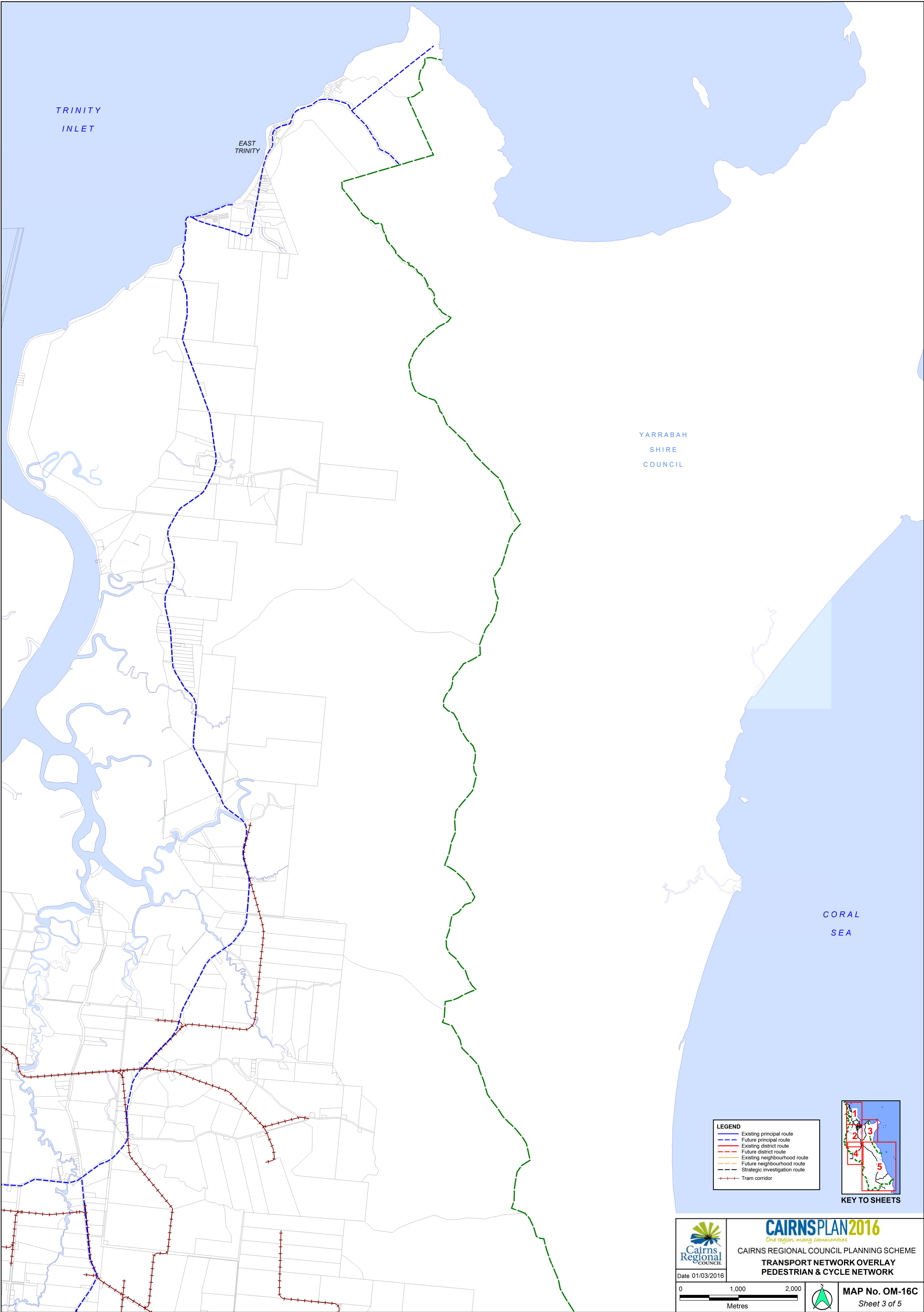
One region. many communities

CAIRNS REGIONAL COUNCIL PLANNING SCHEME
**TRANSPORT NETWORK OVERLAY
PEDESTRIAN & CYCLE NETWORK**

Date 01/03/2016



MAP No. OM-16B
Sheet 2 of 5



TRINITY
INLET

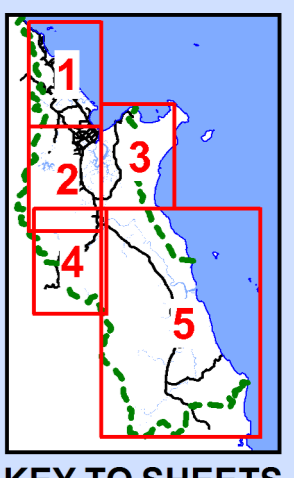
EAST
TRINITY

YARRABAH
SHIRE
COUNCIL

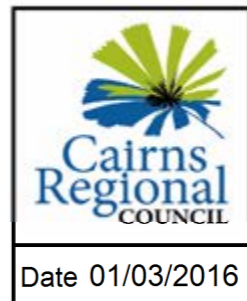
CORAL
SEA

LEGEND

- Existing principal route
- - - Future principal route
- Existing district route
- - - Future district route
- Existing neighbourhood route
- - - Future neighbourhood route
- - - Strategic investigation route
- - - Tram corridor

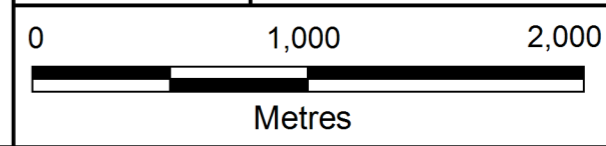


KEY TO SHEETS

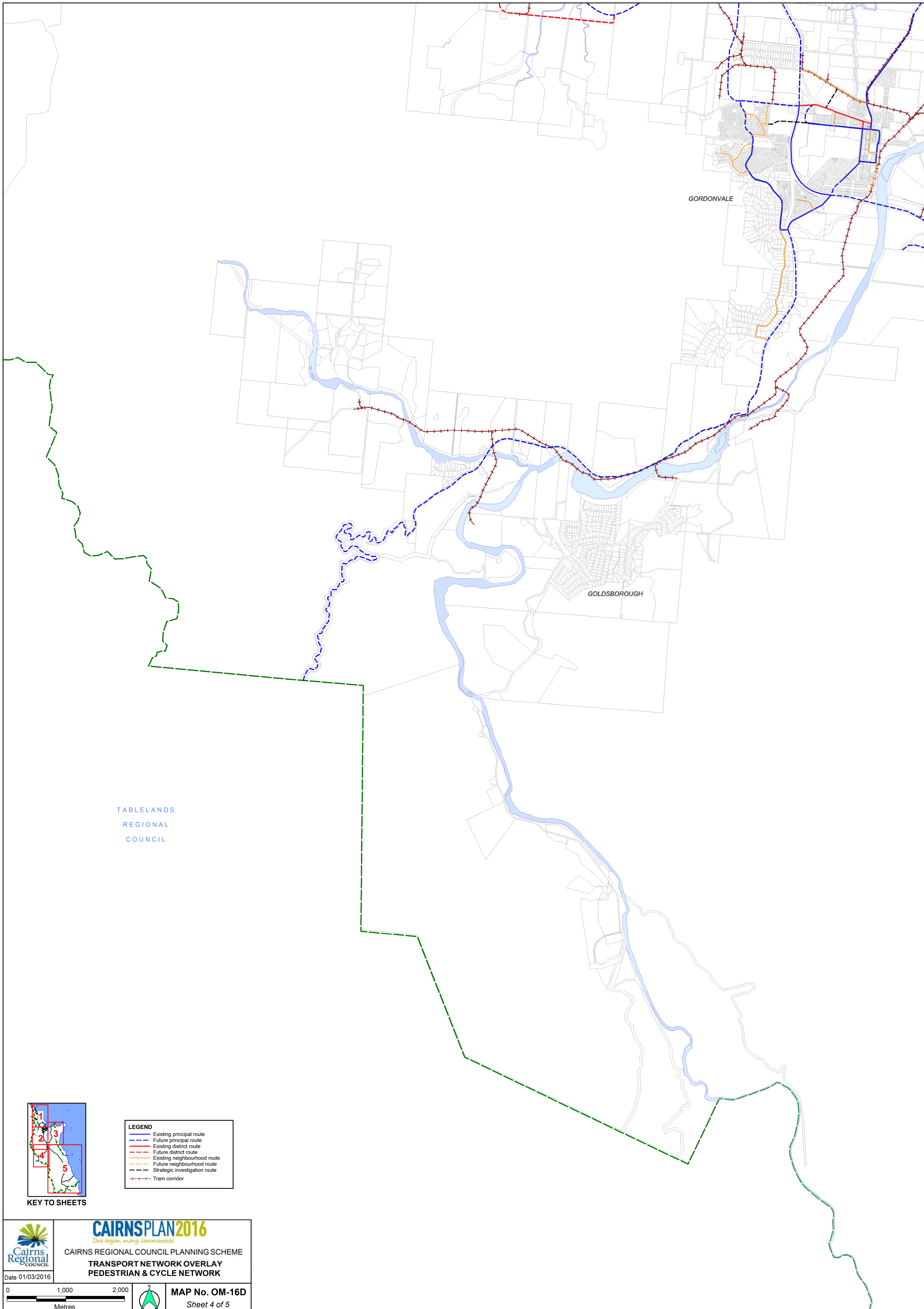


CAIRNSPLAN2016
One region, many communities
CAIRNS REGIONAL COUNCIL PLANNING SCHEME
**TRANSPORT NETWORK OVERLAY
PEDESTRIAN & CYCLE NETWORK**

Date 01/03/2016



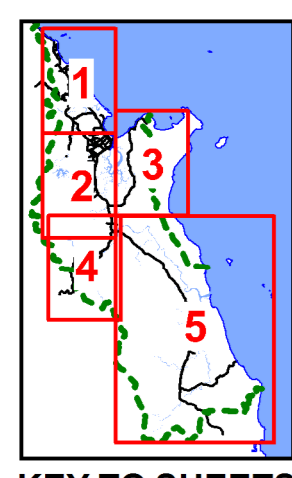
MAP No. OM-16C
Sheet 3 of 5



GORDONVALE

GOLDSBOROUGH

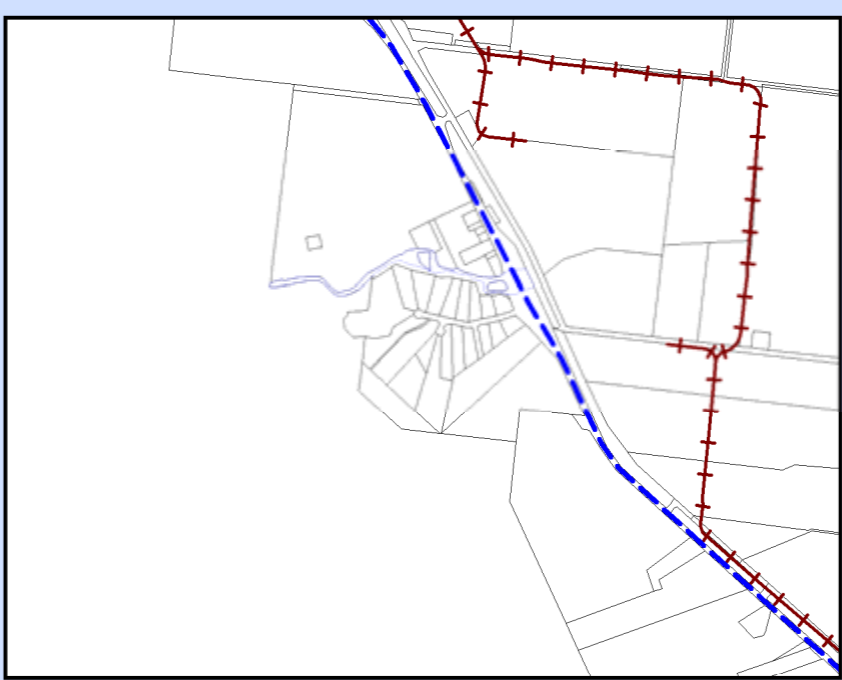
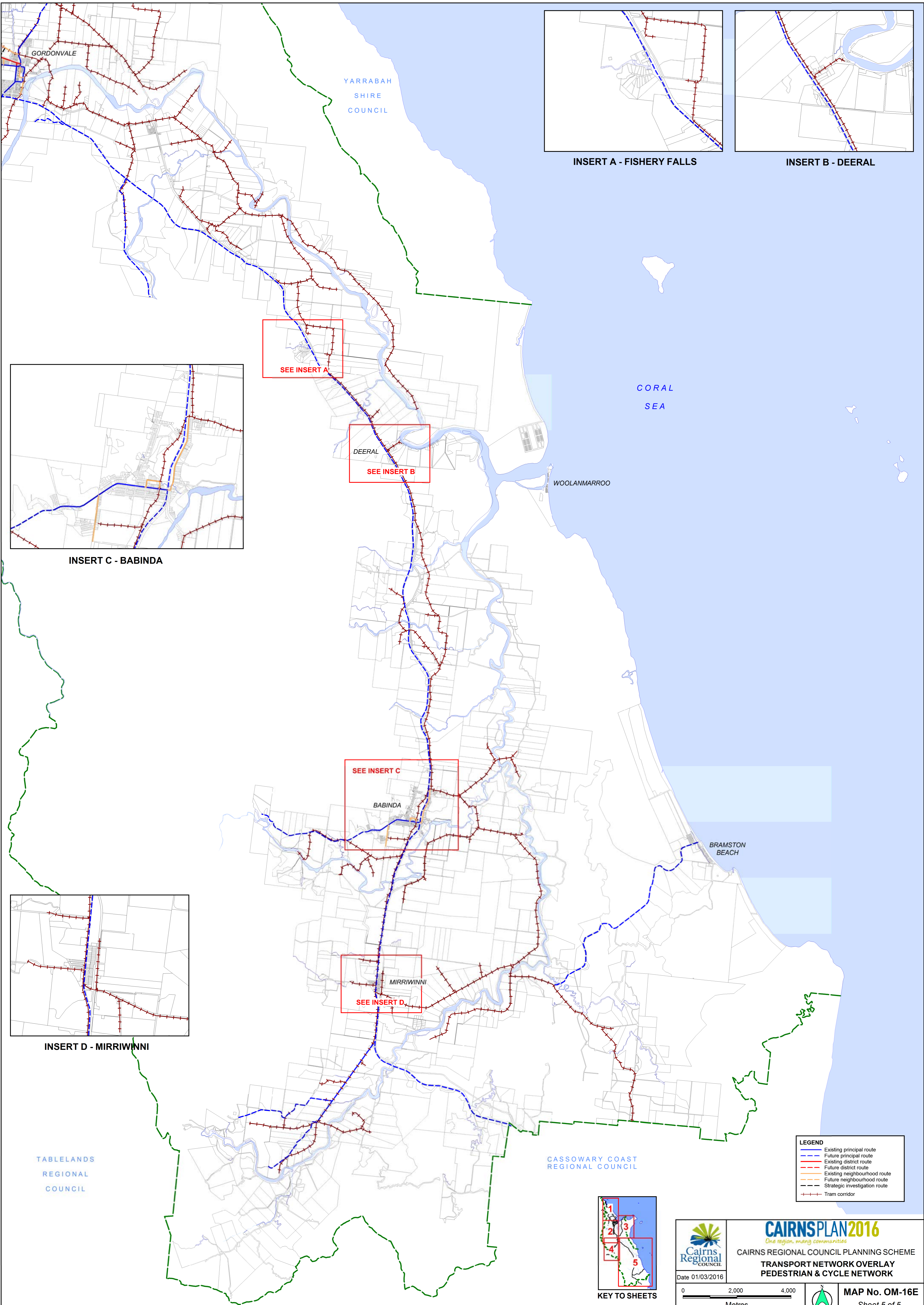
TABLELANDS
REGIONAL
COUNCIL



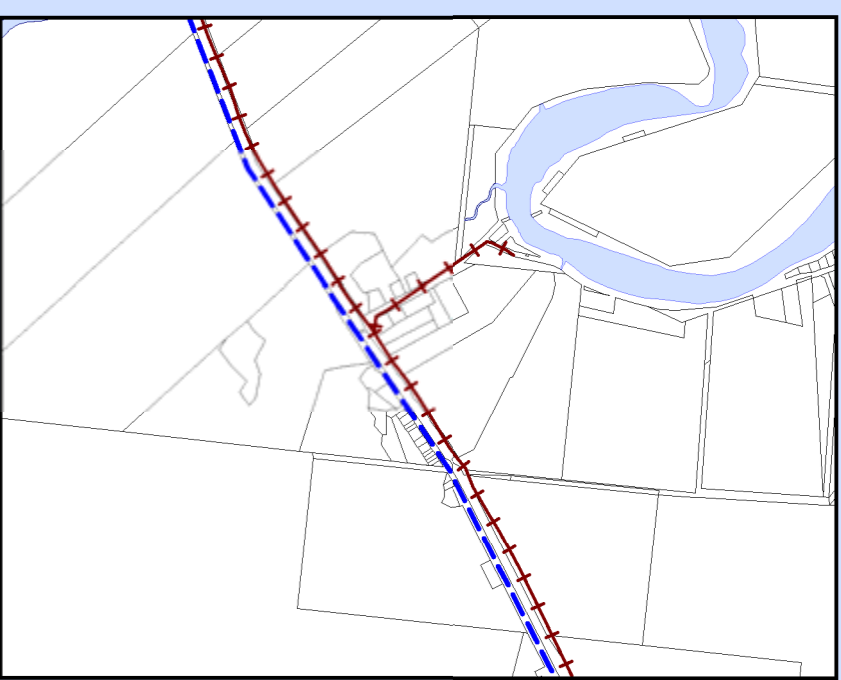
KEY TO SHEETS

LEGEND	
	Existing principal route
	Future principal route
	Existing district route
	Future district route
	Existing neighbourhood route
	Future neighbourhood route
	Strategic investigation route
	Tram corridor

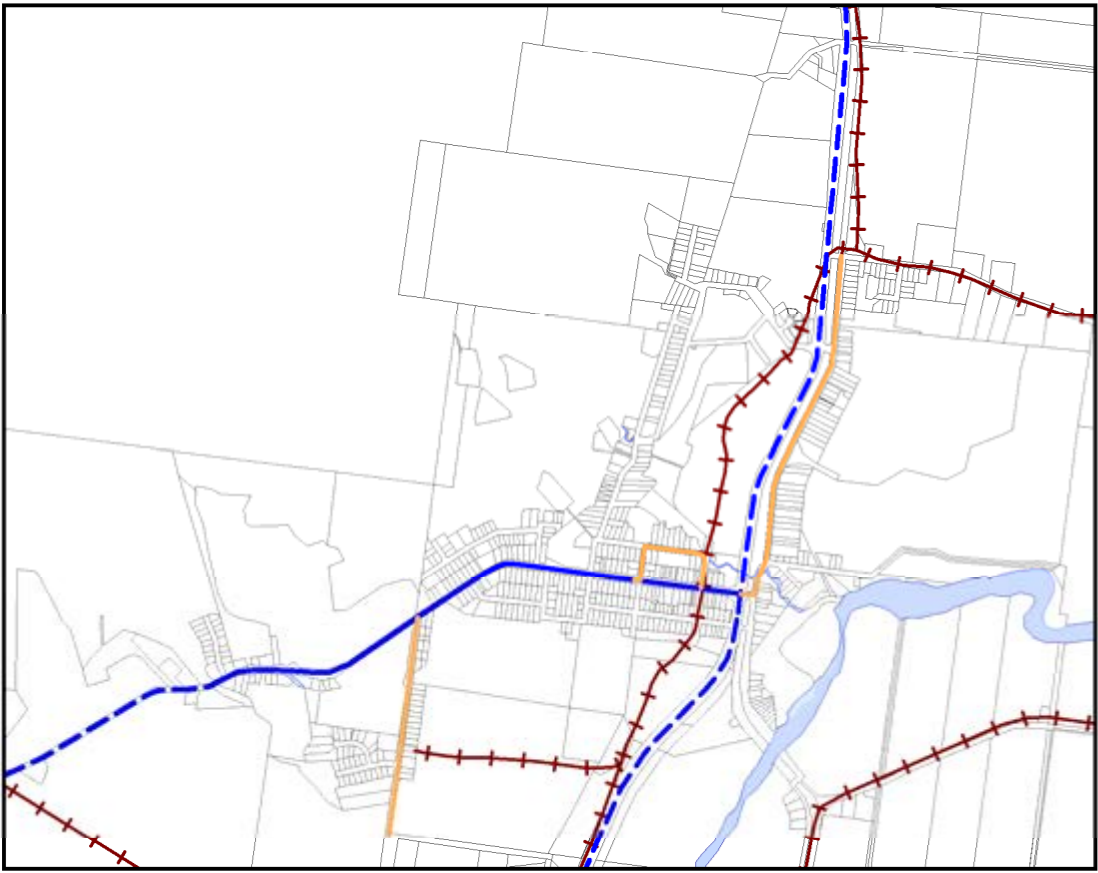
	CAIRNSPLAN2016 <i>One region, many communities</i>
	CAIRNS REGIONAL COUNCIL PLANNING SCHEME TRANSPORT NETWORK OVERLAY PEDESTRIAN & CYCLE NETWORK
Date 01/03/2016	
	MAP No. OM-16D Sheet 4 of 5



INSERT A - FISHERY FALLS



INSERT B - DEERAL



INSERT C - BABINDA

SEE INSERT A

SEE INSERT B

SEE INSERT C

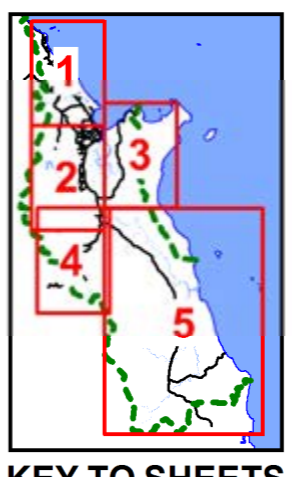
SEE INSERT D




INSERT D - MIRRIWINNI

LEGEND

- Existing principal route
- - - Future principal route
- Existing district route
- - - Future district route
- Existing neighbourhood route
- - - Future neighbourhood route
- · · Strategic investigation route
- - - Tram corridor



KEY TO SHEETS

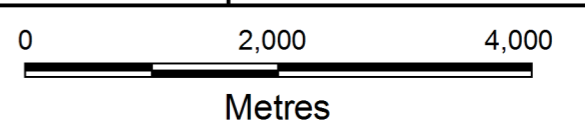


CAIRNSPLAN2016
One region, many communities

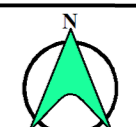
CAIRNS REGIONAL COUNCIL PLANNING SCHEME

TRANSPORT NETWORK OVERLAY
PEDESTRIAN & CYCLE NETWORK

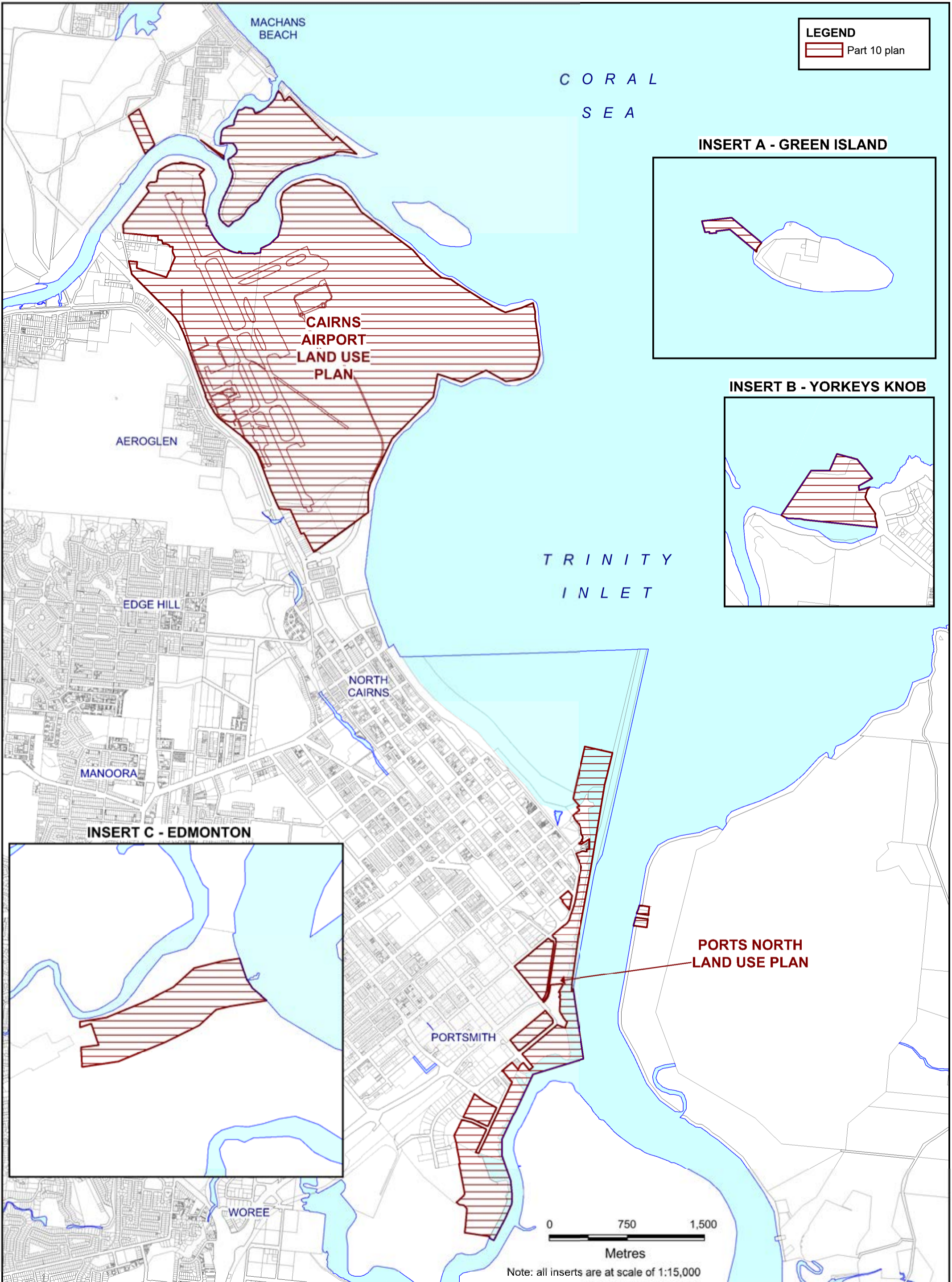
Date 01/03/2016



0 2,000 4,000
Metres

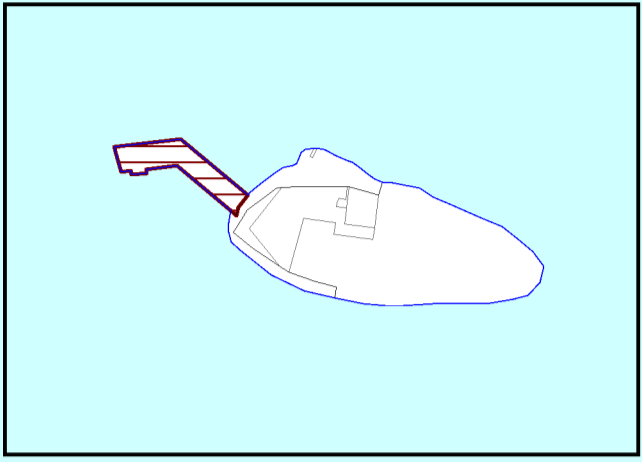


MAP No. OM-16E
Sheet 5 of 5

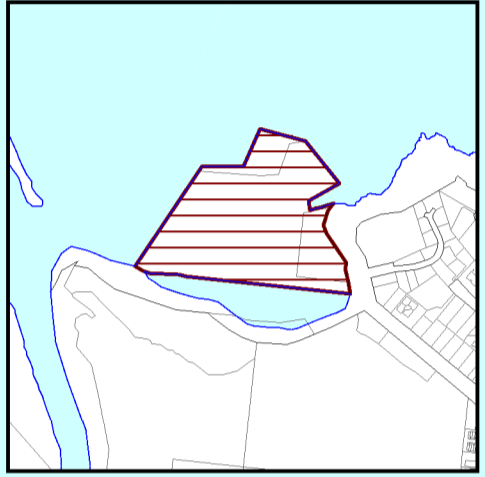


LEGEND
 Part 10 plan

INSERT A - GREEN ISLAND



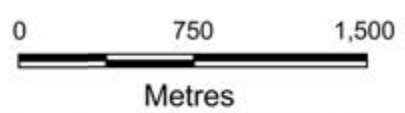
INSERT B - YORKEYS KNOB



INSERT C - EDMONTON



**PORTS NORTH
 LAND USE PLAN**



Note: all inserts are at scale of 1:15,000

Schedule 3 Local government infrastructure plan mapping and supporting material

Part 4 (Local government infrastructure plan) is not fully reflected in the planning scheme at this point in time.

Amendments made to the *Sustainable Planning Act 2009* in June 2014 require Local Governments to prepare a Local Government Infrastructure Plan. A grace period extending to 30 June 2016 has been included in the amended legislation, during which time a local government planning scheme is not required to include a Local Government Infrastructure Plan.

Further amendments were introduced through the Local Government and Other Legislation Amendment Bill (No. 2) 2015 which allow the Planning Minister to approve local government applications for an extension of the deadline to adopt an LGIP from before 1 July 2016 up to before 1 July 2018. These amendments commenced in Sustainable Planning Act 2009 on 20 November 2015.

Council has commenced the preparation of a Local Government Infrastructure Plan.

Until a Local Government Infrastructure Plan is endorsed by Council, Council's Adopted Charges Resolution contains the following:

- the infrastructure charge rates to be levied upon development in locations across the Region;
- the Desired Standards of Service for trunk infrastructure networks;
- the Infrastructure Works Schedules, including the establishment cost of trunk infrastructure items; and
- the existing and future Plans for Trunk Infrastructure for the local government area.

The resolution can be found at: <http://www.cairns.qld.gov.au/building-planning-business/-planning/infrastructure-contributions>

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Schedule 4 Notations required under the *Sustainable Planning Act 2009*

SC4.1 Notation of decisions affecting the planning scheme under section 391 of the Act

Table SC4.1.a - Notation of decisions under section 391 of the Act

Date of decision	Location (real property description)	Decision type	File/Map reference
27 November 2008	Captain Cook Highway, Moore Road and Waterfall Close, Kewarra Beach Lot 4 SP222295, Lot 900 SP210221	Preliminary approval to override the planning scheme (CairnsPlan 2005)	8/8/923
4 April 2011	Redlynch Intake Road Redlynch Intake Road Lot 5 on CP857640, Lot 523 on NR5565 and Lot 2 on RP726219	Preliminary approval (Consent Order No. 185 of 2009) for development in accordance with a Structure plan associated with the development of Redlynch Estate comprising drawing No. 2327-1 and Drawing No. 2327-2 dated 23 November 2010.	8/8/994
30 May 2012	Bruce Highway, Gordonvale Lots 2 & 3 on SP207032, Lot 2 on RP704104 and Lot 1 on RP732913	Preliminary approval to override the planning scheme (CairnsPlan 2005) Reconfiguration of a Lot (Preliminary approval)	8/30/107
29 January 2013	Swallow Road, Dalla Costa Access and Thompson Road, Edmonton Lot 5 N15737, Lot 6 N15737, Lot 2 RP711173, Lot 2 SP108478, Lot 8 SP190463, Lot 40 SP202665	Development Permit (CairnsPlan 2005)	8/8/976
29 January 2013	Swallow Road, Dalla Costa Access and Thompson Road, Edmonton	Preliminary approval to override the planning scheme (CairnsPlan 2005)	8/8/977

Date of decision	Location (real property description)	Decision type	File/Map reference
	Lot 5 N15737, Lot 6 N15737, Lot 2 RP711173, Lot 2 SP108478, Lot 8 SP190463, Lot 40 SP202665		
29 January 2013	Swallow Road, Dalla Costa Access and Thompson Road, Edmonton Lot 5 N15737, Lot 6 N15737, Lot 2 RP711173, Lot 2 SP108478, Lot 8 SP190463, Lot 40 SP202665	Preliminary approval to override the planning scheme (CairnsPlan 2005)	8/8/978
29 January 2013	Swallow Road, Dalla Costa Access and Thompson Road, Edmonton Lot 5 N15737, Lot 6 N15737, Lot 1 RP704058, Lot 2 RP711173, Lot 2 SP108478, Lot 13 SP182894, Lot 8 SP190463, Lot 2 SP208305	Development Permit (CairnsPlan 2005)	8/8/979
29 January 2013	Swallow Road, Dalla Costa Access and Thompson Road, Edmonton Lot 5 N15737, Lot 6 N15737, Lot 1 RP704058, Lot 2 RP711173, Lot 2 SP108478, Lot 13 SP182894, Lot 8 SP190463, Lot 2 SP208305	Development Permit (CairnsPlan 2005)	8/8/980
30 January 2013	64-66 O'Brien Road, Smithfield Part of Lot 711 on SP213809 and Lot 1502 on SP252220	Preliminary Approval varying the effect of CairnsPlan 2009	8/8/1257
22 May 2013	Bruce Highway and Mill Street, Babinda Lot 176 on NR4559, Lot 1 on SP158308 & Lot 3 on RP814126	Preliminary approval to override the planning scheme (CairnsPlan 2009)	8/30/155

Date of decision	Location (real property description)	Decision type	File/Map reference
8 November 2013	Corner Draper Road and Bruce Highway, Gordonvale Lot 46 on SP204562, Lot 8 SP180032 & Lot 7 on SP201306	Preliminary approval to override the planning scheme (CairnsPlan 2009)	8/8/1030

SC4.2 Notation of resolution(s) under Chapter 8, Part 2, Division 1 of the Act

Table 4.2.a – Notation of resolutions under Chapter 8, Part 2, Division 1 of the Act

Date of resolution	Date of effect	Details	Contact information
23 September 2015	23 September 2016	Cairns Regional Council Adopted Trunk Infrastructure Charges Resolution endorsed by Council at the Ordinary Meeting of 23 September 2015	Planning Strategies Branch, Cairns Regional Council

SC4.3 Notation of registration for urban encroachment provisions under section 680ZE of the Act

Table 4.3.a - Notation of decisions under section 680ZE of the Act

Date of decision	Location of premises (real property description)	Details of registration	Term of registration
There are no notations of decisions under section 680ZE of the Act			

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Schedule 5 Land designated for community infrastructure

Table 5.a – Land designated for community infrastructure

Date of designation or repeal	Real property description	Street address	Type of community infrastructure
10/03/2000	Lot 1 on NR7772	Cairns Neighbourhood Centre, 98 Birch Street, Manunda	(d) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries
20/04/2000	Lot 1 on RP894528 Lot 2 on RP894528	Cairns Campus of James Cook University, McGregor Road, Smithfield	(f) educational facilities
11/08/2000	Lot 3 on C198269 Lot 1 on C198294 Lot 2 on RP701240 Lot 2 on RP708975	Cairns Hospital, Esplanade, Lake Street, Cairns North	(h) hospitals and associated institutions
11/08/2000	Lot 201 on NR7185	Edmonton Police Station - Corner of Cattle Street and Bruce Highway, Edmonton	(s) any other facility not mentioned in paragraphs (a) to (r) and intended primarily to accommodate government functions
01/06/2001	Lot 23 on CP850046	Cairns Magistrates Court - 5 Sheridan Street, Cairns City	(s) any other facility not mentioned in paragraphs (a) to (r) and intended primarily to accommodate government functions
28/02/2006	Lot 6 on C899014	Redlynch State School, Jungara Road, Redlynch	(d) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries; (f) educational facilities; (l) parks and recreational facilities; (o) transport infrastructure mentioned in s.5.1.1; and (r) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure

Date of designation or repeal	Real property description	Street address	Type of community infrastructure
			mentioned in paragraphs (d), (f), (l) and (o) above.
28/02/2006	Lot 305 on SP186238	Isabella State School, Walker Rd Edmonton West	(d) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries; (f) educational facilities; (l) parks and recreational facilities; (o) transport infrastructure; (r) storage and works depots
11/08/2006	Part Lot 2 on RP708684	Babinda Ambulance Station, 128-130 Munro Street, Babinda	(g) emergency services facilities
03/10/2008	Lot 1 on SP149860 Lot 1 on SP216459 Lot 2 on RP701240	Cairns Hospital - 249-251 Lake Street, Cairns North	(h) hospitals and associated institutions (r) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in paragraphs (a) to (q)
13/02/2009	Part Lot 62 on SP105736 Part Lot 2 on SP126738 Part Lot 111 on SP175726 Part Lot 121 on NR3087 Part Lot 59 on NR437 Part Lot 3 on NR5834 Part Lot 91 on RP838274	Powerlink - Redbank Road. Packers Camp Napier Road, Green Hill	(k) operating works under the Electricity Act 1994
28/08/2009	Lot 414 on SP182308	Cairns North Community Health Centre - 381 Sheridan Street, Cairns North	(h) hospitals and associated institutions (r) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community

Date of designation or repeal	Real property description	Street address	Type of community infrastructure
			infrastructure mentioned in paragraphs (a) to (q)
28/08/2009	Lot 1 on SP149860 Lot 1 on RP216459 Lot 2 on RP701240 Lot 6 on RP701240 Lot 1 on RP709792 Lot 2 on RP709792	Cairns Hospital - 165 The Esplanade, 249-251 Lake St., 2-4 Grove St and 8 Digger St, North Cairns	(h) hospitals and associated institutions (r) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in paragraphs (a) to (q)
08/01/2010	Lot 2 on RP818352	Marlin Coast neighbourhood Centre - Reed Road, Trinity Beach	(e) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries (g) educational facilities (u) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in paragraphs (a) to (t)
20/08/2010	Lot 69 on SP114404	The Northern Outlook Community Training & Adventure Based Learning Centre - 69 Redlynch Intake Road, Redlynch	(e) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries (g) educational facilities (n) parks and recreational facilities (u) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in

Date of designation or repeal	Real property description	Street address	Type of community infrastructure
			paragraphs (a) to (t)
14/01/2011	Lot 31 on SP134294	Bentley Park College and Cairns Early learning Years Centre - McLaughlin Road, Bentley Park	(e) community and cultural facilities, including child-care facilities, community centres, meeting halls, galleries and libraries (g) educational facilities (u) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in paragraphs (a) to (t)
23/11/2012	Lot 1 on RP894528 Lot 23 on RP894528 Lot 13 on RP896123	Cairns Campus of James Cook University, University Road, Smithfield	(6) educational facilities
27/08/2013	Lot 13 on G47841	Gordonvale State School and Kindergarten, 28 George St, Gordonvale	(4) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National Law (Queensland) is operated or a child care service under the Child Care Act 2002 is conducted, community centres, meeting halls, galleries and libraries (6) education facilities (15) Storage and works depots and the like including administrative facilities associated with the provision or maintenance of the community infrastructure.
11/12/2015	Lot 584 CP902184 Lot 660 NR7840	42-80 Windarra Street and 32-40 Alberta Drive, Woree	(4) community and cultural facilities, including facilities where an education and care service under the Education

Date of designation or repeal	Real property description	Street address	Type of community infrastructure
			<p>and Care Services National law (Queensland) is operated or a child care service under the Child Care Act 2002 is conducted, community centres, meeting halls, galleries and libraries; (6) educational facilities; (15) storage and works depots and similar facilities, including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in this part;</p> <p>Further to the above, the designation includes: sporting facilities and associated infrastructure, road, vehicle lay-by and car parking and including commercial activities that support its Educational program</p>

Table 5.b – Land for Defence purposes

Facility	Real property description	Street address
Cairns Naval Base and Oil Fuel Store	Lot 183 SP207572	2-54 Draper Street, Portsmith
Kenny Street Naval Stores	Lot 3 C198374	93-95 Kenny Street, Portsmith
Las Palmas Motel	Lot 1 RP736114	275 Sheridan Street, Cairns North
Northern Heritage Motel	Lot 1 RP735342	243 Sheridan Street, Cairns North
51 FNQR HQ Cairns (Porton Barracks)	Lot 37 RP912874 Lot 55 SP193147 Lot 56 SP188127 Lot 32 RP910474 Lot 36 SP104598	Swallow Road and Macbar Court, Edmonton

Note – Under Commonwealth legislation development on land identified in Table 5.b may be exempt from the planning scheme.

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Schedule 6 Planning scheme policies

SC6.1 Planning scheme policy index

The table below lists all the planning scheme policies applicable to the planning scheme area.

Table SC6.1.a – Planning scheme policy index

Number	Planning scheme policy title
SC6.2	Planning scheme policy – Acid sulfate soils
SC6.3	Planning scheme policy – Centres and centre activities
SC6.4	Planning scheme policy – Crime prevention through environmental design (CPTED)
SC6.5	Planning scheme policy – Environmental management plans
SC6.6	Planning scheme policy – FNQROC Regional Development Manual
SC6.7	Planning scheme policy – Landscape values
SC6.8	Planning scheme policy – Landscaping
SC6.9	Planning scheme policy – Natural environment
SC6.10	Planning scheme policy – Natural hazards
SC6.11	Planning scheme policy – Neighbourhood character
SC6.12	Planning scheme policy – Parking and access
SC6.13	Planning scheme policy – Places of significance
SC6.14	Planning scheme policy – Site assessments
SC6.15	Planning scheme policy – Structure planning
SC6.16	Planning scheme policy – Tropical urbanism

SC6.1.1 Application of planning scheme policies

- (1) The planning scheme policies:
 - (a) Provide information that may be required or requested for a development application;
 - (b) Contain standards; and
 - (c) Include guidelines or advice about satisfying assessment criteria in the planning scheme.

- (2) Although the information Council may request is outlined within each planning scheme policy, nothing within or not stated in the planning scheme policies limits Council's discretion to request other information in accordance with the Act.

SC6.2 Planning scheme policy – Acid sulfate soils

SC6.2.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to support the planning scheme by ensuring that development takes account of the presence of acid sulfate soils and manages their disturbance by identifying information Council may request.

SC6.2.2 Information Council may request

SC6.2.2.1 Acid sulfate soils investigation report

- (2) Development is supported by a site specific acid sulfate soils investigation detailing:
 - (a) The elevation of the site in metres AHD;
 - (b) The lowest point in metres AHD of any proposed excavation, together with the maximum volume of excavation below 5 metres AHD;
 - (c) The height in metres AHD of any land to be filled, together with the volume and thickness of the fill to be placed on land below 5 metres AHD;
 - (d) Whether acid sulfate soils are present in the area that is to be disturbed by the development;
 - (e) If present, the location, depth and maximum existing and potential acidity of acid sulfate soils relative to the proposed disturbance;
 - (f) Implications for design, construction and operation of the proposed development.
- (3) An Acid sulfate soils investigation report is to be prepared in accordance with the State Planning Policy: State interests – emissions and hazardous activities: Guidance on acid sulfate soils and the respective chapters of the Queensland Acid Sulfate Soils Technical Manual. Figure SC6.2.2.1.a demonstrates when the State Planning Policy applies to the excavation of acid sulfate soils.

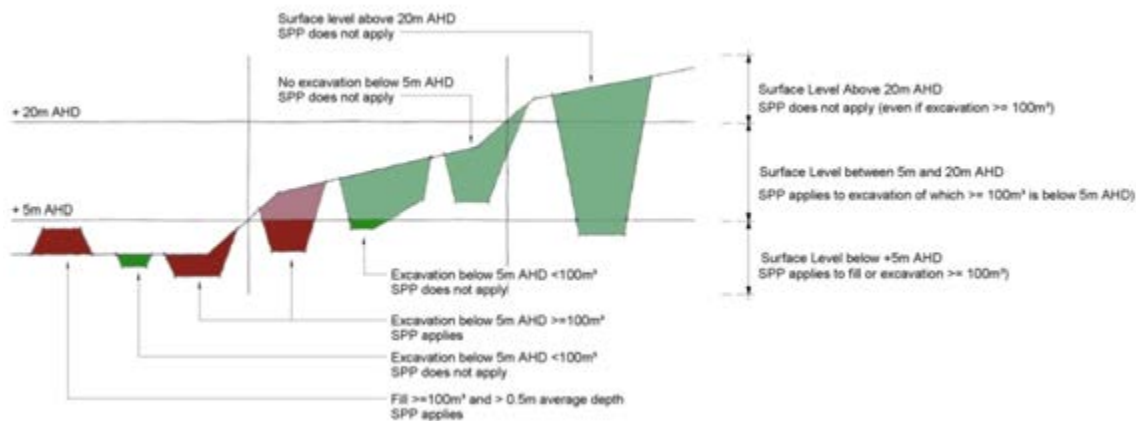


Figure SC6.2.2.1.a – Applicability of the State Planning Policy for excavation of acid sulfate soils

SC6.2.2.2 Acid sulfate soils management plan

- (1) If acid sulfate soils are to be disturbed by the proposed development, a comprehensive Acid sulfate soils management plan is to be prepared and submitted to Council. The management plan is to outline how the proposed development will ensure that the release of acid and associated metal contaminants into the environment is avoided to prevent harm to the environment or to constructed assets.
- (2) An Acid sulfate soils management plan is to be prepared in accordance with the State Planning Policy: State interests – emissions and hazardous activities: Guidance on acid

sulfate soils and the Queensland Acid Sulfate Soils Technical Manual and must be prepared by a suitably qualified and experienced person.

SC6.2.3 Guidance on meeting planning scheme outcomes

SC6.2.3.1 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) State Planning Policy State interest – emissions and hazardous activities Guidance on acid sulfate soils;
 - (b) Queensland Acid Sulfate Soils Technical Manual.

SC6.3 Planning scheme policy –Centres and centre activities

SC6.3.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide guidance and identify information Council may request for development associated with centres and centre activities.

SC6.3.2 Guidance on meeting planning scheme outcomes – need and impact of centres and centre activities

- (1) Development involving the establishment of a new centre, or significant centre activity within or outside of a centre, is only established where the following is demonstrated:
- There is a need for the proposed development;
 - The proposed development does not compromise the role and successful function of the hierarchy of centres within the Region;
 - The proposed development is highly accessible within the community it serves, not on the periphery; and
 - The proposed development does not compromise the character and integrity of surrounding areas.
- (2) Council intends to support the role and function of the Region's hierarchy of centres. An impact and need assessment report may be requested to demonstrate that the proposed development will meet the relevant performance outcomes in the planning scheme codes and the intentions expressed in the strategic framework. Where the development is inconsistent with the planning scheme the assessment may form part of the basis for determining whether sufficient grounds exist to approve such a development.

SC6.3.3 Information Council may request

SC6.3.3.1 Centre need and impact assessment reports

- (1) In particular, a centre need and impact assessment report should include the following:
- A background / Context including:
 - An outline of the purpose of the assessment;
 - A description of the methodology used;
 - A description of the size, function and tenancy mix of the proposed development (including details of any staging of the development);
 - If a new centre is proposed, the intended role and function of the centre and its relationship to the existing centres within the hierarchy of centres;
 - The identification of the proposed development's service catchment including the methodology used to identify the catchment (refer to section SC6.3.3.2 for guidance);
 - A demand assessment including:
 - A calculation of the demand, or likely future demand, for retail, business, commercial or other centre floor space in the service catchment;
 - Commentary on changes to the supply / demand balance upon approval of the proposed development, including whether the proposal represents an excess of supply for the service catchment;
 - An assessment of the potential / actual impacts on the hierarchy of centres and surrounding community including:
 - A description of the location, size, nature, function and tenancy of other centres likely to be affected by the proposed development;
 - An assessment of the extent of inadequacy, if any, within the hierarchy of centres;

- (iii) An assessment of the quantitative economic impact upon the centres likely to be affected by the proposed development describing the consequent effects upon those centres;
 - (iv) The identification of the impacts of the proposed development would have on the successful trading of other centres (including the period of time); or the changes, if any, to the range of services that existing centres will continue to provide;
 - (v) An assessment of the effect of the proposed development upon the hierarchy of centres, including demonstration that the proposed development will not result in the centre assume the role and function of another centre within the Region hierarchy of centres;
 - (vi) An assessment of the impacts of the development on adjoining premises and the surrounding community (including any changes to amenity such as changed traffic conditions);
 - (d) An assessment of alternative sites including:
 - (i) Evidence that any feasible alternative and appropriately zoned location/s have been investigated and discussed so that reasoning behind the selection of the preferred site is clear;
 - (e) A summary of the overall need for the proposed development including a description of the community benefits.
- (2) The centre need and impact report will need to demonstrate that on balance the proposed development will not have an adverse impact on the hierarchy of centres within the Cairns Region in terms of their ongoing viability, form and role and function.
- (3) The centre need and impact assessment report must be prepared by a suitably qualified economist and may be subject to a peer review.

SC6.3.3.2 Determining the service catchment for development

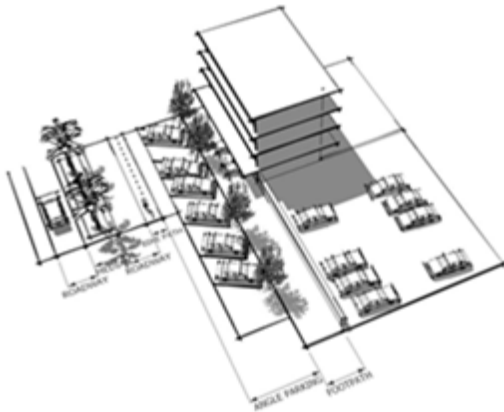
- (1) The determination of the service catchment for a proposed development should have due consideration to the following:
- (a) the existing centres hierarchy and other relevant competition;
 - (b) the nature, scale and functionality of the proposed development;
 - (c) the nature of the potential users of the development (e.g. residents, workers, students, other businesses);
 - (d) typical travel routes of potential users of the development; and
 - (e) the attracting capacity of any neighbouring uses.
- (2) A map(s) of the service catchment should be included in the impact and need assessment report, which clearly defines the service catchment boundary, identifies relevant existing centres, identifies the site of the proposed development and includes key transport corridors. The impact and need assessment report should include a justification of the proposed trade area boundary.

SC6.3.4 Guidance on meeting planning scheme outcomes

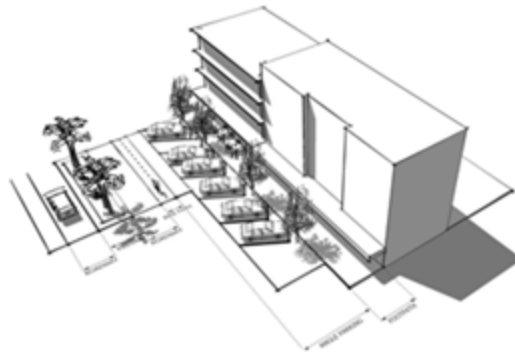
SC6.3.4.1 Adaptable centre design – Development within structure plan areas, Major centres and District centres

- (1) The planning scheme requires that centres within structure plan areas, and Major and District centres are designed with layouts that are adaptive to the needs of the community over time by:
- (a) Planning for active streets through a range of retail, commercial and community activities and spaces, particularly at ground level, which can change with minimal intervention;
 - (b) Sleeving larger format retail and commercial activities behind smaller activities that activate the street front;

- (c) Allowing for interim uses that can be changed over time and be added to with minimal intervention.
- (2) Fundamental to planning new communities is the need to create mixed use precincts that cater for diversity and vibrancy of urban living. The centres within the Cairns Region will be based on best practice planning of developing mixed uses horizontal and vertically. Mixed use development is encouraged through a level of activity provided at the street level that encourages community life with higher density residential activities above or around the activity.
- (3) Adaptable design for centres considers the potential phasing of development to ensure that ultimate targets are achieved. The diagrams below illustrates an example of how lower parking rates can be achieved early in the development process, with the adjacent development site being used for at grade car parking. As the centre matures and demand for land increases, the vacant site would be developed, achieving the lower car parking standards, in line with the maturing market.



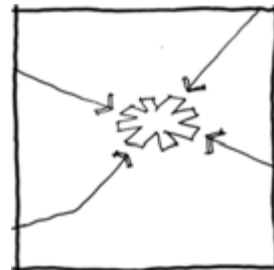
Vacant land as part of the overall development of the site can provide for short-medium term at grade parking.



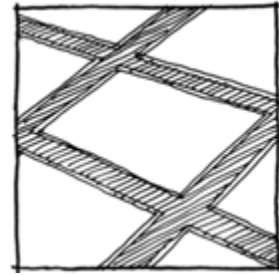
Phasing of development sees the outcome outlined in the Master Plan achieved with the second phase of development.

- (4) Centres are adaptable to the community's changing needs over time where they meet the following principles:

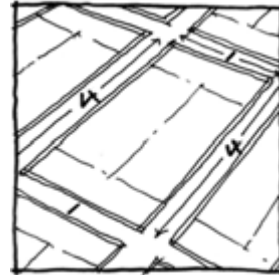
- (a) The centre provides high levels of access to public space or central activity areas that serve as a community focal point and gathering place.



- (b) The centre is designed to ensure a high level of permeability and incorporates a grid street network that is interconnected and highly legible.

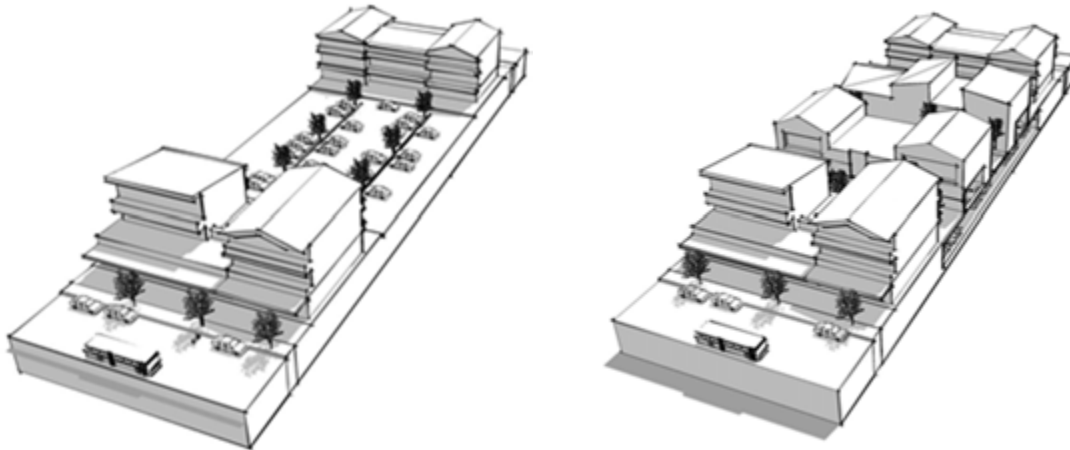


- (c) Within core and frame areas, street blocks are based on a grid pattern with a block dimension of not more than 240m and a length to width ratio of not more than 1:4.



- (d) Development provides for streets that are responsive to the urban context and which provide opportunities for a range of local street profiles including laneways, rear lanes and main streets to be provided.
- (e) Public open space including parks, squares, plazas and environmental open space is provided as a key physical element in the pattern of urban settlement and a prominent feature of centres and employment areas.
- (f) The development of centres is phased so that they are established as important elements within the structure of the community in the short to medium term whilst retaining opportunities to evolve and adapt to meet their full potential and ultimate planned capacity in the long term.
- (g) Site design may allow for later infill sites that can accommodate higher development intensity.
- (5) In considering adaptability, whilst designing for the ultimate development outcomes, consideration of the potential to phase development within the project will be required. Planning and design will need to identify the potential for interim uses that will not have a significant detrimental impact on the overall intent for the development.

Additionally the intensity of development may be phased as part of a higher order planning process (e.g. structure planning). Development sites require staging to achieving the desired outcomes are a scenario that will need to be considered in achieving residential densities and public transport delivery along with development of the centre. An example of this outcome is shown below:



Phasing of development may see parts of the development used for low intensity uses.

Low intensity uses that have minimal investment in the initial stages of development provide an excellent opportunity for future development.

SC6.3.4.2 External dining and structures above roads

- (1) External dining on footpaths is encouraged in centres where the internal and external street network provides required space for its efficient and safe use as a thoroughfare and entertainment space.
- (2) External dining is designed in accordance with the following principles:
 - (a) To promote a vibrant street life which balances the interests and needs of residents, ratepayers and visitors to the city
 - (b) To be located to achieve fairness and consistency between traders in the use of footpaths
 - (c) To ensure:
 - (i) safe and unobstructed passage for pedestrians, in particular those who may be physically or vision impaired;
 - (ii) safe and unobstructed vision for motorists and cyclists;
 - (iii) limited impact on amenity and the streetscape that characterises the area.
- (3) Consideration for the following is required to cater for potential external dining:
 - (a) A continuous accessible path of travel must be provided along the building line;
 - (b) Pedestrian access should have a minimum width of 2.0m wherever possible and not less than 1.5m;
 - (c) Footpaths 3.0m or less in width are not suitable for on-street activities;
 - (d) Footpath activities located in close proximity to intersections should not obscure drivers' line of vision or traffic signs and will be subject to assessment by Council's Transport Engineer;
 - (e) Required clearances and setbacks from kerbs, public assets and other street infrastructure must be maintained;
 - (f) Compliance with the Disability Services Act 2006 (DSA);
 - (g) Structures should comply with Council's existing streetscape master plans and designs. Any proposed structures will be assessed as to whether they are appropriate to the streetscape;
 - (h) Structures associated with the footpath should not privatise, fully enclose public spaces or adversely affect the openness of public footpaths.
 - (i) The only types of permanent structures that may be considered are retractable awnings, approved planter boxes and decks. Any other items located on the footpath are considered temporary items and need to be designed for removal daily.

- (4) Road closures in strata to provide for verandas or balconies are supported where the structures are:
- Two storey (i.e. 2 level above footpath level only) and may have a roof over. Where the structure is roofed, the roofed area is not to be utilised by the storey above (i.e. this area is not lettable area and cannot be used as a veranda or for landscaping;
 - Open on at least 3 sides (i.e. street and on the sides and not include windows or walls or louvers), clear structures may be erected for weather protection;
 - Used for balcony dining or recreational purposes, not for retail, office or commercial purposes;
 - One continuous structure for the length of the building – e.g. not divided into separate areas to suit internal leases;
 - Incorporate the design features in (5) below and designed to integrate with the street canopy required by the Cairns city centre local plan.
- (5) Proposed awnings, shade structures or strata should be designed to contribute to the vibrancy, vitality and interest of the City's streetscapes and maintain and enhance the traditional façade details of the area's character. Buildings and structures should be designed to create visual integration with the street, contribute to the vibrancy, interest, activity and streetscape within the City.

The design should not dominate the streetscape and be of a tropical character and design, which may include:

- Architecture that reflects the character of the streetscape and that is proportional to the building;
 - Deep shading;
 - Decorative features e.g. 'Queenslander' style balustrading and corner brackets at post and beam junctions;
 - Steep roof pitch or interesting roof design;
 - The structure should be designed to appear to be part of the building rather than appear to be retro-fitted.
- (6) Awnings should be designed and assessed with reference to the relevant codes within the planning scheme, which lists acceptable measures for the location, height and setback of awnings.

SC6.3.5 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
- Cairns City Centre Master Plan;
 - Mount Peter Master Plan Part 5 Technical report - Placemaking

SC6.4 Planning scheme policy – Crime prevention through environmental design (CPTED)

SC6.4.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide guidance for satisfying assessment criteria and identifying information Council may request for the creation of safe public and private domains through environmental design outcomes intended to reduce fear and incidences of crime as well as improving quality of life.

SC6.4.2 Guidance on meeting planning scheme outcomes

- (1) Crime prevention through environmental design is a design philosophy based on effective design of the built environment intended to reduce fear and incidence of crime as well as to improve quality of life. The interdependent elements of crime prevention through environmental design are:
 - (a) Casual surveillance opportunities and sightlines;
 - (b) Public and private domains;
 - (c) Legibility and way-finding;
 - (d) Building design;
 - (e) Lighting;
 - (f) Predictable routs and entrapment;
 - (g) Management and maintenance.

SC6.4.2.1 Casual surveillance and sightlines

- (1) Casual surveillance is surveillance by observers, such as the public or residents which helps to discourage criminal activity and increase a general sense of safety. By ensuring clear sightlines, the opportunity for casual surveillance is increased. The public realm and surrounding development should be designed and managed to maximise the potential for casual surveillance. Development should respond to the following design considerations:
 - (a) Design allows activation of lower levels of buildings and overlooking of public and open space areas by surrounding uses, streets and residences;
 - (b) Maximise visibility of public and private car parks, pathways, stairwells, arcades, public amenities, playgrounds and other gathering spaces;
 - (c) Landscaping is maintained to allow clear sightlines and not create visual barriers. Low planting and shrubs should be maintained to a height of 700mm and low hanging tree branches and foliage should be removed to ensure a clear trunk up to a height of 2 metres;
 - (d) Fences and walls adjacent to pedestrian walkways, car parks, public spaces and street frontages provide for casual surveillance of both properties and public areas through use of an appropriate degree of visually permeable fencing, transparent materials, windows and balconies.



Figure SC6.4.3.1.a – Buildings and open space maximising casual surveillance opportunities

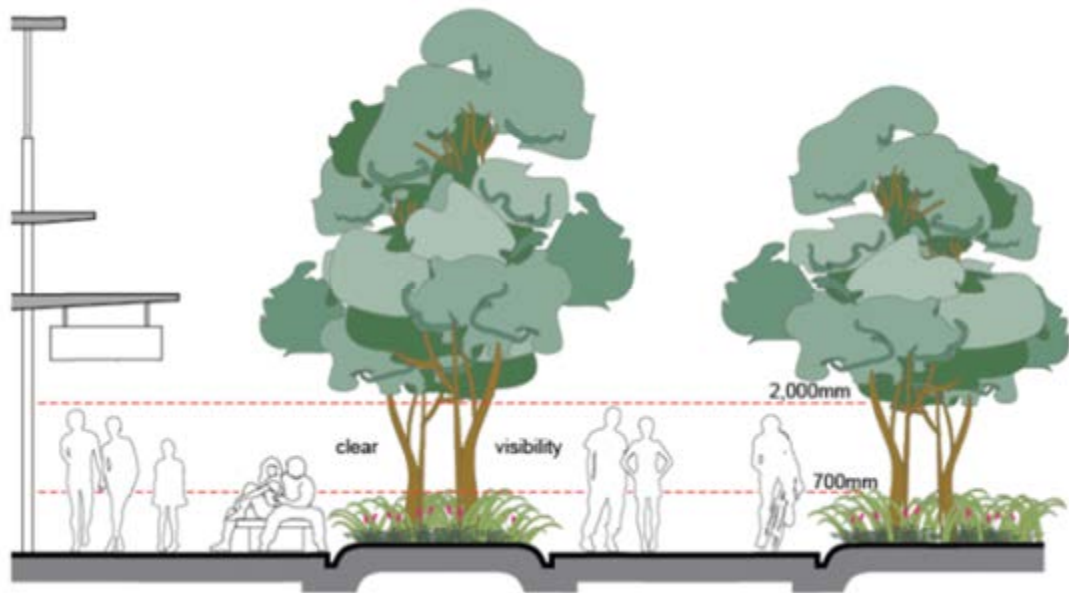


Figure SC6.4.3.1.b – Landscaping in public areas

SC6.4.2.2 Public and private domains

- (1) Clearly defined boundaries between public, semi-public and private domains can help to reduce ambiguity of ownership and identify legitimate users of an area. It helps to determine how spaces will be used and what represents appropriate behaviour within them. Distinction in territory can be made obvious through the use of well-designed physical features. However, delineating territory should not reduce appropriate surveillance of, and from, the public domain. Development should include the following design considerations:
- (a) Signage to define use as private, public or restricted;
 - (b) Barriers, fences or vegetation cues delineating different areas;
 - (c) Changes in footpath treatment, level and elevation.

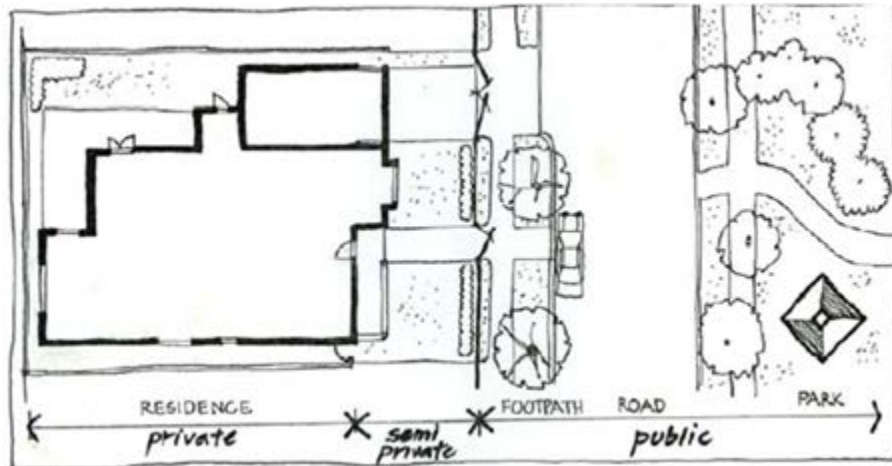


Figure SC6.4.3.2.a – Public, semi-public and private domain delineation

SC6.4.2.3 Legibility and way-finding

- (1) Legibility in the built environment is important in allowing people to know where they are and how to get to where they are going, contributing to their sense of security in a place. Legibility is about way-finding and is particularly important for pedestrians and cyclists. Built environments are designed and managed to make navigation clear for users. Development should respond to the following design considerations:
- (a) Simple, clearly written signage should provide locational information and identify destinations and facilities. Street numbers and building or tenancy names should be displayed at ground level and be clearly identifiable from the street and footpath;
 - (b) Locate important service in places that are both visible and logical;
 - (c) Encourage appropriate variety within the architectural and landscape design of buildings and spaces to create legible urban environments;
 - (d) Designing buildings and spaces to take advantage of existing man-made or natural features to create landmarks to aid legibility;
 - (e) Development should limit the number of entrances and exits, which should be obvious, well lit and have a clear relationship to car parking areas and public spaces.

SC6.4.2.4 Building design

- (1) Building design is an important factor in discouraging anti-social and criminal activities and adding to the security of the public realm. Considered design can reduce opportunities for concealment, entrapment, illegitimate access and vandalism. Development should respond to the following design considerations:
- (a) Building design should not include features or structures that create natural ladders that provide access to higher levels;
 - (b) People entering and exiting a development should have adequate opportunity to look either in or out, prior to entering or exiting the development through permeable fenestration and façade treatments;

- (c) Main entrances and exits should be located at the front of a site and in view of the street and internal users of the building;
- (d) Building walls, particularly entrances, should avoid creating spaces and barriers for human concealment to reduce the risk of crime by hidden persons;
- (e) Building design should support casual surveillance of adjacent open space and public areas.

SC6.4.2.5 Lighting

- (1) Appropriate lighting is a feature people associate with enhanced safety. Good lighting deters criminal activity by increasing the chance that criminal activity will be seen or a criminal will be recognised. In addition to facilitating surveillance, lighting is often used to enhance a site and to attract people. Development should provide appropriate pedestrian and street lighting to enhance the amenity of a site and promote safety by optimising opportunities for surveillance and reducing feelings of fear and vulnerability. Development should respond to the following design considerations:
- (a) Paths, car parks, entrances, exits, possible concealment locations, alleys, loading bays and way-finding signage should be well lit and obvious;
 - (b) Lighting should not be so bright as to prevent users from observing people approaching in the dark;
 - (c) Lights should not be obscured by vegetation;
 - (d) Lighting fixtures should be vandal resistant;
 - (e) Lighting used in car parks should illuminate continuously in hours of darkness;
 - (f) Street and path lighting should be evenly placed to ensure that the entire street or path is sufficiently lit and black spots are avoided.

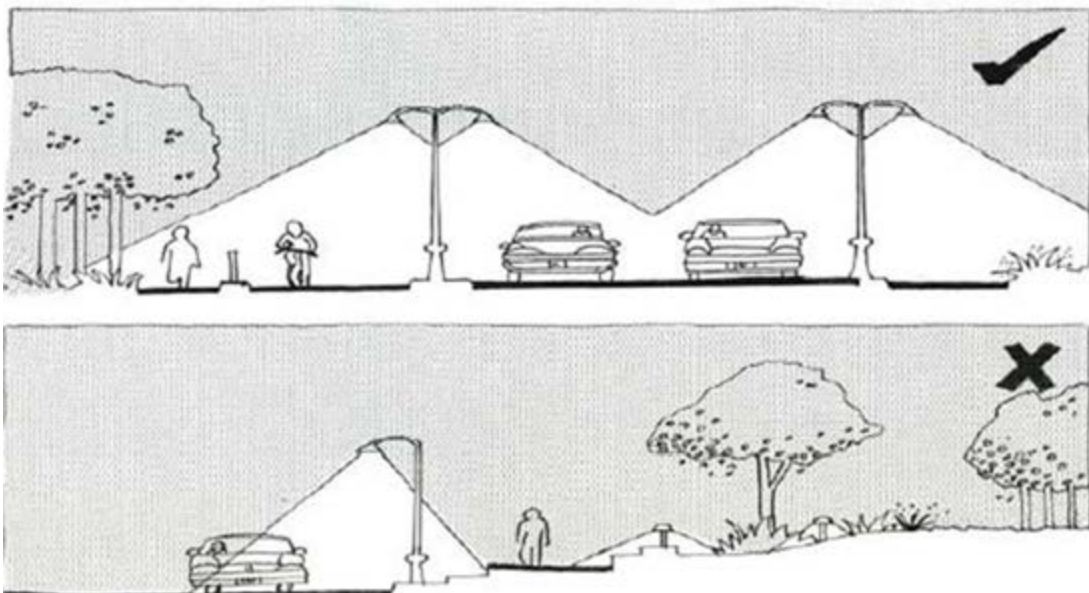


Figure SC6.4.3.5.a – Lighting public spaces

SC6.4.2.6 Predictable routes and entrapment

- (1) Pathways, tunnels, stairways, bridges and other similar conveniences allow observers to predict the movement of the users of a site. Care should be taken with design to enhance the actual and perceived safety of users by avoiding leading people into potentially dangerous situations or areas. To avoid the creation of possible entrapment and concealment sites and reduce opportunities for crimes to be committed, development should respond to the following design considerations:
- (a) Predictable routes should be provided with good sightlines, lighting, signage and casual surveillance;

- (b) Development should avoid concealment and entrapment spots near pedestrian and cycle routes;
- (c) Walkways, pathways and stairs should be designed and located so that they are easily accessible and do not involve blind corners;
- (d) Walkways and pathways should not be obstructed by vegetation;
- (e) Alleyways should be maintained free from landscaping and the accumulation of objects such as waste and recyclable material storage, which would facilitate concealment or illicit entry to buildings.

SC6.4.2.7 Management and maintenance

- (1) Public spaces and private development should be designed, managed and regularly maintained to ensure the quality of the places. Routine maintenance and repair indicates ownership and creates feelings of safety, encouraging greater use and reducing the likelihood of crime occurring. Development should respond to the following design considerations:
 - (a) Robust and durable materials, easy-to-maintain surfaces and darker coloured paint or graffiti resistant paint should be used wherever possible;
 - (b) Regular maintenance regimes should be established for facilities and vegetation.

SC6.4.2.8 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) Crime Prevention through Environmental Design – Guideline for Queensland, Part A: Essential features of safer places, State of Queensland, 2007.

SC6.4.3 Information Council may request

- (1) Council may request an assessment of proposed development against the crime prevention design considerations identified in this policy.

SC6.5 Planning scheme policy – Environmental management plans

SC6.5.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to identify what is required for an Environmental management plan for development, including an Environmental management plan for proposed extractive industry.

SC6.5.2 Information Council may request

SC6.5.2.1 Environmental management plan (generally)

- (1) An Environmental management plan (EMP) seeks to provide information to assess the impacts of development on the environment are avoided or adequately mitigated and continually controlled. This can include during construction, operational and decommissioning stages of a development.
- (2) The Environmental management plan is to be prepared by a suitably qualified person.
- (3) The range of issues that may be requested to be addressed in an EMP include:
 - (a) Acid sulfate soil;
 - (b) Air quality;
 - (c) Biting insects;
 - (d) Buffer area management;
 - (e) Building/structure conservation or retention;
 - (f) Contaminated land;
 - (g) Energy efficiency and management;
 - (h) Erosion and sediment control;
 - (i) Management of activities and events, including monitoring and corrective action;
 - (j) Management of the impacts of land uses on surrounding sites;
 - (k) Natural and cultural heritage preservation/management;
 - (l) Noise control;
 - (m) Rehabilitation/landscaping;
 - (n) Rehabilitation of sites;
 - (o) Resource and waste management;
 - (p) Stormwater management;
 - (q) Vegetation management;
 - (r) Visual amenity;
 - (s) Water quality/waterway health;
 - (t) Weed control.
- (4) The essential components of an Environmental management plan are:
 - (a) Establishment of agreed performance criteria and objectives in relation to environmental and social impacts;
 - (b) Detailed prevention, minimisation and mitigation strategies (including design standards) for controlling environmental impacts at specific sites;
 - (c) Details of the proposed monitoring of the effectiveness of remedial measures against the agreed performance criteria in consultation with relevant government agencies and the community;
 - (d) Details of implementation responsibilities for environmental management, including stormwater quality objectives and environmental values related to waterways;
 - (e) Timing (milestones) of environmental management initiatives;
 - (f) Reporting requirements and auditing responsibilities for meeting environmental performance objectives;

- (g) Corrective actions to rectify any deviation from performance standards.
- (5) The type of information that may be required to be included in an Environmental management plan and a standard structure is as per the following.
- (a) Introduction:
 - (i) Description of the development proposal;
 - (ii) The need for the Environmental Management Plan in relation to the development;
 - (iii) Structure and scope.
 - (b) Aims of the Environmental Management Plan:
 - (i) As a framework for practically addressing and monitoring the significant environmental impacts of the proposal;
 - (ii) Compliance with legislative requirements and government policies;
 - (iii) Evidence that the works and operations are being conducted in an environmentally responsible manner.
 - (c) Identification of environmental issues. For each issue or environmentally impacting activity:
 - (i) Policy for addressing the issue/activity;
 - (ii) Performance criteria;
 - (iii) Implementation strategy;
 - (iv) Monitoring program;
 - (v) Details of how reporting will influence mitigation measures and how reporting is to take place.
 - (d) A Site Rehabilitation Plan prepared addressing the following matters:
 - (i) After use options, including the most likely or preferred option;
 - (ii) Conceptual design of after use infrastructure;
 - (iii) Proposed final surface contours;
 - (iv) Capping material to be used;
 - (v) Drainage system including final discharge point;
 - (vi) Provision for irrigation measures to promote vegetation growth;
 - (vii) Anticipated period of after care.

SC6.5.2.2 Environmental management plan (extractive industry activities)

- (1) An Environmental management plan shall be prepared to ensure that the extractive industry utilises mitigation measures that minimise any likely adverse impact on ecological and hydrological processes.
- (2) The Environmental management plan is to be prepared by a suitably qualified person.
- (3) The report should include reference to any applicable State policy contexts.
- (4) The Environmental Management Plan shall address the following matters:
 - (a) Site establishment works;
 - (b) Type and quantity of materials to be excavated per year and the time period involved;
 - (c) Limits of the area proposed to be extracted, processed and transported from the site;
 - (d) Method and staging of operations;
 - (e) Depth and extent of excavations;
 - (f) Existing contours of the land;
 - (g) Estimated depth and description of overburden;
 - (h) Energy efficiency measures and ongoing management plan;
 - (i) Erosion and sediment control measures during start up and for the life of the extractive industry;

- (j) Natural and cultural heritage preservation/management during start up and for the life of the extractive industry;
- (k) Noise control during start up and for the life of the extractive industry;
- (l) Air quality during start up and for the life of the extractive industry;
- (m) Vibration impacts during start up and for the life of the extractive industry;
- (n) Resource and waste management;
- (o) Stormwater management during start up and for the life of the extractive industry;
- (p) Vegetation management during start up and for the life of the extractive industry;
- (q) The capacity of the existing road system to carry the type and volume of traffic likely to use the road, during the life of the use;
- (r) The capacity of the proposed haul routes to carry the type and volume of traffic generated by the proposed use;
- (s) Landscaping Plan shall be provided that details the landscaping and buffer treatments for the life of the extractive industry. The plan must provide adequate buffering of the proposed excavation from nearby drains, waterways, roads, footpaths, buildings and other structures and buffer area management during start up and for the life of the extractive industry;
- (t) Rehabilitation to be undertaken following completion of identified stages of extraction in accordance with a Rehabilitation Management Plan which identifies:
 - (i) the final landform and levels of the rehabilitated site;
 - (ii) the location, shape and depth of any water bodies;
 - (iii) that the site will be stable and will not be subject to erosion;
 - (iv) that the site will be free of contaminants;
 - (v) that water quality downstream of the site will not be adversely affected in the future;
 - (vi) that the water quality of any water bodies on the site will be of a standard which can support fish life and other aquatic invertebrates;
 - (vii) the areas of the site to be revegetated and the species to be used in the revegetation.
- (u) That the visual amenity of the rehabilitated site is consistent with the visual amenity expected for the alternative uses;
- (v) The landform is suitable for alternative uses.

SC6.5.3 Guidance on meeting planning scheme outcomes

SC6.5.3.1 Related materials

- (1) Other documents which provide guidance on meeting purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) State Planning Policy – Guideline: Mining and extractive resources
 - (b) State Planning Policy Guideline: Guidance on development involving hazardous chemicals.
 - (c) Australian Standard AS1940: Storage & Handling of Flammable and Combustible Liquids

SC6.6 Planning scheme policy – FNQROC Regional Development Manual

SC6.6.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is:
 - (a) to provide design standards for development for acceptable outcomes;
 - (b) to provide guidance about satisfying assessment criteria in the planning scheme, other than for acceptable outcomes; and
 - (c) identify information that the local government may require or request for a development application.

SC6.6.2 Standards for development

- (1) For the purpose of satisfying acceptable outcomes in the planning scheme the following are to be treated as standards to be met:
 - (a) Development principles;
 - (b) Application procedures;
 - (c) Construction procedures;
 - (d) Design Manuals;
 - (e) Standard specifications for engineering works;
 - (f) Standard drawings for engineering works.

SC6.6.3 Guidance on meeting planning scheme outcomes

- (1) This planning scheme policy provides guidance on the following matters:
 - (a) Development principles;
 - (b) Application procedures;
 - (c) Construction procedures;
 - (d) Design Manuals;
 - (e) Standard specifications for engineering works;
 - (f) Standard drawings for engineering works.

SC6.6.4 Information Council may request

- (1) Council may request an assessment of the proposed development against the relevant standards of the [FNQROC Regional Development Manual](#) for the purpose of satisfying any other component of the planning scheme, other than an acceptable outcome.

SC6.7 Planning scheme policy – Landscape values

SC6.7.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme is to provide guidance about satisfying assessment criteria in the planning scheme and identify information Council may require for development affected by the Landscape values overlay code or for impact assessable development.

SC6.7.2 Information Council may request

SC6.7.2.1 General matters to be addressed

- (1) The planning scheme identifies areas of high and medium landscape value, scenic route buffer areas and/ or coastal landscape areas on the Landscape values overlay maps contained in Schedule 2.
- (2) Council may require either, or both, a visual impact assessment or site-specific investigation to demonstrate that proposed development meets the requirements and outcomes of the planning scheme.
- (3) Where necessary development applications are to be supplemented by additional information identifying relevant Landscape character types and landscape features which provide an important local context in defining those values that underlie the landscape values.
- (4) Visual impact assessments or site specific investigations will need to consider existing and valued landscape character features of the site and surrounds, and/ or combinations of attractive landscapes and scenic places, as well as important view corridors. Site specific identifications may be required to respond to landscape values identified, and may also confirm or amend the regional landscape character type evaluation.
- (5) Landscape character types are mapped on Regional landscape character types map contained within the Cairns Regional Council Scenic Amenity Study and are described within Table SC6.7.4.a.

Table SC6.7.2.1.a – Landscape Character Types

Character Type	Description
Forested mountains	Generally, the uplands of the mountain ranges which create the landscape 'frame' and viewshed edges, and form the scenic background to most views across the study area, and also from offshore. Forested hillslopes and headlands are also included in this character type. Example: the Macalister Range along the Northern Beaches.
Grassy hillsides	Grazed, burnt or disturbed hillsides, with grassy slopes often with a backdrop of forested mountain ranges.
Lowlands	The coastal and river plains and valley floors which are not used for sugar cane *, including forested woodland areas, grazed grassland and crops. *canefields are a separate character type.
Canefields	Generally flat areas used for sugar cane cultivation.

Character Type	Description
Coast	<p>The coastline is a mixture of mangrove inlets, rocky headlands and beaches, plus bays and inshore ocean.</p> <p>For the purposes of landscape character type mapping, forested headlands are included in forested mountains landscape character type. The area mapped as the coast landscape character type includes beaches, bays, mangroves and inshore ocean. Some of the beaches have an 'iconic' combination of white sand, fringing vegetation, and long views over the Coral Sea.</p>
Inland watercourses	The major rivers include the Barron, Russell and Mulgrave Rivers, plus the associated gorges and waterfalls and many tributary creeks that feed into these.
Urban	Urban areas include Cairns and its outer suburbs (including the Northern Beaches) and smaller towns.

SC6.7.2.2 Specific matters to be addressed

- (1) Council may request information to assess the extent to which development is likely to be consistent with the Landscape values of the Cairns Region.

The information detailed within Table SC6.7.5.a is to accompany development applications where required by the Landscape values overlay code or Council.

- (2) Landscape assessment requirements, the information required by Council to accompany development applications in areas triggered by the Landscape values overlay map, depends on the site and its specific landscape values. In some cases, preliminary assessment may indicate whether or not additional investigation and detailed submissions are required, at the discretion of Council.

Table SC6.7.2.2.a – Landscape values overlay code

Map category	Information required	Details
High landscape value areas (HLV areas)	Item 1: Context and setting	<p>Detail 1:</p> <ul style="list-style-type: none"> (1) provide a setting map or plan showing the proposed development in relation to ridges, peaks, escarpments, skyline features and watercourses; (2) identify the view shed(s) of significant viewpoints (including but not necessarily limited to views from scenic routes and lookouts, towns and public places, , beaches, gateways and other sensitive receptors); (3) identify existing vegetation on site.
	Item 2: Visibility – where can the development be seen from?	<p>Detail 2:</p> <ul style="list-style-type: none"> (1) provide a plan or similar identifying the zone of visual influence, showing places where the development is likely to

Map category	Information required	Details
		be visible from, at different viewing distances.
	Item 3: Appearance – what will the development look like when seen from scenic routes, lookouts, gateways and other public places?	Detail 3: (1) provide photographs, photomontage(s) or similar visualisation of the proposed development from public viewing place(s), including sight line sections, views to background landscape features, and details of height of existing screening vegetation.
	Item 4: Screening and other mitigation measures.	Detail 4: (1) details of proposed setbacks, screening, earthworks, built form, materials and colours; (2) identify vegetation to be retained and/ or removed; (3) provide a landscape concept and intent plan (provided at a minimum scale 1:500, with contours, plant species, spacing and establishment) for screening vegetation and visual integration.
And where also <i>Forested mountains</i> (character type as identified on the Landscape values overlay maps contained in Schedule 2)	Item 5: Landscape character analysis – consistency or incongruity with existing character*.	Detail 5: (1) description of existing character of surrounding area; (2) provide an analysis of proposed built form scale and character (including earthworks and landscape) and their contrast or compatibility with existing scale, character and landscape.
Medium landscape values areas (MLV areas)	Item 1: Context and setting	Detail 1: (1) provide a setting map or plan showing the proposed development in relation to view corridors, scenic routes, gateways and other significant



Map category	Information required	Details
		viewpoints and sensitive receptors.
	Item 2: Visibility – where can the development be seen from?	Detail 2: (1) provide a plan or similar identifying the zone of visual influence, showing places the development is likely to be visible from, at different viewing distances.
	Item 3: Appearance – what will the development look like when seen from scenic routes, lookouts, gateways and other public places?	Detail 3: (1) provide photographs, photomontage(s) or similar visualisation of the proposed development from public viewing place(s), including sight line sections with views to background landscape features.
	Item 4: Screening and other mitigation measures.	Detail 4: (1) details of proposed setbacks, screening, earthworks, built form, materials and colours; (2) identify vegetation to be retained and/or removed; (3) provide a landscape concept and intent plan (minimum scale 1:500, with contours, plant species, spacing and establishment) for screening vegetation and visual integration.
And where also <i>Canefields</i> (character type identified on the Landscape values overlay maps contained in Schedule 2)	Item 5: Landscape character analysis – consistency or incongruity with existing character.	Detail 5: (1) description of existing character of surrounding area, (2) provide an analysis of proposed built form scale and character (including earthworks and landscape) and their contrast or compatibility with existing scale, character and landscape.
Areas within 100m of lookouts; Areas within 100m of gateways.	Item 1: Context and setting	Detail 1: (1) provide a setting map or plan showing the proposed development in relation to view corridors, scenic routes, gateways



Map category	Information required	Details
		<p>and other significant viewpoints and sensitive receptors, (2) identify significant existing views.</p>
	<p>Item 4: Screening and other mitigation measures</p>	<p>Detail 4: (1) details of proposed setbacks, screening, earthworks, built form, materials and colours; (2) identify vegetation to be retained and/or removed; (3) provide a landscape concept and intent plan (minimum scale 1:500, with contours, plant species, spacing and establishment) for screening vegetation and visual integration.</p>
	<p>Item 5: Landscape character analysis</p>	<p>Detail 5: (1) description of existing character within the view corridor or surrounding the gateway; (2) provide an analysis of proposed built form, scale and character (including earthworks and landscaping) and their contrast or compatibility with existing scale and character.</p>
	<p>Item 6: View analysis</p>	<p>Detail 6: (1) sight lines and cross sections of proposed development and retained or landscaped vegetation, in relation to views to background or urban edge landscape features. Photomontages may be required to demonstrate or supplement.</p>
	<p>Item 7: Visual impact assessment</p>	<p>Details 7: (1) assessment of likely impacts on views, view corridors, visible features and landscape values, and/or sense of entry or edges.</p>

Map category	Information required	Details
View corridors	Item 1: Context and setting	Detail 1: (1) provide a setting map or plan showing the proposed development in relation to lookouts, view corridors and sensitive receptors.
	Item 5: Landscape character analysis	Detail 5: (1) description of existing character within view corridor or surrounding the gateway; (2) provide an analysis of proposed built form scale and character (including earthworks and landscape) and their contrast or compatibility with existing scale and character.
	Item 6: View analysis	Detail 6: (1) sight lines sections to the proposed development from lookouts or important view corridors shown on map xx including views to background landscape features.
	Item 7: Visual impact assessment	Detail 7: (1) assessment of likely impacts on views, view corridors, visible features and landscape values, and/ or sense of entry or edges.
Areas within 100m either side of a scenic route	Item 1: Context and setting	Detail 1: (1) provide a setting map or plan on a contour base showing the proposed development in relation to the scenic route; (2) detail the extent to which the development intrudes on views towards High landscape value areas.
	Item 4: Screening and other mitigation measures (where preliminary assessment indicates that development may intrude on views)	Detail 4: (1) details of proposed setbacks, screening, earthworks, built form, materials and colours; (2) identify vegetation to be retained and/or removed; (3) provide a landscape concept and intent plan (minimum scale 1:500,



Map category	Information required	Details
		with contours, plant species, spacing and establishment) for screening vegetation or visual integration.
	Item 6: View analysis (where preliminary assessment indicates that development may intrude on views)	Detail 6: (1) sight line sections and view corridor diagrams showing the likely view intrusion (arcs and proportion of views affected).
	Item 7: Visual impact assessment	Detail 7: (1) assessment of likely impacts on views, view corridors, visible features and landscape values, and/or sense of entry or edges.
Coastal landscape areas	Item 1: Coastal context and setting	Detail 1: (1) district setting map or plan showing the proposed development in relation to the coastline and routes (vehicle and pedestrian) leading to the coast; as well as lookouts, view corridors, gateways, scenic routes and sensitive receptors; (2) identify existing vegetation on site.
	Item 5: Landscape character and coastal relationship analysis*- consistency or incongruity with existing character.	Detail 5: (1) provide a description of the existing character of the surrounding areas, (2) provide an analysis of proposed built form scale and character (including earthworks and landscape) and their contrast or compatibility with existing scale, character and landscape with emphasis on those elements or features which contribute or relate to the coastal environment and visual experience.

Map category	Information required	Details
And where also in a High or Medium landscape value areas	Item 6: View analysis	Detail 6: (1) sight lines and cross sections of proposed development and retained or landscaped vegetation, in relation to views to ocean, beach, islands, headlands and other coastline features.
Rural/non-urban landscape character types ¹ : <ul style="list-style-type: none"> • forested mountains; • grassy hillsides; • lowlands; • canefields; • coast; • inland water-courses. For development exceeding 8.5 metres in height, or where associated with a rural activity exceeding 15 metres in height.	Item 1: Context and setting	Detail 1: (1) provide a setting map or plan showing the proposed development in relation to the Landscape character type(s)*.
	Item 2: Visibility – where can the development be seen from?	Detail 2: (1) provide a plan or similar identifying the zone of visual influence, showing places the development is likely to be visible from, at different viewing distances.
	Item 4: Screening and other mitigation measures	Detail 4: (1) details of proposed setbacks, screening, earthworks, built form, materials and colours; (2) identify vegetation to be retained and/or removed; (3) provide a landscape concept and intent plan (minimum scale 1:500, with contours, plant species, spacing and establishment) for screening vegetation or visual integration.
	Item 5: Landscape character analysis	Detail 5: (1) provide a description of the existing character of the surrounding area; (2) provide an analysis of proposed built form scale and character (including earthworks and landscape) and their contrast or compatibility with existing scale, character and landscape with emphasis on those elements or features which contribute or relate to the coastal

¹ Refer to related materials for descriptions of landscape character types in related material section.



Map category	Information required	Details
		environment and visual experience.

Note – more than one *map category* may apply to a development or site

SC6.7.3 Guidance on meeting planning scheme outcomes

SC6.7.3.1 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) Cairns Regional Council Scenic Amenity Study 2012.

SC6.8 Planning scheme policy – Landscaping

SC6.8.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to:
 - (a) provide design standards for development for acceptable outcomes;
 - (b) provide guidance about satisfying assessment criteria in the planning scheme; and
 - (c) identify information that the local government may require or request for a development application.

SC6.8.2 Guidance on meeting planning scheme outcomes

- (1) Landscape promotes and guides the character of the Cairns region as a tropical environment in which the built form is successfully integrated with the natural environment.
- (2) The planning scheme policy promotes the following principles:
 - (a) Offer a selection of tree species suitable to the environmental conditions of the Cairns region;
 - (b) Promote the use of native trees to benefit and enhance our biodiversity and make links to our natural environment;
 - (c) Promote best practice in tree planting to reduce tree failure;
 - (d) Promote the concept of the “urban forest” to provide widespread green cover for our city streets.
- (3) Council may require the preparation of a landscape plan and maintenance schedule and specific landscape and species requirements.
- (4) The information Council may request provides further guidelines for preparing a landscape plan and maintenance schedule.

SC6.8.2.1 Cairns – The Rainforest City

- (1) The purpose of the Cairns – The Rainforest City landscape plan is to provide guidance on landscaping that meets the image and tropical environs of the Cairns City area.
- (2) The document covers the former Cairns City area and divided into the following sections:
 - (a) [Part A](#) – context and document objectives;
 - (b) [Part B](#) – design guidelines;
 - (c) [Part C](#) – tree selection;
 - (d) [Part D](#) – precinct plans – nominates the tree palette and design objectives for each precinct;
 - (e) [Part E](#) – Cairns City Centre – provides a detailed master plan for the Cairns City Centre and addresses both landscape and streetscape issues.

SC6.8.2.2 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes include:
 - (a) Planning Scheme Policy - FNQROC Regional Development Manual.

SC6.8.3 Information Council may request

- (1) A landscape plan and maintenance schedule is to be prepared by a suitably qualified person in accordance with the requirements set out in Table SC6.8.4.a.

Table SC6.8.3.a – Details for preparing a landscaping plan

Type	Detail required
Cartographic conventions	Title, date, drawing number; Scale; North Point; Legend; Details of the author (name, qualifications/ experience).
Contextual information	Easements and other encumbrances; Adjoining land uses; Street names; Existing and proposed surface levels.
Existing conditions	Soil types; Existing vegetation – location, size and species; Watercourses; Drainage; Services – underground and overhead.
Extent of works	New vegetation; Existing vegetation protection and/ or removal; Temporary protective drainage and slope stabilisation measures; Soft and hard surface materials; Structures, fencing, retaining walls, entry walls, recreation features, water features, fixtures and furniture; Irrigation system including backflow prevention, filtration details and method of drainage; Hardscape Plan in accordance Figure SC6.8.4.a – Typical hard landscape plan
Planting plan and schedule	Location, number and minimum size at time of planting; Dimensions of planting beds; Botanic and common names; Endemic or native species to be planted suitable to the area; Quantities and densities; Planting sizes; Canopy height and spread at 2 years and 5 years from planting; Turving and edging treatments; Planting plan and plant schedule in accordance with Figure SC6.8.4.b – Typical planting plan and plant schedule.

Type	Detail required
Landscape specification	<p>A description of the overall scope of the landscape works;</p> <p>A schedule of drawings to be read in conjunction with the specification;</p> <p>Details of standards and guidelines to be followed;</p> <p>Description of site preparation measures including protection measures of existing vegetation, protective drainage and slope stabilisation measures, protection of existing site features, weed eradication, soil preparation and stockpiling and mulching.</p>
Maintenance schedule	<p>Details of maintenance monitoring, inspection and reporting;</p> <p>Specified time periods and work requirements for routine maintenance over a period of a year once the landscaping has been established;</p> <p>Outline requirements and details of pruning, trimming, weeding, re-mulching and restructuring of plants;</p> <p>Annual budget costs.</p>

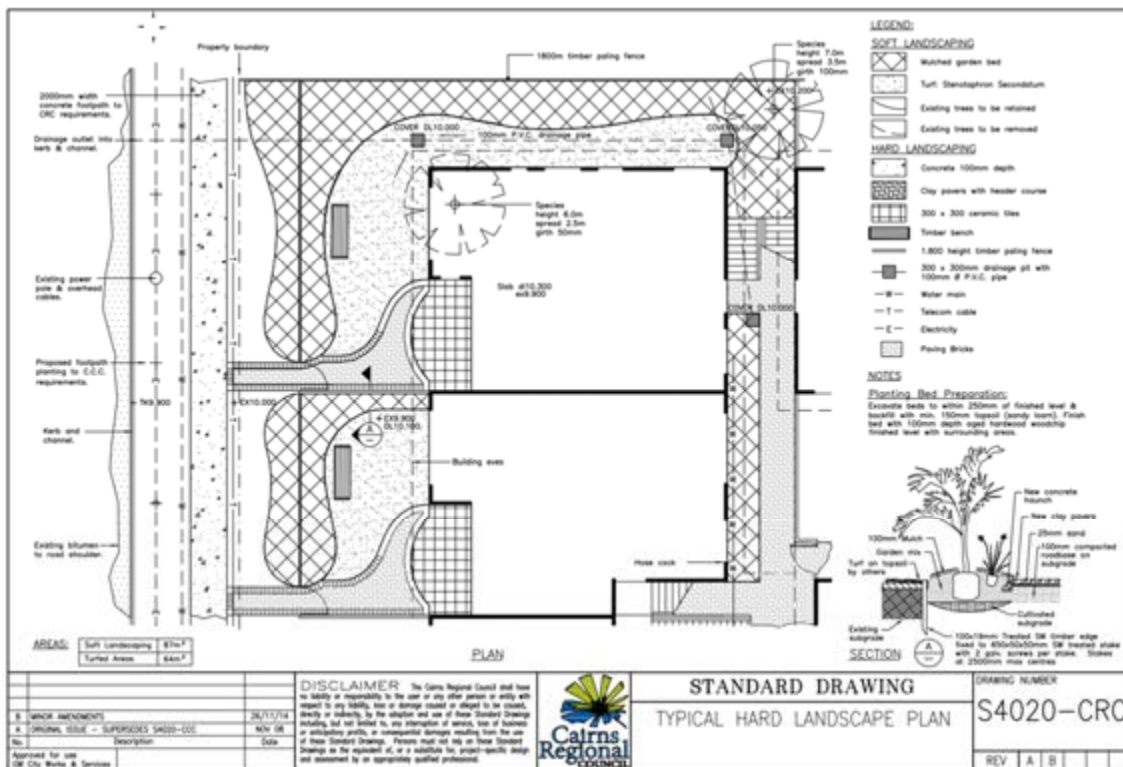


Figure SC6.8.4.a – Typical hard landscape plan

SC6.9 Planning scheme policy – Natural areas

SC6.9.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to:
 - (a) Identify and provide guidance about information that may be required to support a development application;
 - (b) Provide guidance on preparing an ecological assessment report, vegetation audit report and waterway audit report.

SC6.9.2 Information Council may request

- (1) The planning scheme identifies areas of ecological value on the Natural areas overlay map contained within Schedule 2;
- (2) An ecological assessment may be required or requested in conjunction with the assessment of proposed development proximate to areas of ecological value or where development potentially impacts on the values of these areas to:
 - (a) Provide or expand on existing ecological information known about a site including but not necessarily limited to Matters of National Environmental Significance (MNES) and Matters of State Environmental Significance (MSES);
 - (b) Quantify the extent of adverse impacts on ecological values on-site and in upstream and downstream catchments, in some cases including potential affects on the Great Barrier Reef;
 - (c) Detail mitigation measures proposed to be undertaken to avoid in the first instance or where adverse impacts cannot be avoided minimise adverse impacts on ecological values.

It is recommended that the proponent should consult with Council prior to the preparation of an ecological assessment report in order to ensure that all issues are covered in the report.

- (3) The planning scheme seeks to avoid adverse impacts on ecological values. Where an adverse impact cannot be avoided, the impact must be mitigated and minimised. Where mitigation or minimisation cannot occur then development may be considered to be inappropriate for an area. However, where the impacted value or area impacted upon is limited, appropriate strategic rehabilitation for improved and increased habitat, waterway or wetland extent may be considered.

SC6.9.2.1 Ecological assessment report

- (1) The purpose of an ecological assessment report is to ensure that the impacts of development on ecological values are quantified and appropriately mitigated to ensure biodiversity values are protected and maintained.
- (2) The Ecological assessment report is to be prepared by a suitably qualified person.
- (3) As a general guide, the following format and description indicates the depth of detail required:
 - (a) Summary and conclusions:
 - (i) Site location – a brief description of the site and surrounding areas, including the location of associated infrastructure, development and figures/maps of all locations;

Note – a site assessment may assist in establishing the preliminary facts about the site.
 Planning scheme policy – Site assessments provide additional guidance about preparing a site assessment.

- (ii) Project description – summarise the objectives of the project and proposal for the construction and operation of the project and associated infrastructure developments;
 - (iii) Alternative siting and design for proposed development (for development within areas containing MNES or MSES, declared fish habitat areas, or within a wetlands or waterway) – summarise the features of alternatives investigated and detail the reasons for choosing the preferred option;
 - (iv) Existing environment – summarise the features of the physical, biophysical and built environment relating to the proposed development and associated infrastructure;
 - (v) Principal potential environmental impacts - summarise the main potential impacts of the project (direct, indirect and cumulative), both beneficial and detrimental, and any alternatives, on the existing environment;
 - (vi) Environmental monitoring, protection and management procedures - summarise the safeguards, standards and management procedures proposed to protect the environment, including environmental monitoring and the methods proposed to ameliorate or alleviate the potential impacts;
 - (vii) Conclusions - summarise the key strategies and amendments to the proposal to address any adverse environmental impacts.
- (b) Background and scope of proposal:
- (i) Outline the purpose and objectives of the proposed development;
 - (ii) Discuss the following to illustrate the background of the proposal:
 - (A) the need for the proposed development or works;
 - (B) the history of the proposal formulation;
 - (C) any alternatives considered and reasons for choosing the preferred option;
 - (D) action already taken.
 - (iii) Description of the project:
 - (A) the precise nature and scale of works;
 - (B) the location and site requirements;
 - (C) the plant and/ or building layout, size and design and the development staging program;
 - (D) the range and quality of materials to be produced;
 - (E) the production process;
 - (F) possible waste discharges;
 - (G) on-site works and operations;
 - (H) off-site works and operations;
 - (I) transport systems;
 - (J) infrastructure requirements;
 - (K) the workforce;
 - (L) project life and time scale for completion;
 - (M) the possible future expansion of associated development / works.
 - (iv) Use of resources – detail the implications of the proposal for the use of natural resources, including the quantity and source of water, raw materials and energy to be used.
- (c) Existing environment:
- (i) site and locality;
 - (ii) landform, geology and geomorphology;
 - (iii) hydrology (surface water and groundwater);
 - (iv) climate;
 - (v) air quality;
 - (vi) noise environment;

- (vii) Coastal processes (if applicable);
 - (viii) Ecological status / significance including:
 - (A) Types, structures and location of vegetation associations on the site and surrounding areas, including measures of foliage cover, health and natural regeneration;
 - (B) Species of flora and fauna (aquatic and terrestrial, native and introduced), weed and pest species, including the location and abundance of each species, especially the presence of rare or endangered species or MNES or MSES;
 - (C) Biodiversity values and conservation significance – bioregional status, local and national status;
 - (D) Special ecological values of the site such as refuge habitat, a breeding habitat, a corridor for wildlife movement and use by migratory species.
 - (ix) Social, cultural and economic characteristics;
 - (x) Landscape character and visual amenity;
 - (xi) Infrastructure.
 - (xii) Transport;
 - (xiii) Water supply;
 - (xiv) Effluent treatment and disposal;
 - (xv) Solid waste;
 - (xvi) Power and communications.
- (d) Potential impacts of the development on the existing environment – identify and detail the nature of any potential impacts, including cumulative impacts of the development on the existing environment (adverse or beneficial, direct or indirect, short or long term or incremental) including potential impacts on:
- (i) Geology and geomorphology;
 - (ii) Hydrology (surface and groundwater);
 - (iii) Ecology status / significance;
 - (iv) Air quality;
 - (v) Noise levels;
 - (vi) Light emissions;
 - (vii) Coastal processes (if applicable);
 - (viii) Infrastructure;
 - (ix) Potential events;
 - (x) Safety program.
- (e) Impact monitoring, protection, rehabilitation, risk management and post development management procedures:
- (i) Provide an Environmental management plan.

Note- Refer to Planning Scheme Policy – Environmental management plan.

- (f) Consultation:
 - (i) The proponent should consult with relevant interest groups and parties likely to be affected by the proposal, and issues generated should be documented along with any proposed measures to address these issues.
- (g) References:
 - (i) Listing other reference material and literature used;
 - (ii) List authorities consulted and contributors to the report; Cross-reference the reference material in the text to allow easier access to information.

- (h) Appendices:
 - (i) Include detailed technical information collected through the investigation;
 - (ii) Include relevant documents or correspondence from government authorities.

SC6.9.2.2 Vegetation audit report

- (1) The purpose of a vegetation audit report is to detail the requirements for undertaking on-site vegetation and fauna audit.
- (2) The vegetation report is to be prepared by a suitably qualified person.
- (3) It is recommended that the proponent should consult with Council prior to the undertaking of a vegetation audit report in order to ensure that all issues are covered in the report. As a general guide a detailed vegetation survey and assessment of the existing vegetation is required to identify the impacts on existing vegetation as a result of any proposed development.

SC6.9.2.3 Waterway audit report

- (1) The purpose of a waterway audit report is to detail the existing condition and post development condition of works in or around waterways.
- (2) The waterway audit report is to be prepared by a suitably qualified person.
- (3) It is recommended that the proponent should consult with Council prior to the undertaking of a waterway audit report in order to ensure that all issues are covered in the report. As a general guide the following format and contents description indicates the depth of detail required:
 - (a) Detail the existing condition of the waterway, addressing vegetation coverage and waterway quality and integrity and whether the waterway is utilised as a habitat corridor;
 - (b) Demonstrate the environmental management measures to mitigate the impacts of development;
 - (c) Demonstrate that in-stream habitat elements such as fallen logs, overhangs and rocks are to be left in situ, replaced or restored;
 - (d) Provide hydraulic calculations which allow for the presence or establishment of a vegetated (closed canopy) waterway area to improve bank stability and in-stream ecological values and to restrict weed growth;
 - (e) Demonstrate that the development does not damage the root zone of vegetation through compaction, excavation or filling;
 - (f) Detail any remediation and rehabilitation works necessary to ensure that waterway quality and integrity is maintained and enhanced.

SC6.9.3 Guidance on meeting planning scheme outcomes

SC6.9.3.1 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) State Planning Policy – state interest guideline - Biodiversity;
 - (b) State Planning Policy fact sheet: Matters of national and state environmental significance;
 - (c) Guideline: Protecting wetlands of high ecological significance in Great Barrier Reef Catchments;
 - (d) Queensland wetland buffer planning guideline;

- (e) Queensland wetlands program on wetland information;
- (f) *Environmental Protection and Biodiversity Conservation act 1999 (Cwlth)*;
- (g) Significant Impact Guidelines 1.1: Matters of national environmental significance (Cwlth);
- (h) *Coastal Protection and Management Act 1995*;
- (i) *Transport Operations (Marine Pollution) Act 1995*;
- (j) *Great Barrier Reef Marine Park Act 1975 (Cwlth)*;
- (k) *Marin Parks Act 2004*;
- (l) *Environmental Protection Act 1994*;
- (m) *Environmental Protection (Water) Policy 2009*;
- (n) *Environmental Protection (Noise) Policy 2008*;
- (o) *Environmental Protection (Air) Policy 2008*;
- (p) *Water Act 2000*;
- (q) SPP Guideline: Healthy waters;
- (r) SPP Guideline; Air, noise and other emissions (under development);
- (s) Queensland Urban Drainage Manual;
- (t) Guideline for implementing policies and plans for managing nutrients of concern for coastal algal blooms in Queensland;
- (u) ANZEC and ARMCANZ (2000) Australian and New Zealand guidelines for fresh and marine water quality;
- (v) SPP Guideline: Coastal environment (under development);
- (w) Fisheries Act 1994;
- (x) Fish Habitat Management Operational Policy;
- (y) State Development Assessment Provisions.

SC6.10 Planning scheme policy – Natural hazards

SC6.10.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide guidance and identify information Council may request for development within an identified natural hazard risk area.

SC6.10.2 Information Council may request

SC6.10.2.1 General matters to be addressed

SC6.10.2.1.1 Planning scheme intent

- (1) The planning scheme seeks to avoid the risk and impacts of natural hazards on people and property. In meeting this high level strategic intent, development needs to respond to the presence of bushfire, landslide, flood and storm tide hazard events that occur in the Cairns region. The form of response for development will vary from site to site based on the severity and impact of an event and the impact over different parts of the region and the type of development proposed, and the relevance of emerging science in relation to climate change.

SC6.10.2.1.2 Modelling and studies background

- (1) Modelling of catchment based flood events has been undertaken particularly over the urban parts of the former Cairns city area, the Barron river delta flood plain, and the Mount Peter growth area. Development needs to respond to the outcomes of individual catchment management plans and flood plain management to ensure the continued safety of existing and growing urban areas is achieved.
- (2) Broad flood plain mapping is provided for the balance of the Cairns region. In these areas the proponent of development is required to undertake an assessment of the potential flood hazard and respond through built form to reduce the risk to people and property in these areas. Mapping of the flood plain will be refined over time as more detailed catchment based modelling is undertaken.
- (3) Modelling of storm tide inundation has been undertaken for the Cairns region. The modelling incorporates best known science in relation to the nature and impact of cyclonic activity and incorporates a sea level rise of 0.8 metres to incorporate climate change to 2100. The modelling utilised the most up to date Lidar data for the region providing a Digital elevation model with which to base levels of inundation on.
- (4) Bushfire hazard mapping has been sourced from the State Planning Policy default mapping (as at January 2014)
- (5) Potential landslip areas (medium and high) are identified within the Potential landslip hazard overlay. The modelling does not take into consideration all aspects that contribute to landslide risks. However, the mapping corresponds to the slope and potential stability of land and is therefore used as a guide as to where geotechnical investigations are required for new development.

SC6.10.2.1.3 Meeting planning scheme outcomes

- (1) Council may request additional information to demonstrate compliance with the strategic framework and the applicable planning scheme codes.

- (2) In responding to information requests, development may need to have regard to the relevant background information and studies for each type of natural hazard represented and responded to by the planning scheme.

SC6.10.2.2 Specific matters to be addressed

SC6.10.2.2.1 Natural hazard assessment – Landslide risk assessment report

- (1) A geotechnical report and Natural hazard assessment – Landslide report is prepared by a qualified and experienced geotechnical engineer with references naming other similar reports prepared by the consultant or consultants.
- (2) This report/s shall include, but not be limited to assessment of the following:
- (a) Existing site conditions, including:
 - (i) soil type, depth and properties;
 - (ii) rock type and properties;
 - (iii) depth of weathering;
 - (iv) angles of dip of rock bedding planes and fault planes;
 - (v) slope stability;
 - (vi) erosion stability;
 - (vii) existing surface water characteristics;
 - (viii) proposed treatments for surface water;
 - (ix) location of and concentration of ground water;
 - (x) disposal of sewage;
 - (xi) allotment specific geotechnical assessments;
 - (xii) history of any known geological problems or occurrences on the site or adjoining property.
 - (b) Details of measures proposed to be incorporated in the development to ensure safe and otherwise satisfactory construction practices, including:
 - (i) measures to be adopted to control soil and rock movement from future weathering and saturated conditions; and
 - (ii) design matters to be considered during the construction of building foundations, roads, driveways or any other works involving the excavation or filling of any land.
 - (iii) development of allotments and dwellings outside Potential landslip areas.
 - (c) A slope stability and analysis report including revegetation and stabilisation measures is provided. The measures shall address the driveway batters (existing and any further proposed works) as well as the earthworks to be undertaken for the construction of within proposed development envelopes.
 - (d) The report/s include a statement of methodology regarding the testing procedures adopted, the scope of the report and the tests undertaken to ensure the findings of the report are representative of the site.
 - (e) Development proposals in the identified Hillslopes overlay areas provide a detailed visual assessment of the proposed stability works to ensure visual impact of the works can be validated.

SC6.10.2.2.2 Natural hazard assessment – Bushfire management plan (BMP)

- (1) A Bushfire management plan (BMP) will be prepared by a suitably qualified person and references naming other similar reports prepared by the consultant or consultants should also be included.

- (2) A BMP is required where development proposes to materially increase the number of people living or working (except for single dwellings on existing lots) in a High severity bushfire hazard area, or that involve hazardous materials that are manufactured or stored in bulk in a High or Medium severity bushfire hazard area. A BMP may also be required for certain types of community infrastructure in either a Very high, High or Medium bushfire hazard area.
- (3) In preparing a BMP the local government, responsible Rural and/or Urban fire brigade, and managers of adjacent parks or reserves should be consulted. It is also desirable to consult other agencies or individuals, such as previous owners of the site or neighbours, who may have local knowledge of the severity and nature of the bushfire hazard.
- (4) A comprehensive BMP should include the following:
 - (a) An assessment of the nature and severity of the bushfire hazard affecting the site. The key factors to be considered are vegetation type, slope and aspect and are an existing Bushfire hazard assessment. The assessment should also address other site-specific factors that are important in devising suitable bushfire mitigation strategies. These factors could include matters such as: likely direction of bushfire attack, environmental values that may limit mitigation options, location of evacuation routes and/or safety zones.
 - (b) An assessment of the specific risk factors associated with the development proposal, including matters such as the nature of activities and materials to be conducted/stored on the site, numbers and types of persons likely to be present, particular warning and/or evacuation requirements.
 - (c) A plan for mitigating the bushfire risk identified in (a) and (b). The plan should address all of the matters raised and recommend specific mitigation actions for the proposed development including:
 - (i) road and lot layout and land use allocations;
 - (ii) firebreaks and buffers;
 - (iii) building locations or building envelopes;
 - (iv) landscaping treatments;
 - (v) warning and evacuation procedures and routes;
 - (vi) fire fighting requirements including infrastructure;
 - (vii) any other specific measures such as external sprinkler systems and alarms;
 - (viii) purchaser/resident education and awareness programs;
 - (ix) ongoing maintenance and response awareness programs.
- (5) The level of detail required will vary with the nature of the development proposal and site, and with the type of development application.
 - (a) If the application must be followed by another application before works can commence (e.g. a Material change of use application that must be followed by a Reconfiguration of a lot application), then matters of detail could be dealt with at the later application stage;
 - (b) The level of detail required to accompany a particular application should be determined in consultation with the assessment manager. However, it is recommended that, at a minimum, items (a), (b) and (c) (i) – (iii) outlined above in (4) should be addressed in any BMP.

SC6.10.2.2.3 Natural hazard assessment – Flood and inundation hazards

- (1) A detailed hydrologic and hydraulic study is required to demonstrate that the proposed development will not create adverse flooding or storm tide impacts directly or cumulatively upon external properties during design flood and storm tide events ranging

from 50% AEP to 0.2% AEP (in terms of peak water level, discharge or velocity). Modelling shall also demonstrate that immunity consistent with the requirements of Planning scheme policy – FNQROC Regional Development Manual will be provided.

- (2) The study will be prepared by a suitably qualified person and references naming other similar reports prepared by the consultant or consultants should also be included.
- (3) The study will contain the following elements and matters:

Modelling

- (a) Development of detailed hydrologic and hydraulic models is required. These models may be based upon those previously developed and accepted by Council.

Sensitivity Testing

- (b) In recognition of the sparsity of calibration information, a sensitivity test shall be undertaken using both the hydrologic and hydraulic models to investigate the impact of model parameters upon peak water level predictions. Parameters shall be varied within generally accepted ranges. Parameters to be varied include the storage lag parameter (α) within URBS and the hydraulic roughness coefficient (n) within MIKE11. Simulations shall be undertaken assuming upper bound, lower bound and median values as discussed further below.

Existing Case Simulations

- (c) Existing case model results shall be produced for the waterway flood events ranging from 50% AEP to 0.2% AEP, assuming model parameters determined from the sensitivity tests. A range of tailwater levels shall be investigated (with reference to the Drainage Management Plan as available) to confirm any impact upon peak water levels at the site. The existing case simulations shall assume that current and already approved development is in place. The adopted existing case flood level predictions shall assume median values for the model parameters (α and n).

Developed Case Simulations

- (d) Developed case hydrologic and hydraulic models shall be produced. The proposed development shall be represented in the hydrologic and hydraulic models, considering:
 - (i) any earthworks within the extent of 1% AEP flood event inundation;
 - (ii) urbanisation of the site.

Design event simulations consistent with the existing case shall be undertaken using the developed case models.

Impact Assessment

- (e) Comparisons of the developed case results and existing case results shall be used to demonstrate that proposed development would not adversely impact properties external to the site under waterway flood events of the magnitudes specified. Impacts shall be calculated assuming median and upper bound model parameter values (α and n).

Particular locations where this should be demonstrated, shall be agreed to by the applicant/owner and Council prior to finalising the study, and shown on a plan.

Flood Immunity

- (f) Model results from the developed case simulations must demonstrate that flood immunity consistent with the requirements of Planning scheme policy – FNQROC Regional Development Manual. Fill level and floor level requirements shall be determined assuming median model parameter values (α and n). Additionally, floor levels shall be checked against upper bound water levels.

Deliverables

- (g) A Hydraulic report shall be submitted to Council to describe the methodologies used, assumptions made and present the modelling results. The report shall include figures to illustrate models details and results. Sufficient information shall be provided in the report to facilitate independent review of the assessment. Electronic copies of the final models shall be provided to Council for independent review.
- (4) The planning scheme outlines the strategic intent and outcomes for development within the Barron river delta, in particular its importance for the floodplain. It is intended that the findings of the Barron delta study will guide development proposals with regard to flooding, in particular:
- (a) The documents “Barron river delta flood study – Development in the Delta” Parts A and B are a guide by which potential developers, consultants and other technical users can gain an understanding of the function of the Barron river delta floodplain for the protection of existing properties.

The “Barron river delta flood study – Development in the Delta” Parts A and B (Revision A October 94) includes the following components:

Part A – Technical Guide

Part A explains the aims and results of the study and describes the computer model, which was developed as part of the study. Various drawings are included to provide information on design flows and flood levels.

Part B – Policy

This document sets out the rationale Council’s policy on development in the Barron river delta. Included with this document are details of the procedure to be followed in using the model in association with any development application or when undertaking detailed design.

- (b) Cairns Regional Council has adopted the numerical hydraulic model developed during the Barron river flood study and subsequently updated as the benchmark by which all development proposals are assessed. The adoption of a single model operated and interpreted by those skilled in its development and use is intended to ensure that all development is assessed and decided in a consistent and objective manner. Individual development applications are to be considered in detail using the Barron delta flood model so that the impacts on flood behaviour and impact can be assessed both in respect to the project itself and to other areas.

SC6.10.3 Guidance on meeting planning scheme outcomes

SC6.10.3.1 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
- (a) State planning policy;

- (b) Cairns Regional Council Natural hazards study May 2013;
- (c) Drainage management plans;
- (d) Cairns region storm tide inundation study 2013;
- (e) Planning scheme policy – FNQROC Regional Development Manual.

SC6.11 Planning scheme policy – Neighbourhood Character

SC6.11.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to:
 - (a) Provide guidance on development of neighbourhood character places;
 - (b) Identify information that may be required to support a development application where affecting a neighbourhood character place;
 - (c) Provide guidance on preparing a photographic record for a neighbourhood character place.

SC6.11.2 Guidance on meeting planning scheme outcomes

SC6.11.2.1 Planning scheme intent

The following provides guidance on achieving outcomes consistent with a neighbourhood character area.

- (1) Consistent and inconsistent design solutions for carports, sheds and outbuildings located in Area B.



CONSISTENT	CONSISTENT	CONSISTENT	CONSISTENT	INCONSISTENT	INCONSISTENT
Garage behind	Garage to side and set-back from front	Narrow and open garage at front	Garage under with screen gates	Incompatible roof form at front	Wide garage at front with roller doors

Figure SC6.11.3.a – Consistent and inconsistent design solutions for carports, sheds and outbuildings located in Area B

- (2) New buildings or works in a residential neighbourhood character streetscape

Consistent design solution



Inconsistent design solution

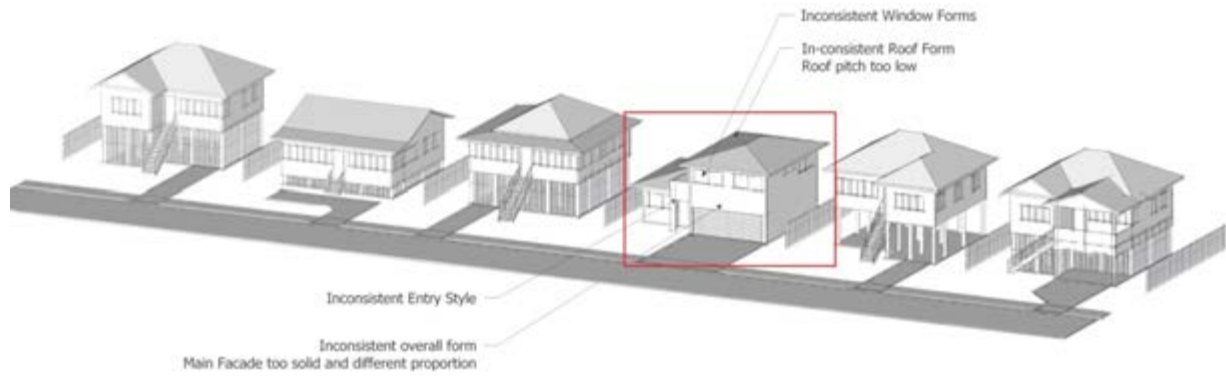


Figure SC6.11.3.b – Consistent and inconsistent design solution for new buildings or works in a residential neighbourhood character streetscape

(3) New buildings or works in a commercial neighbourhood character streetscape.

Consistent design solution



Inconsistent design solution



Figure SC6.11.3.c – Consistent and inconsistent design solutions for new buildings or works in a commercial neighbourhood character streetscape

(4) Window design and positioning

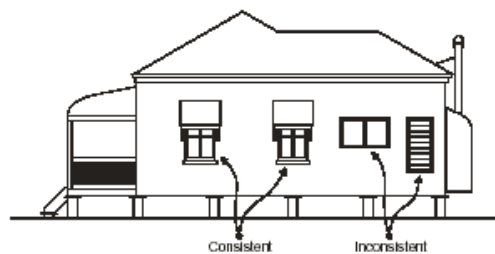
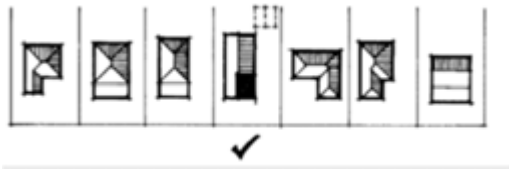


Figure SC6.11.3.d – Consistent and inconsistent design solutions for window design and positioning

(5) Building alignment

The new house setback is consistent with the streetscape pattern, and the carport is either an integral element of the house or is located within Area A.

Consistent Design solution



Inconsistent design solution

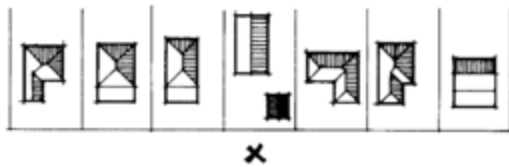


Figure SC6.11.3.e – Consistent and inconsistent design solutions for building alignment

(6) Building orientation

Consistent design solution



Inconsistent design solution



Figure SC6.11.3.f – Consistent and inconsistent design solutions for building orientation

(7) Development involving the enclosure of the understory of a building

Consistent design solution





Inconsistent design solution



Figure SC6.11.3.g – Consistent and inconsistent design solutions for development involving the enclosure of the understory of a building

SC6.11.2.2 Neighbourhood character area statements and descriptions

The following tables provide a summary of each of the Neighbourhood character areas within the region including a character statement and character elements which are generally displayed within each area. A site assessment may be required to identify the specific character elements displayed by the character place and its wider setting and streetscape.

Table SCSC6.11.2.2.a – Neighbourhood character area 1 - Aeroglen

Character statement	
<p>Located at the foot of the Mount Whitfield Conservation Park, the neighbourhood character area forms part of the original suburb of Aeroglen.</p> <p>A variety of architectural styles exist within the area, with a strong presence of dwellings from the inter-war and immediate post-war periods. Roof styles in the area include various pitched styles with some skillion forms present. Dwellings are mostly parallel to the street with many incorporating carports under the dwelling. The flatter areas of the neighbourhood character area provide denser tropical gardens and grassy verges.</p>	
Character elements	
Architectural style	A mix of well maintained homes dating back to the inter-war and immediate post-war eras.
Building materials	Timber, fibro sheeting, brick, render, corrugated steel roofs.
Roof style	Various pitched styles with some skillion roof forms present.
Front setbacks	Generally 3-8 metres although some are larger depending on the topography.
Side setbacks	Generally 1-5 metres, although some are larger depending on the topography.
Building height	Mainly low-set and high set Queenslanders, some of which have been enclosed underneath.
Car parking /vehicle storage	Carports and garages are often present, with many located under the dwelling.

Lot frontages	Generally 18-20 metres, with some lots down to 15m and others up to 30m.
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Table SCSC6.11.2.2.b – Neighbourhood character area 2 - Babinda

Character statement	
<p>This neighbourhood character area is located within Babinda and contains a series of small scale timber and metal sided single fronted houses on the south side of the street, and a high-set group of 1930s timber double fronted houses on the north side. Both sides of the street display a high level of consistency in their arrangement and respective periods of development. There is a strong sense of spaciousness in the street due to the relatively wide roadway with grassed shoulders, wide nature strips and sparse vegetation.</p> <p>Views to the west are also dominated by the mountain ranges in the distance. The visibility of the mountains over the roofs of dwellings has the effect of reducing the dominance of the built form.</p>	
Character elements	
Architectural style	Victorian style dwellings on the south side of the street and 1930s Interwar style Queenslander dwellings on the north side of the street.
Building materials	Timber and corrugated steel, both on the roofs and sides of dwellings.
Building form	Generally single or double fronted. On the northern side of the street, many buildings have a front room projected towards the street.
Roof style	On the north side of the street roofs have gabled ends fronting the street, while on the south side, roofs have hipped ends fronting the street.
Front setbacks	Dwellings are generally set back around 5 metres from the front boundary, although this can appear larger due to the nature strips.
Side setbacks	Generally between 1 and 2 metres on one side and between 4 and 5 on the other.
Building height	Generally single storey, although on the north side of the street dwellings are highset and some have been enclosed underneath.
Car parking /vehicle storage	Car ports and garages are generally not provided or are located to the rear of dwellings.
Lot frontages	Between 15 and 20 metres on the northern side of the street and around 20 metres on the southern side.

Table SCSC6.11.2.2.c – Neighbourhood character area 3 – Cairns North

Character statement	
<p>This neighbourhood character area is significant owing to its relatively intact pre-war and inter-war style dwellings set within lush green landscapes. There is a high degree of consistency in the form, scale, light colours and setbacks of the dwellings that create a sense of order and rhythm to the streetscapes. The tropical gardens of dense foliage, tall palms and canopy trees are enhanced by the wide nature strips and grassy verges, creating a soft and spacious landscape to compliment the high-set Queenslander dwellings.</p>	
Character elements	
Architectural style	Predominantly pre-war and inter-war high-set Queenslanders.
Building materials	Predominantly chamferboard, with corrugated steel roofs. Some fibro sheeting is present.
Building form	A mix of hipped, asymmetrical and multi-gabled bungalows.

Roof style	Pitched, with either hipped or gabled ends to the street
Front setbacks	Generally 4-6 metres, with several dwellings up to 8 and 10m.
Side setbacks	Generally 0-3 metres.
Building height	Mix of single and double storeys, with a number of highset Queenslanders, some of which have been enclosed underneath.
Car parking/vehicle storage	Carports and garages are present and are generally located under the dwelling.
Lot frontages	Generally 10-15 metres lots, with some 20 metre wide lots.

Table SCSC6.11.2.2.d – Neighbourhood character area 4 – Earlville

Character statement	
<p>Earlville contains a collection of high-set timber houses dating from the 1940s and early 1950s. Dwellings have a number of common aspects that result in a high level of consistency including the combination of hip and gable roofs and the detailing of casement windows which all follow a typical pattern of four pane casement sashes. Wide streets, generous nature strips and low, permeable or non-existent front fences result in a spacious feel. This character is complemented by established vegetation on private property and views to mountain ranges. Of particular note is the subdivision pattern around Hoad Street, which includes dwellings positioned around an oval reserve comprising established vegetation. The reserve contributes substantially to the neighbourhood character area.</p>	
Character elements	
Architectural style	Consistent interwar and post-war styles, dating from the 1940s and early 1950s.
Building materials	Predominantly timber with steel roofing. Houses are generally highset on concrete stumps.
Building form	Generally double or triple fronted, with a projecting room, either in the centre or the side of the building, fronting the street.
Roof style	Pitched, with a mix of hipped and gabled ends fronting the street.
Front setbacks	Generally medium to large, between 6 and 10 metres.
Side setbacks	Generally medium to large, between 1 and 3 metres on one side and between 3 and 5 metres on the other.
Building height	Predominantly single storey, with some highset Queenslanders enclosed underneath.
Car parking/vehicle storage	Car ports and garages are either absent or are provided to the side or rear of the dwelling. Occasionally vehicle storage is provided beneath dwellings.
Lot frontages	15 to 20 metres.

Table SCSC6.11.2.2.e – Neighbourhood character area 5 – Edge Hill

Character statement	
<p>This neighbourhood character area is characterised by the rainforest landscape and the hilly topography that influences architectural styles. Building styles vary from inter-war and post-war dwellings to contemporary dwellings.</p> <p>The built form generally sits below the height of established trees and tall palms, resulting in the dominance of vegetation. In some cases, vegetation is used as a front boundary treatment, resulting in blurred boundaries between the public and private realms.</p>	

Character elements	
Architectural style	Inter-war and occasional post-war and 1960s styles.
Building materials	Predominantly timber with corrugated steel roofs.
Building form	A mix of styles including double-fronted with projecting front room.
Roof style	Pitched, with hipped and gabled ends fronting the street.
Front setbacks	Varied, generally between 3 and 9 metres.
Side setbacks	Generally 1-3 metres.
Building height	Single and two storeys dwellings, including low-set and high-set Queenslanders, some of which have been enclosed underneath.
Car parking/vehicle storage	Mostly provided in car ports, with some garages or open air car parking to the side of the dwelling.
Lot frontages	15-20 metres.

Table SCSC6.11.2.2.f – Neighbourhood character area 6 – Freshwater

Character statement	
<p>Freshwater has a distinct landscape character that is defined by its undulating topography, established tropical gardens and surrounding mountainous outlook. While the built form contributes to the neighbourhood character area, it is the dense vegetation that generally dominates streetscapes and results in an overall impression of a treed neighbourhood.</p> <p>Dwellings from various eras are present in the neighbourhood character area. The landscape of the neighbourhood character area is further enhanced by the narrow road pavements, grassy verges and informal street trees. Front gardens are also generally characterised by dense tropical foliage, large palms and canopy trees that provide shade.</p>	
Character elements	
Architectural style	A mix of inter-war, post-war and contemporary development.
Building materials	Timber, fibro sheet, render, brick, corrugated steel roofs. A range of light pastel colours are used in buildings.
Roof style	Mixed, pitched (gabled and hipped to the street), skillion, flat.
Front setbacks	Varied, generally 2-8 metres, but up to 45 metres.
Side setbacks	Varied.
Building height	Predominantly a mix of low-set and high-set Queenslanders.
Car parking/vehicle storage	Carports and garages, often located under the dwelling.
Lot frontages	Varied, most lots are either approximately 12 metres, 18 metres or 20 metres in width, however some residential lots are as large as 70-75 metres wide.

Table SCSC6.11.2.2.g – Neighbourhood character area 7 – Gordonvale

Character statement	
<p>The neighbourhood character area comprises dwellings in wide, spacious streetscapes. A number of building eras are represented throughout streets, including pre-war, inter-war and post-war styles. Dwellings are generally well maintained, surrounded by gardens of shrubs, lawn and occasional canopy trees or tall palms. The landscapes surrounding the township are</p>	

evident from some streets, including views to Walsh’s Pyramid. The spaciousness of streets and the availability of views to surrounding landscapes reduces the impact of the built form on streets, although the frequent use of light-coloured finishes highlights the appearance of buildings throughout the neighbourhood character area. A network of rear laneways adds a layer of interest to the neighbourhood character area, providing a sense of the area’s history and enhancing the function of the rear of properties.

Character elements	
Architectural style	Pre-war, inter-war and post-war and a large number of workers cottages and houses.
Building materials	Predominantly timber, with corrugated steel roofs and occasional use of brick or fibro sheeting.
Roof style	Pitched, with a mix of hipped and gabled ends fronting the street
Front setbacks	Generally small, between 3 and 4 metres, although this is enhanced by very wide nature strips.
Side setbacks	Varied.
Building height	Predominantly low-set and high-set, some of which have been enclosed underneath.
Car parking /vehicle storage	Where provided, carports and garages are generally sited to the rear of the dwelling.
Lot frontages	Mixed. Generally between 15 and 20 metres

Table SCSC6.11.2.2.h – Neighbourhood character area 8 – Manunda

Character statement	
<p>The wide road reserves of this neighbourhood character area create a spacious feel, despite the close proximity of buildings. The often wide grassy verges and nature strips provide an informal and open streetscape, allowing for a variety of large shady street trees. Where kerbs are sealed, car parking is provided along the wide streets.</p> <p>High-set dwellings from the inter-war era form the predominant housing style, although there is a small presence of pre-war dwellings as well as infill from the post-war and contemporary eras. A small, low scale group of retail and commercial businesses is located within the neighbourhood character area. These buildings generally use lighter colours similar to those of the surrounding dwellings.</p>	
Character elements	
Architectural style	Predominantly inter-war and post-war, as well as a small number of pre-war dwellings
Building materials	Mixed, including timber, fibro, cement sheeting, brick and render, with corrugated steel roofs.
Building form	A mix of hipped, asymmetrical and multi-gabled bungalows
Roof style	Mixed pitched styles.
Front setbacks	Between 3 to 8 metres, with most around 5 metres,
Side setbacks	Generally 1-3 metres.
Building height	Predominantly high-set as well as some low-set buildings. Some of the high-set dwellings are enclosed underneath.
Car parking /vehicle storage	Carports and garages to the side of, or beneath the dwelling.



Lot frontages	Generally from 10-20 metres.
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Table SCSC6.11.2.2.i – Neighbourhood character area 9 – Parramatta Park A

Character statement	
<p>Dwellings are predominantly from the pre-war era, however a mix of inter-war and immediate post-war styles are also present. There is a range of architectural styles suited to tropical living.</p> <p>Given the inner urban nature of the neighbourhood character area and its close proximity to the Cairns City Centre, several infill developments are scattered throughout. Enhancing the higher densities of the neighbourhood character area are the smaller front and side setbacks. The high densities are softened by the relaxed landscaping, including tropical vegetation.</p> <p>Martyn Street (north-west of Grove Street) displays particularly distinctive and consistent qualities, containing a series of double fronted weather-boarded dwellings with two distinct gabled roof shapes backing into a hipped form. The street is a near-intact representation of a distinct period of development. Dwellings share many common characteristics, giving the group of houses a strong streetscape presence.</p>	
Character elements	
Architectural style	Predominantly pre-war and inter-war with some recent infill and multi-unit development.
Building materials	Timber, brick, render, cement sheet, corrugated steel roofs. Generally light and pastel colours.
Building form	A mix of hipped, asymmetrical and multi-gabled bungalows
Roof style	Pitched, including a mix of both hipped and gabled styles
Front setbacks	Generally 3-5 metres
Side setbacks	Generally small, but ranging between 1-5 metres
Building height	Predominately high-set with some low-set buildings. Some high-set dwellings are enclosed underneath.
Car parking/vehicle storage	Carports and garages are located either in front, beneath or to the side of dwellings. In some instances car storage is absent.
Lot frontages	Generally 10-20 metres.

Table SCSC6.11.2.2.j – Neighbourhood character area 10 – Parramatta Park B

Character statement	
<p>The broad mix of uses found scattered throughout the residential streets provide this neighbourhood with a number of functions. Dwellings are predominantly from the pre-war era as well as a mix of inter-war and post-war styles.</p> <p>There is a range of architectural styles suited to tropical living. Given the inner urban nature of the neighbourhood character area and its close proximity to the Cairns City Centre, several infill developments are scattered throughout. Enhancing the higher densities of the neighbourhood character area are the smaller front setbacks and smaller side setbacks. The high densities are softened by the relaxed landscaping, including tropical vegetation.</p> <p>Lumley Street displays particularly distinctive and consistent qualities, comprising a series of small-scale, timber, single-fronted houses that are set close to the street. The street is a near intact representation of a distinct period of development. Dwellings share many common characteristics, giving the group of houses a strong streetscape presence.</p>	

Character elements	
Architectural style	Predominantly pre-war and inter-war with some post-war and more recent multi-unit developments.
Building materials	Timber, brick, render, cement sheet, corrugated steel roofs.
Building form	Predominantly hipped with some asymmetrical and multigabled bungalows.
Roof style	Pitched, including a mix of both hipped and gabled styles.
Front setbacks	Generally 3-5 metres.
Side setbacks	Generally small, but ranging between 1-5 metres.
Building height	Mix of high-set and low-set dwellings with some of the high-set houses enclosed underneath.
Car parking/vehicle storage	Carports and garages are present throughout, either in front, beneath or to the side of dwellings. There are some dwellings with no car storage.
Lot frontages	Generally 10-20 metres.

Table SCSC6.11.2.2.k – Neighbourhood character area 11 – Stratford

Character statement	
<p>Heavy rainforest vegetation in nearby hills, along with the tall palm trees and dense tropical foliage of front gardens provide a leafy green outlook for this neighbourhood character area. There are a variety of architectural styles, which date back to the interwar era. Grassy street verges contribute to a casual streetscape; however the various front boundary treatments, including medium height wire, masonry and timber fences, delineate between the public and private environments.</p>	
Character elements	
Architectural style	Predominantly inter-war and post-war high-set Queenslanders with a small presence of 1960s infi ll.
Building materials	Timbers, fibro sheeting, render, corrugated steel roofs.
Roof style	Pitched, generally gabled to the front. Some skillion.
Front setbacks	Quite varied, however generally between 2-9m.
Side setbacks	Generally about 0-5 metres, with the odd larger lots having larger side setbacks.
Building height	Some low-set and single story dwellings but predominately high-set Queenslanders, some of which have been enclosed underneath.
Car parking /vehicle storage	Generally carports/garages, many located beneath the house.
Lot frontages	Generally 20 metres. However, a few lots as low as 15 metres and several between 20-40 metres.

Table SCSC6.11.2.2.I – Neighbourhood character area 12 – Westcourt

Character statement	
<p>The neighbourhood character area is characterised by its regular grid pattern and variety of architectural styles. Dwellings reflect styles from the inter-war, post-war and 1950s periods. Most properties provide a clear delineation between the private and public domain through a range of fencing styles.</p> <p>Mann Street is a key feature for this neighbourhood character area, based on its wide grassy verges and avenues of large ornamental trees</p>	
Character elements	
Architectural style	Mixed, including inter-war, post-war, 1950s and some recent building styles.
Building materials	Timber, fibro sheeting, brick and corrugated steel roofs.
Roof style	Pitched with some skillion style roofs.
Front setbacks	Generally between 3-5 metres, with some up to 8-9 metres.
Side setbacks	Generally between 0-4 metres.
Building height	Predominantly high-set Queenslanders with some single and double storey dwellings.
Car parking /vehicle storage	Predominantly garages or carports, either attached to the house or located to the rear of the dwelling
Lot frontages	Generally 18-19 metres.

SC6.11.3 Information Council may request

SC6.11.3.1 Site assessment and design response

- (1) Council may request that development in a neighbourhood character area provide a site assessment and design response.
- (2) The purpose of the site assessment and design response is to:
 - (a) Accurately describe the features or characteristics of the neighbourhood character streetscape;
 - (b) Detail the proposed development;
 - (c) Detail any impacts of the proposed development;
 - (d) Describe how the development responds to the site assessment and character of the area.
- (3) The below table is a guide for site assessments and can help to identify and describe the important features and characteristics of the neighbourhood that will influence the design response. It does not provide an exhaustive list of features to be considered. Describing neighbourhood character requires a qualitative assessment about which features and characteristics determine the neighbourhood character of the streetscape.

Table SC6.11.4.1.a – Guide to site assessments

Matters to be considered	Questions that might help in the preparation of the neighbourhood and site description	Terms/features that might help to describe this aspect of neighbourhood character	Your response
<p>The pattern of development of the neighbourhood</p>	<p>Is the neighbourhood typical of a particular form or pattern of development?</p> <p>Are there any patterns in building form, height, setbacks or rhythm?</p> <p>How do these relate to topography, natural features and street network?</p> <p>Is there any pattern in relation to any particular feature or characteristic?</p> <p>What is the pattern of landscape and street tree planting?</p> <p>How do buildings and private open spaces relate to each other or to the public realm?</p>	<ul style="list-style-type: none"> • Topography; • street block length • street alignment, type and width; • extent of rear gardens and private open space; • landscaping and vegetation in the neighbourhood; • patterns of use; • diversity of housing; • building orientation; • building alignment. 	
<p>The built form, scale and character of surrounding development including front fencing</p>	<p>What is the predominant form of development?</p> <p>Is the neighbourhood homogenous or diverse in terms of the built form, scale and character?</p> <p>What sort of front fences are there?</p> <p>How is parking and access arranged?</p>	<ul style="list-style-type: none"> • building mass and height; • setbacks; • space around properties and site coverage; • car parking; • fences (style and height). 	
<p>Architectural and roof styles</p>	<p>What architectural styles are typical in the neighbourhood?</p> <p>What levels of articulation and detail are typical in the neighbourhood?</p> <p>How do roof patterns relate to built form?</p>	<ul style="list-style-type: none"> • architectural rhythm of street; • porches and verandahs; • architectural style; • roof form. 	

Matters to be considered	Questions that might help in the preparation of the neighbourhood and site description	Terms/features that might help to describe this aspect of neighbourhood character	Your response
Any other notable features or characteristics of the neighbourhood	<p>Are there any other notable features that have not been picked up through the consideration of the above matters?</p> <p>Are there any significant street trees or vegetation that would affect the design response?</p>	<ul style="list-style-type: none"> • Waterways; • street trees; • details of the footpath and street; • landscaping and vegetation on private lots; • nearby places of significance. 	
Include copies of any photographic records of the Neighbourhood character place or area	Are there any recent or historic photographs or documents relating to the neighbourhood character place or wider streetscape or area?	<ul style="list-style-type: none"> • Photos of the character place including views to and from the place; • Photos of views showing relationships to other relevant structures, surrounding streetscape, adjoining places or landscape features. 	

- (4) The design response must explain how the proposed design derives from and responds to the features of the neighbourhood and the site described in the site assessment.

SC6.12 Planning scheme policy – Parking and access

SC6.12.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to identify the information required in the preparation of a Traffic Impact Assessment to support a development application.

SC6.12.2 Information Council may request

- (1) Provisions included in the Parking and access code and the Transport network overlay code, require the preparation of a Traffic impact assessment where a development cannot comply with the performance criteria contained in those codes.

SC6.12.2.1 Preparation of a Traffic impact assessment

- (1) Council may request a Traffic impact assessment where development:
 - (a) Cannot provide car parking at the rates specified in the Cairns City Centre Local Plan Code or Table 1 of the Parking and Access Code;
 - (b) Proposes on-street parking in lieu of on-site parking;
 - (c) Is incompatible with the road hierarchy for the region;
 - (d) Involves the provision of trunk transport infrastructure;
 - (e) Has potential to compromise the intended role and function or safety and efficiency of major transport corridors.
- (2) A Traffic Impact Assessment Report is required to demonstrate that development achieves the outcomes of the Parking and Access Code and Transport Network Overlay Code, in particular:
 - (a) The suitability of the development for its location;
 - (b) Compatibility of the development with the existing and future role and function of the transport network;
 - (c) The provision of future transport infrastructure;
 - (d) Protection of major transport corridors;
 - (e) The provision of adequate vehicle parking;
 - (f) The provision of adequate pedestrian and cycle facilities;
 - (g) Any adverse environmental impacts by traffic generation on site.
- (3) The Traffic Impact Assessment is to be prepared by a suitably qualified traffic engineer in accordance with Austroads guide to Traffic Management Part 12 – Traffic impacts of developments.
- (4) The assessment will be subject to review by Council. Design elements contained in this assessment shall adhere with relevant standards.
- (5) The Traffic Impact Assessment should include, at least, a consideration of the following elements:
 - (a) Existing traffic conditions;
 - (b) Proposed traffic conditions (including traffic generation, volumes and distribution);
 - (c) Access arrangements;
 - (d) Car parking demand (including accessible parking);
 - (e) Pedestrian and bicycle facilities;
 - (f) Internal traffic movements (including the provision of on-site drive through and service areas);
 - (g) Provision of infrastructure (including off-site works).

SC6.12.2.2 Specific information for certain types of development**(1) Mixed use development**

Where development incorporates a mix of residential and non-residential uses the assessment may consider the potential cross-utilisation of car parking.

A cross-utilisation of up to 30% of the number of non-residential vehicle parking spaces may be appropriate where the assessment demonstrates a genuine cross utilisation exists between proposed uses on a site and justifies a relaxation.

(2) Development involving drive through' or 'pick up / drop off' facilities

Where the proposed development involves a 'drive through' or 'pick up / drop off' facility, detail on the provision of sufficient on site queuing and set down areas to accommodate the demand generated by the development is to be included in the report. Queuing and set down areas are also to be wholly contained on site with safe access arrangements.

(3) Developments involving the identified future infrastructure

Development may be required to provide transport infrastructure to ensure the compatibility of the development with the current and future function of the road network. This may include any ameliorative works to ensure that the safety and efficiency of the road network and to ensure that for any public transport, pedestrians and cyclists requirements are adequately provided for.

The proposed development will need to be consistent with future road planning proposals or regional transport planning initiatives. The future road network (including future infrastructure to be provided) is shown on the Transport network overlay maps contained in Schedule 2.

Site design will need to incorporate any future transport infrastructure identified. If the development does not provide the specific infrastructure item (or development is within a Major Transport Corridor) provision is made in the design including setbacks and clearances from any future road boundary for example.

(4) Development proposing on street works

Vehicle parking is to be wholly contained on-site. In accordance with the Parking and Access Code on-street parking may be provided in lieu of on-site parking where:

- (a) Development involves the re-use of an existing building; or
- (b) Development does not front a major transport corridor as identified on the Transport network overlay maps contained in Schedule 2.

Where on-street parking is acceptable, parking is contained within the immediate frontage of the site. It is to be designed, landscaped and constructed so that it does not detract from the character and amenity of the surrounding streetscape.

SC6.12.3 Guidance on meeting planning scheme outcomes**SC6.12.3.1 Related materials**

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) Austroads guide to Traffic management Part 12 - Traffic impacts of developments;

- (b) Queensland Department of Transport and Main Roads (DTMR) - Guidelines for Assessment of Road Impacts of Development Proposals.
- (c) Australian Standards - AS/NZS 28901-6.

SC6.13 Planning scheme policy – Places of significance

SC6.13.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide guidance on preparing a statement of significance, impact assessment report, archaeological management plan, conservation management plan and an archival report. The planning scheme policy also contains the statements of cultural significance for each of the places of local significance which must be considered when assessing development applications of the place.

SC6.13.2 Information Council may request

SC6.13.2.1 Guidelines for preparing a Statement of significance

- (1) An appropriately qualified heritage consultant is to prepare the statement of significance.
- (2) A statement of cultural significance is to be prepared in accordance with the ICOMOS Burra Charter, 1999 and associated guidelines and the Queensland Government publication, using the criteria – a methodology.
- (3) The statement of cultural significance describes the importance of a place and the values that make it important.
- (4) A statement of cultural significance is to include the following:
 - (a) Place details including place name, if the place is known by any other alternative; names and details if it listed on any other heritage registers;
 - (b) Location details including the physical address, lot and plan details, coordinates and the specific heritage boundary details;
 - (c) Statement/s of the cultural significance with specific reference to the cultural significance criteria;
 - (d) A description of the thematic history and context of the place demonstrating an understanding of the history, key themes and fabric of the place within the context of its class;
 - (e) A description of the place addressing the architectural description, locational description and the integrity and condition of the place;
 - (f) Images and plans of the place both current and historical if available;
 - (g) Details of the author/s, including qualifications and the date of the report.
 - (h) Format of the statement of cultural significance is to follow the template in Table SC6.13.4.1a.

Table SC6.13.2.1.a – Statement of cultural significance template

Place Details	
Place Name	
Alternative Name	
Listings Qld Place ID	*Only for State Heritage Places
Place Location	
Address	
Lot/Plan	
Coordinates	
Heritage Boundary	

Place Details	
Cultural Significance	
Criterion	
Criterion	
Archaeological Potential	
History	
Historical Context	
Description	
Physical Description	
Images	

SC6.13.2.2 Guidelines for preparing an impact assessment report

- (1) An appropriately qualified heritage consultant is to prepare the impact assessment report.
- (2) The impact assessment report is to take into account existing documentation regarding the place.
- (3) An impact assessment report is to be prepared in accordance with the ICOMOS Burra Charter, 1999 and associated guidelines and the Queensland Government Guideline: Preparing a Heritage Impact Statement.
- (4) The impact assessment report provides information on how a proposed development will affect the values of a place and what measures are included in the development proposal to conserve the place. The amount of information required will depend on the scale and extent of the proposed development.
- (5) An impact assessment report is to include the following:
 - (a) An analysis of the history and the physical fabric of the place within the context of its class;
 - (b) An assessment of cultural significance of the place;
 - (c) A description of the proposed development providing sufficient information to clearly distinguish the existing fabric, including photographs and plans of the existing site or area together with plans of the proposed development;
 - (d) An assessment of the impact of the proposed development on the place including:
 - (i) a description of how the development proposal will impact on the specific aspects of the significance of the place,
 - (ii) how the fabric of the place would be impacted on and conserved;
 - (iii) what works will be undertaken to adequately compensate for any loss of significant fabric or aspects of significance of the place.
 - (e) List the changes required to the place as a consequence of the development and provide the following information about each change:
 - (i) elements or aspects of the place affected by the change;
 - (ii) the work required to effect the change;
 - (iii) analysis of the impact of the change on the cultural significance of the place;
 - (iv) assessment of potential for detrimental impact on the cultural significance;
 - (v) if the work will directly affect a heritage element of the place, provide details of work methods;

- (vi) where the proposed change is assessed as having potential for detrimental impact, provide information about why the change is required, alternative solutions that were investigated, and what measures are included in the development to reduce detrimental impact that may result from the change.
- (f) Any other additional information that may assist in adequately assessing the significance of the site or area, including information drawn from a range of verifiable sources such as newspapers, government records, letters, books, photographs, maps or oral information which may help to establish the history of the site. Consideration of the historical context of the site or area shall be included to ascertain how its history contributes to an understanding of the site or area within broader historical events;
- (g) Photographs of the place;
- (h) Plans or some form of documentation that illustrates the development;
- (i) Details of the author/s, including qualifications and the date of the report;
- (j) References such as conservation policies, conservation management plan, condition report, and specialist consultants' reports.

SC6.13.2.3 Guidelines for preparing an impact assessment report on premises adjoining a state heritage place.

- (1) An appropriately qualified consultant is to prepare the impact assessment report.
- (2) The impact assessment report is to take into account existing documentation regarding the place.
- (3) An impact assessment report is to be prepared in accordance with the ICOMOS Burra Charter, 1999 and associated guidelines and the Queensland Government Guideline: Preparing a Heritage Impact Statement.
- (4) The impact assessment report provides information on how a proposed development on premises adjoining a state heritage place will affect the values of the place and its setting. The amount of information required will depend on the scale and extent of the proposed development.
- (5) An impact assessment report is to include the following:
 - (a) An assessment of the impact the proposed development will have on the significance of the adjoining place;
 - (b) Identify views of the place and assess which are significant and which are impacted;
 - (c) Identify the visual and aesthetic qualities and characteristics of the place;
 - (d) Identify whether the streetscape is significant and how the development impacts on the qualities of the streetscape;
 - (e) Assess how the place and the development relate to one another, in terms of scale and height of the new building, choice of building materials, colours, fenestration patterns and setbacks;
 - (f) Assess how the new building fits into the streetscape and responds to the prevailing architectural character and built environment of the street.

SC6.13.2.4 Guidelines for preparing an archaeological management plan

- (1) An appropriately qualified heritage consultant is to prepare the archaeological management plan.
- (2) The archaeological management plan should take into account existing documentation regarding the place.

- (3) An archaeological management plan is to be prepared in accordance with the ICOMOS Burra Charter, 1999 and associated guidelines and the Queensland Government Guideline: Preparing Archaeological Management Plans in Queensland.
- (4) An archaeological management plan details how the archaeological issues will be managed.
- (5) An archaeological management plan is to include the following:
 - (a) An archaeological research strategy, identifying the important research questions about the region's history that need to be explored;
 - (b) Methods, processes and procedures for future archaeological investigations that achieve the goals of the archaeological research strategy;
 - (c) A strategy for handling archaeological discoveries made throughout the development project that are unrelated to those anticipated in the archaeological research strategy;
 - (d) Induction training on archaeology which is to be provided to all project personnel;
 - (e) All post-excavation activities such as artefact analysis, storage, curation and/or display;
 - (f) A plan for the public dissemination of information including possible interpretation opportunities.

SC6.13.2.5 Guidelines for preparing a conservation management plan

- (1) An appropriately qualified heritage consultant is to prepare the conservation management plan.
- (2) The conservation management plan should take into account existing documentation regarding the place.
- (3) A conservation management plan is to be prepared in accordance with ICOMOS Burra Charter, 1999 and associated guidelines.
- (4) A conservation management plan addresses the adverse impacts identified by an impact assessment report and develops conservation policies.
- (5) A conservation management plan is to include the following:
 - (a) A description of the place;
 - (b) A description of the heritage values;
 - (c) An assessment of the condition of the place;
 - (d) A description of the conservation obligations and future needs, requirements, opportunities and constraints to conserve the place;
 - (e) Specific management policies, specifying what needs to be done to maintain the significance of the place and respond to identified issues;
 - (f) An action plan identifying priorities, resources and timing;
 - (g) An implementation plan and monitoring plan;
 - (h) Details of the author/s, including qualifications and the date of the management plan.

SC6.13.2.6 Guidelines for preparing an archival report

- (1) An appropriately qualified heritage consultant is to prepare the archival report.
- (2) The archival report should take into account existing documentation regarding the place.

- (3) An archival report is to be prepared in accordance with the ICOMOS Burra Charter, 1999 and associated guidelines and the Queensland Government Guideline: Archival Recording of Heritage Places.
- (4) An archival report is required if there is a likelihood of loss of significant fabric or other historical evidence as a result of full or partial demolition.
- (5) An archival report is to include the following:
- (a) Background
This should consist of a title page, outline of why the report has been made, when it was prepared, details of the study team, methodology used in the preparation and details that will enable the site to be accurately located and identified.
 - (b) Statement of Significance
Where a statement has been prepared this should be included.
 - (c) Written history
Brief history of the place using a thematic approach.
 - (d) Photographic report
A photographic report provides general information related to the photographic survey. It should include:
 - (i) photographic index sheet;
 - (ii) key plans;
 - (iii) the name, contents, location and status of supplementary sources (if known) concerning the subject, including both published and unpublished materials (these could include other historic images, artefacts or reports associated with the place);
 - (iv) a statement of any limitations of the photographic record and, if appropriate, recommendations for future work.
 - (e) Images should include:
 - (i) views to and from the site (possibly from four compass points);
 - (ii) views showing relationships to other relevant structures, landscape features and movable items;
 - (iii) views of all external and internal spaces (e.g. courtyards, rooms, roof spaces etc.);
 - (iv) views and details of external and internal colour schemes as appropriate;
 - (v) external views should aim to show context and overall coverage — oblique shots are useful for general reference;
 - (vi) details of all key elements including windows, doors, eaves, cornices and decorative elements;
 - (vii) structures shown in use, where use highlights their function;
 - (viii) an overall photograph for large-scale places or landscape elements (consider aerial views that may be a better way of recording site conditions and relationships);
 - (ix) significant elements of the building during demolition or ‘opening up’ of structure/machinery, if possible;
 - (x) if available, GPS (global positioning system) information in the metadata for any digital images.
 - (f) Photographic index sheet
An index sheet is a numbered list of all photographs contained within the archival record. It should include:
 - (i) the number of each photograph or file name (for digital images);

- (ii) description of the subject matter of each photograph— including distinguishing features or components;
 - (iii) place name and site location/address;
 - (iv) time and date of images taken;
 - (v) the photographer's name.
- (g) Key plans
A key plan provides a reference for all photographs taken and indicates the camera position and direction in which each photograph was taken. Key plans should:
- (i) be drawn to scale and include the position from which all photographs were taken, with an arrow indicating in which direction they were taken. Each position should be numbered and cross referenced to the photograph and index sheet;
 - (ii) include room numbers and/or building numbers, if used;
 - (iii) include a title block on the plan recording.
- (h) Specific photographic requirements
Images may be captured using digital photography, black and white film photography, colour slides or a combination of these.
- (i) Digital photography
- (i) use a high-quality digital SLR (dSLR) camera;
 - (ii) capture images as raw files;
 - (iii) save master archive images in uncompressed TIFF format;
 - (iv) enter correct metadata for each image;
 - (v) include GPS (global positioning system) information with images, if available;
 - (vi) ensure prints, submitted in addition to CD/DVD images, are highly durable for archival storage;
 - (vii) cross-reference prints with the index sheet by numbering on the back of prints with a 6B pencil;
 - (viii) Securely store one copy of the CD/DVD disc in an archival album with the prints.
- (j) Black and white film photography
Black and white photographs have proven longevity and stability when created to archival standards.
- (i) use a medium format camera or larger for professional quality photographs;
 - (ii) choose high quality film, speed-rated suitably for the light conditions;
 - (iii) develop prints and negatives to archival standards;
 - (iv) use archival quality fibre-based photographic paper. Resin-coated paper is not acceptable;
 - (v) submit a proof sheet and the negatives;
 - (vi) label and cross-reference proof sheets to the index sheet;
 - (vii) prints are to be no smaller than 100x150 mm, maximum size A3.
- (k) Measured drawings
Measured drawings provide an accurate record of buildings, structures, objects and places. They also depict the physical features that contribute to their cultural heritage significance.

While computer-aided design (CAD) is a common method for producing architectural drawings, hand drafting is also an effective way to document historic features, particularly where building elements have moved over time. Hand sketches are useful for recording features not able to be captured in measured drawing alone and may be needed to supplement measured drawing sets. The choice of method should ensure accuracy in recording existing conditions.

- (l) Measured drawings should be:
 - (i) produced from accurately recorded measurements taken in the field. If existing architectural drawings or other site plans are used, measurements on drawings should be checked and verified on site;
 - (ii) cross-referenced - all drawings should be clearly titled, show scale, orientation, and include bar scales relevant to drawings on each page;
 - (iii) a true reflection of existing conditions. Drawings should not include interpretation of what may have existed previously (ie., missing elements should not be included and elements that are not plumb should be recorded as such);
 - (iv) annotated where appropriate, or hatched to differentiate between dates of construction, materials and finishes to reveal more about the significance of the place;
 - (v) produced to fit standard metric sheet sizes - A1, A2, A3 and A4.
- (M) Measured drawings should include:
 - (a) Site plan
 - (i) show existing site conditions, site boundaries, transport systems such as road alignments and footpaths, significant site structures including roof outlines if roofs extend beyond walls, services and, if appropriate, influential geography such as rivers or valleys, topography and significant botanical features;
 - (ii) the site plan should locate all important elements in relation to each other. A site section or profile may also be necessary to show relative positioning of important elements in relation to each other and important topographical features.
 - (b) Elevations

Show all sides of the building.
 - (c) Sections

Sections are required to fully describe the arrangement/ relationship between spaces, both interior and exterior spaces, and/or the relationship of equipment or processes on different floor levels. Depending on the characteristics, sections can also be used to provide information on building form and relationship to site features.
 - (d) Bibliography

A list of all sources examined during the preparation of the archival record should be provided. Any existing conservation reports or assessments should be examined and referenced in the bibliography.
 - (e) Elements to include if available and/or relevant

As well as the above-mentioned minimum requirements, other elements which might form part of a site record include:

 - (i) photogrammetric drawings and negatives;
 - (ii) samples, details of furnishings, finishes or materials;

- (iii) ancillary machinery and service equipment details;
 - (iv) archaeological zoning plan;
 - (v) video of film records;
 - (vi) oral history;
 - (vii) aerial photography/satellite imagery/ photomosaic;
 - (viii) topographical mapping.
- (f) Storing the archival report
 Three copies of the archival record including the photographic record will be provided to Cairns Regional Council. One copy will be kept with Council, one copy provided to the Cairns City Library for its reference section and one copy provided to the Cairns Historical Society, in accordance with Article 28 of the Burra Charter.
- (g) Interpretative material
 If a site is to be demolished or partially demolished interpretive material may be required. It is recommended that the proponent should consult with Council prior to preparing the interpretive material to ensure the material is suitable.

SC6.13.3 Statements of cultural significance

- (1) Any assessment of whether development would satisfy assessment criteria in the planning scheme will be undertaken in consideration of the statements of significance relevant to the place.
- (2) Development that is undertaken consistent with the retention of the significance of the place is likely to satisfy the assessment criteria in the planning scheme.

SC6.13.3.1 Aloomba

Table SC6.13.3.1.a – Statement of cultural significance – Aloomba General Store

Site Details	
Site Name	Aloomba General Store
Alternative Name	
Location	
Address	11 Fixter Road, Aloomba
Lot/Plan	Lot 6 on RP706023
Coordinates	Easting 375856.4 Northing 8107709.1
Heritage Boundary	The original store building.
Cultural Heritage Significance	
Criterion A	The general store is of local significance as the last (and now closed) traditional store front in this small town. As such it is an indication of the scale of the township and where its centre once lay.
History	
Historical Context	<p>The building appears to have been constructed in the 1910s or 1920s.</p> <p>Two storekeepers were referred to in Aloomba in Pugh's Almanac of 1910 - James Davies and Sun Sing Loong. In 1916, there was only one company under storekeepers in Aloomba and this was Davis and Stropp. In 1921, BE Hayes and Con. J Verrenkamp were Aloomba storekeepers and in 1926, there was once again only one storekeeper – A C Templeton.</p> <p>It is unknown which of these storekeepers may have occupied the subject building,</p>



	but it does indicate that Aloomba, which maintained a population of approximately 150 people between 1910 and 1926, was a small town with only one or two shops.
Description	
Physical Description	<p>Original timber store of symmetrical appearance with left hand side extension and awning over footpath. Set to the street alignment of Fixter Road with a concrete footpath as an apron to the shop frontage.</p> <p>A single storey timber-framed shop clad with imitation weatherboard cladding and featuring display windows. The gabled roof is clad with corrugated iron and is partly concealed by an upstand sign.</p> <p>The building is low set with steps within the central ingo which lead to a pair of two-panel timber doors with bolection mouldings. Four timber posts on concrete blocks support the skillion verandah. There is a side (south) extension under a skillion roof. Windows to the other side (north) elevation have been altered and now comprise Colorbond aluminium sliding sashes.</p>
Images	

Table SC6.13.3.1.b – Statement of cultural significance – Aloomba Hotel


Site Details	
Site Name	Aloomba Hotel
Alternative Name	
Location	
Address	27-29 Fixter Road, Aloomba
Lot/Plan	Lot 1 on RP715349
Coordinates	Easting 375832.8 Northing 8107900.7
Heritage Boundary	All of the hotel building and title land.
Cultural Heritage Significance	
Criterion A	The hotel is of local historical importance to the former township of Aloomba. The hotel is the third on the site, the first two being burnt down in 1929 and again in 1948. The Mulgrave Council were concerned that the loss of the hotel in 1948 would mean an end to Aloomba township and they requested the licensing commission find a way to approve a new hotel at the site. The Northern Australian Breweries designed this small scale building which was erected in 1954 and now serves as a hotel and post office.
History	
Historical Context	An Aloomba Hotel was referred to in Pugh's Almanac of 1904 and the publican was identified as W T Carr. It was also referred to in the 1910 and 1921 publications of Pugh's Almanac, when the publican was Mrs B O'Regan. However, in 1916, the hotelkeeper was J. Ross and in 1926 the Aloomba Hotelkeeper was D J Cronin.

	<p>Between 1910 and 1926, Aloomba maintained a population of approximately 150 people and never had more than one hotel.</p> <p>In December 1929, the Aloomba Hotel, which had been occupied by C. Salter and owned by P J Doyle Ltd, Cairns, was destroyed by a fire. A newspaper report from the time stated that the building had been constructed of timber and that a favourable wind had saved H. Morton's shop next door.</p> <p>A second fire destroyed the hotel on 6 October 1948. The hotel was insured and owned by P J Doyle Pty Ltd. In 1953 a 40,000 pound proposal for the rebuilding was considered too costly to go ahead. The hotel was then rebuilt after July 1954 when the Licensing Commission approved the proposal put forward by Northern Australian Breweries. The tender for the works was advertised in June 1954.</p> <p>Hotels such as this in small farming communities survive as the only local meeting place but the economics of running them are resulting in more closures, and these remote hotels are slowly closing and those which survive are becoming rarities.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>On the intersection of Fixter Road and Anderson Street, angled into the intersection and set back approximately 10m from the road.</p> <p>The building was completed in 1954 to a simple design by Northern Australian Breweries. It is a single storey symmetrical timber framed building now on a slab with a concrete verandah along the frontage. The building has undergone renovations in the past and has been fitted with a stepped parapet in something of a modern - deco appearance and the name: 'ALOOMBA HOTEL'. The parapeted section and the verandah roof is supported on a series of brick piers with render base section and simplistic capital. The brick piers are constructed with bullnosed special bricks and a balustrading of expanded metal mesh is fitted between the piers (despite being built on ground).</p> <p>Alterations have added a series of somewhat unsympathetic sliding aluminium windows. Otherwise the façade contains French doors with multipane lights and triple pane fanlights above. The roof is a transverse hip in corrugated iron with gablet vents in the ends of the transverse ridge.</p> <p>There is no fence between the road and hotel. At the left-hand side is the current Post Office, as the Aloomba General Store has now closed. The bar room is just inside the verandah although it is not particularly obvious from the road way. There is a left-hand side extension and a rear section with a hipped roof.</p>
<p>Images</p>	

SC6.13.3.2 Babinda

Table SC6.13.3.2.a – Statement of cultural significance – Babinda Court House – Police Station and Residence

Site Details	
Site Name	Babinda Court House - Police Station and Residence
Alternative Name	
Location	
Address	8 Munro Street, Babinda
Lot/Plan	Lot 1 on NR814119
Heritage Boundary	All of the court house building and the police residence.
Cultural Heritage Significance	
Criterion A	The complex of former court house and police residences is of local significance as a group of buildings from the early history of Babinda. The evolution of the site portrays the developing need for not only a police presence but a place of carrying out the judicial function of the state. Although not now used as a Court, the building is legible for its scale relationship to the small town of Babinda. All buildings for the police and courts were developed by the Public Works Department and as a group of timber buildings, they are near intact apart from the Police Office subsequently moved to the opposite side of the road.
History	
Historical Context	<p>Originally constructed in November 1924, the Court building had a small public area closest to the street, the Court itself and to the rear a Constables Room and an adjacent room for the Crown Prosecutor and Magistrate. To the rear of this was a verandah.</p> <p>In 1934 extensions drawn up by the Public Works Department were approved and these included new verandah's on the east and west side of the Court House (to join with the front verandah) and extensions to the Constables Room and Magistrates Room which almost doubled their size. The verandah at the rear was taken down and re-erected on the new northern wall of the Court building. The roof was also required to be readjusted to suit the new room sizes and verandahs.</p> <p>The building was later more fully utilised as the police station after the court stopped sitting in Babinda.</p> <p>The police station was originally a one room office in front of the sergeant's residence to the east. This building was constructed in c.1915 and extended by the inclusion of a side verandah on the east and enclosing the front verandah in 1937-38. At the same time the new two room office was constructed between the residence and court house (and moved in 1995 to a site opposite as the Babinda Information Centre). Once the new office was constructed the original office in the residence was discontinued.</p> <p>In 1917 a single constables quarters had been designed and constructed by the Public Works Department and placed on site accessible from the Main Road (now Bruce Highway). In 1932 the quarters were reworked to become a married man's quarters.</p> <p>Other buildings shown on the site but not found in public records are the lock up and shelters to the rear of the site.</p>
Description	
Physical Description	<p>Single storey weatherboard building set back from Munro Street behind a 1970s cyclone wire fence and surrounded by garden.</p> <p>A low set, timber-framed building on concrete stumps and clad with weatherboards. The symmetrical building has a half gabled roof clad with corrugated iron and</p>

	featuring a timber louvered vent within the central gable to the front. A verandah wraps around the front and sides, and the symmetry of the building is emphasized by central timber stairs up to the verandah. The timber balustrade to the verandah appears to be a later modification. Windows at the front of the building are timber-framed and double-hung, while the rear section features casement windows.
Images	

TableSC6.13.3.2.b – Statement of cultural significance – Babinda Fire Station (now SES Centre)

Site Details	
Site Name	Babinda Fire Station (now SES centre)
Alternative Name	
Location	
Address	44 Eastwood Street, Babinda
Lot/Plan	Lot 712 on NR7475
Coordinates	Easting 385402.5 Northing 8081981.9
Heritage Boundary	The whole of the station building without reference to other structures on the site
Cultural Heritage Significance	
Criterion A	The fire station is significant for representing an important service provided to the local community over half a century since its construction in 1954-55.
History	
Historical Context	<p>The building was opened on 19 June 1955 by W Moore the Minister for Health and Home Affairs. It had been in construction throughout 1954 to the plans prepared by Barnes and Oribin architects in 1953. Prior to the fire brigade being established buildings just burned down and in 1927 seven shops east of the State Hotel were destroyed by fire and were subsequently rebuilt in concrete. The hotel was saved by its intervening gardens.</p> <p>A George Jago photograph of 1980 shows the large garage door open and a fire truck inside. Otherwise the building looked much as it does now apart from the removal of the garage doors and it's infilling with a rendered wall.</p>
Description	
Physical Description	<p>A double-storey, brick and concrete structure with a hipped corrugated iron roof in a residential mode with the fire station below on Eastwood Street and the residential component entered from the School Street side.</p> <p>The brick is deep struck in a horizontal manner for architectural effect. Sets of timber-framed, casement windows have concrete lintels and sills, and horizontal concrete hoods over the ground floor windows. The vehicle opening to Eastwood Street (south) has recently been blocked-up and rendered and a single flush door inserted. An external concrete and steel stair leads up to the residential entrance on</p>

	the School Street (west) elevation, unusually located half way between ground and first floor level. A further concrete and steel stair provides access to the first floor on the east elevation.
Images	

Table SC6.13.3.2.c – Statement of cultural significance – Babinda Hospital (excluding Nurses Quarters)

Site Details	
Site Name	Babinda Hospital (excluding Nurses Quarters)
Alternative Name	
Location	
Address	128-130 Munro Street, Babinda
Lot/Plan	Lot 2 on SP201308
Coordinates	Easting 385132.7 Northing 8082203.0
Heritage Boundary	The former Maternity Hospital (currently Administration and Outpatients), the Ward Block, the original Morgue, the Laundry and former Matron's Residence.
Cultural Heritage Significance	
Criterion A	Important at the local level as a district hospital incorporating a series of buildings constructed over a period including a Morgue (1926), a second generation morgue, a Maternity Hospital (1948), a Nurses Home (1951) now closed, the Matron of Nursing's House, a Ward Block (1969) along Munro St and its 1982 extension at the east end, new nurses quarters, and a new (2009) ambulance centre on Knowles and Munro St.
Criterion G	Important at the local level as a district hospital serving the health needs, from birth to death, of the local community of Babinda and surrounds.
History	
Historical Context	<p>The first Babinda Hospital was a timber and iron building built in 1923, followed by a Maternity Unit in 1925 and Nurses' Quarters and a Morgue in 1926. The Morgue is the only extant building from the 1920s. A photograph of the original Nursing Quarters (no longer extant) shows it as a single-storey timber and iron building with verandahs.</p> <p>A plaque on the front of the second Maternity Hospital (now Administration and Outpatients) states that it was opened in 1948. It was opened by the Minister for Public Instruction Mr. H A Bruce on 28 August 1948. The architect for this wing has not been identified and the work may have been undertaken through the Public Works Department.</p> <p>Maternity hospitals and wards were set up under the Qld Maternity Act of 1922, inspired by the falling birth-rate among white Australians over the early 20th century and eugenic concerns for racial hygiene which inspired 'scientific motherhood'. The Act also covered baby clinics. This Act helped to put out of business the older maternity and convalescent hospitals run by midwives and nurses.</p>

	<p>The Residence of the Director of Nursing (or Matron's House) was originally the Domestic's Quarters and built c.1950. The second Nurses Quarters were completed in 1951-52.</p> <p>The Ward Block at the Babinda Hospital was opened in 1969. It provided accommodation for 23 patients - 12 in public wards, 5 in children's wards and 6 in private and intermediate rooms. A solarium was also included for convalescing patients and overflow. The architect was Mr. P. Edwards. The builders were Scott and Co. and the building cost approximately \$240,000.</p> <p>An extension to the Ward Block was opened in 1982 and cost just under \$1million. It provided a nursery, delivery room and operating theatre. The former Maternity Block was then to be used for administration, outpatients and X-ray.</p> <p>The timber laundry was completed in 1961 (identified in the Annual Report Cairns Hospital Board).</p>
Description	
Physical Description	<p>A number of buildings along the Munro Street frontage with the ambulance centre on the corner of Knowles St and new nursing staff accommodation on Knowles Street along with the older Nurses home.</p> <p>The Babinda Hospital Complex comprises: Former Maternity Hospital (currently Administration and Outpatients) (1948) Ward Block (1969) and Ward Block Extension (1982). Original Morgue (1926) and a recent morgue (1983) Laundry (c.1960s?) Former Matron's Residence (Director of Nursing) (c.1950) Ambulance Centre (c.2009)</p> <p>The Former Babinda Maternity Hospital (currently the Babinda Hospital - Administration and Outpatients) is a high-set, brown brick building on brick piers. The long, single-storey building has a central entrance bay, which projects forward from the rest of the building and is accessed via bifurcated concrete and brick stairs. A large hipped roof with gablets to the side elevations and clad with corrugated steel extends over most of the building, while a half-timbered gable emphasizes the central entrance bay. The spaces between the brick piers are filled with timber lattice. Most of the windows comprise sets of three timber-framed, double-hung windows; however, the half-glazed double entrance doors are flanked by louvered windows.</p> <p>The small timber Morgue is almost square in plan and has a hipped corrugated iron roof, weatherboards, timber casement windows and timber boarded paired doors on the east. This sits adjacent to the newer morgue (of little architectural interest), and a timber framed and sided laundry under a low skillion roof.</p> <p>The Matron's House sits in the back portion (north) of the site and is a brick, low-set house with a hipped corrugated metal roof (recently renewed as colorbond) with timber-framed, multi-paned casement windows.</p> <p>The Ward Block along Munro Street is a long concrete framed structure (acting as a frame) with brick feature wall at the west end. Brick is used on the rear north wall and the basement walling where louvers are used as ventilation windows. Above the concrete frame is a wide, cantilevered verandah (now enclosed by aluminium louvers). The original appearance included steel framed casement windows, and a central door to each unit flanked by metal spandrels below the windows. The Ward Block is covered by a low pitched gable-ended roof stretched out over the verandah section.</p>



Table SC6.13.3.2.d – Statement of cultural significance – Babinda Information Centre (former Police Station)

Site Details	
Site Name	Babinda Information Centre (former Police Station)
Alternative Name	
Location	
Address	5-11 Munro Street, Babinda
Lot/Plan	Lot 802 on RP814118
Coordinates	Easting 385720.1 Northing 8081987.7
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	<p>A small (virtually two room) police station in timber, the place demonstrates the early history of housing a government function in minimal accommodation suitable for a country location.</p> <p>Until the roadway widening of the Bruce Highway, the building was in its original location on the police reserve sited on Munro St between the courthouse and the police residence. The building was approached by stairs to an open lobby under the lower side skillion (in a similar manner as at present).</p>
History	
Historical Context	<p>The present building was drawn up by the Public Works Department in 1937 as a 2 room office to be set between the police residence to the east and the courthouse to the west (State Archives of Qld). It was moved to its present site in 1995 as a result of the widening of the Bruce Highway and converted to the Babinda Visitor Information Centre.</p> <p>A 1980 photo by George Jago shows the building in its original location between the Police Station/Court House and the Police Residence, before widening of the Bruce highway. Note that at this time the entrance verandah had not been enclosed and</p>


	<p>the building had a different timber stair. On the other side of the building was a landing and stair which were demolished as part of the relocation.</p> <p>Original drawings can be found in the Queensland State Archives.</p>
Description	
Physical Description	<p>Set on a section of land removed from its original context and now between the civic shops area and the Bruce Highway on what would have been Highway Reserve land.</p> <p>Not set to a grid or obvious allotment alignment.</p> <p>A small, single storey, timber-framed building, clad with weatherboards. The gabled transverse roof is clad with corrugated iron, as is the skillion roof over the now enclosed entrance lobby on the western side of the building. The timber-framed, casement windows have timber-framed, corrugated iron hoods. The building is set on stumps to approximately the same height as the original. Concrete and steel stairs and a disabled ramp provide access up to the entrance. The small rear porch is no longer evident but the location of the rear doors can still be ascertained.</p>
Images	

Table SC6.13.3.2.e – Statement of cultural significance – Babinda Library (former Mulgrave Shire Offices)

Site Details	
Site Name	Babinda Library (former Mulgrave Shire Offices)
Alternative Name	
Location	
Address	22-24 Munro Street, Babinda
Lot/Plan	Lot 104 on NR7472
Coordinates	Easting 385668.4 Northing 8082075.7
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The building is significant for its contribution to the historic streetscape of Munro Street since its early settlement. The historic streetscape consists of buildings erected prior to the 1950s with many of these being architect designed concrete structures. The exception being the group of timber Police buildings and the large timber State Hotel.
Criterion G	The building is significant for its role in the cultural, social and educational development of Babinda since its early settlement - initially as a School of Arts, then becoming the headquarters of the Returned Sailors, Soldiers and Airmen Imperial League of Australia, and to the present as the local library since the 1950s.


History	
Historical Context	<p>A Deed of Grant No.N107754 Vol 178 Folio 5 was issued as from 12/7/1916 in the name of the Trustees of the Babinda School of Arts, for Allotment 4 of section 1 Portion 129 Parish of Bellenden Ker, at an annual rental of one peppercorn.</p> <p>A School of Arts building was constructed on the land and was run by Joseph Greetham Eastwood until his death in 1943. The School of Arts building then became the headquarters of the Returned Sailors, Soldiers and Airmen Imperial League of Australia (RSSAILA). The RSSAILA moved into Memorial Hall in School Street in 1956 and it was at this time that the Mulgrave Shire Council took back the site and opened an office in the building, in addition to the library.</p>
Description	
Physical Description	<p>Single storey building set slightly back from the Munro St alignment with side setbacks.</p> <p>A low-set, timber-framed, single-storey building in two parts, comprising a simple rectangular building and an annexe to the eastern side. The main part of the building projects forward of the annexe and has a simple gable, now in-filled with vertically ribbed metal sheet. The front entrance is centrally located within this front bay and comprises a recent aluminium-framed and glass door. Timber-framed, casement windows flank this entrance and one continuous metal hood shades the windows and door. Similar casement windows and a continuous metal hood extend across the front of the adjoining annexe, while the side and rear elevations have a combination of double-hung and casement windows. The walls have been re-clad with imitation weatherboards, while the gabled roofs are clad with corrugated iron.</p> <p>1980 Gorge Jago photo shows a sign over the entrance reading 'MULGRAVE SHIRE COUNCIL, BABINDA OFFICE, MUNICIPAL LIBRARY'. Note that this photo also shows two pairs of half-glazed timber doors (no longer extant) and no metal hoods, only a timber-framed awning over the front bay.</p>
Images	

Table SC6.13.3.2.f – Statement of cultural significance – Babinda Meat Mart

Site Details	
Site Name	Babinda Meat Mart
Alternative Name	
Location	
Address	66-68 Munro Street, Babinda
Lot/Plan	Lot 2 on RP715107
Coordinates	Easting 385515.2 Northing 8082095.7
Heritage Boundary	All of the building and title land


Cultural Heritage Significance	
Criterion A	The building is significant for its contribution to the historic streetscape of Munro Street since its early settlement. The historic streetscape consists of buildings erected prior to the 1950s with many of these being architect designed concrete structures. The exception being the group of timber Police buildings and the large timber State Hotel.
History	
Historical Context	The building appears to have been constructed in the 1950s. George Jago's 1980 photo shows it as 'V and A NUCIFORA - Supreme Meats.'
Description	
Physical Description	A single-storey concrete building with an Art Deco-styled keystone motif centrally located near the top of the parapet. The shopfront has been re-tiled in recent years and the windows and doors are now aluminium-framed, but the form of the original openings appears to have been retained, along with early (or original) chrome metal surrounds and leadlight glazing above the main windows. The skillion verandah with timber posts on concrete post blocks may be original; however, the verandah fascia has recent cladding.
Images	

Table SC6.13.3.2.g – Statement of cultural significance – Babinda Munro Theatre

Site Details	
Site Name	Babinda Munro Theatre
Alternative Name	
Location	
Address	97-101 Munro Street, Babinda
Lot/Plan	Lot 710 on NR7392
Coordinates	Easting 385408.5 Northing 8082028.0
Heritage Boundary	The whole of the theatre building and title land
Cultural Heritage Significance	
Criterion A	The theatre is significant as an important venue in the social life of the local community. A picture theatre has existed on this site since 1926 and it is the only surviving theatre in Babinda.
Criterion B	The theatre is significant as a surviving operating country cinema, something which is a rarity outside the major provincial cities. With the advent of television the industry went into decline and many of the smaller town cinemas closed even to the point where the provincial cities had just a small number of operating theatres. Cairns itself has only three operating cinema complexes.



<p>Criterion G</p>	<p>The theatre is significant as a social venue for the people of Babinda and the surrounding district. Given that there are few other secular or non-institutional venues in Babinda (there is no prestigious town hall as such), the cinema is a focal point for cultural activities.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The first pictures shown in Babinda are believed to have been shown in Maroney's Hall, built adjacent to the Babinda Creek Hotel in c.1914. The building was also apparently used as the town's first school in 1914 and as the venue for dances. However, it was destroyed by the 1918 cyclone.</p> <p>A new theatre was built on the corner of Munro and School Street in 1926 and seated 400 people. It was known as 'Beattie's'. The building was owned or leased by Mrs H Beattie between 1926 and 1939. This building is visible, on the site of the current Munro Theatre, in a photograph of the town dated c.1940. Far Northern Theatres leased the theatre from Mrs Beattie between 1939 and 1942, when it was destroyed by a fire.</p> <p>Another theatre in Babinda was 'Slapes' built in 1918 and renamed the 'Lyric' in 1942. This building was destroyed by a cyclone in 1956.</p> <p>Far Northern Theatres rebuilt a theatre on the site of the former Beattie's Theatre in 1956 and named it the Munro Theatre. Far Northern Theatres operated the theatre until 1969. The lease or ownership of the building has changed a number of times since that date, but it has continued to function as a cinema. The building was substantially damaged by Cyclone Larry in 2006.</p> <p>Up to 1,000 people signed a petition to restore and reopen the theatre. Fred Lizzio, who has owned the theatre since 1981, received financial assistance to repair the building from the Australian Government, the Bendigo Bank and the Foundation for Rural and Regional Renewal. Repairs to the theatre included replacement of the roof, cladding, renewal of plumbing and electric works, installation of facilities for the elderly and disabled, and the installation of sound and entertainment equipment.</p> <p>A George Jago 1980 photo shows the triangular fin (possibly concrete) extending above the parapet, with a sign (possibly illuminated) reading 'MUNRO' projecting across it. This is the dominant design element of the building in this photo, but is no longer fully extant. The photo also shows 5 joined, half-glazed doors across the third bay, which are now only partially extant.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Set to the Munro St boundary and almost the entire length of the School St portion of the allotment.</p> <p>The site is in two parts: the frontage in concrete to a depth of approximately 5m, followed by the large barn of a theatre. This latter section is in corrugated metal and compressed cement weatherboard sheets (although probably weatherboards) above timber ventilator grilles. The front portion is a concrete box with a featurist fin (removed above the parapet). The entry features a ticket window, original entry doors and a Peters ice-cream refrigerated display case.</p>
<p>Images</p>	

Table SC6.13.3.2.h – Statement of cultural significance – Babinda Nurses Quarters (former)

Site Details	
Site Name	Babinda Nurses Quarters (former)
Alternative Name	
Location	
Address	Knowles Street, Babinda
Lot/Plan	Lot 7 on SP201308
Coordinates	Easting 385186.5 Northing 8082219.5
Heritage Boundary	The whole of the building including the title land and the rockery gardens
Cultural Heritage Significance	
Criterion A	The building is significant in demonstrating an aspect of post-war health care. On-site accommodation for nursing staff was considered to improve hospital efficiency and the standard of nursing. It also represents the continuation of nineteenth century attitudes, when it was considered necessary to keep young women under the eye and discipline of chaperones when they were not living with their families.
Criterion E	The building successfully integrates innovative Modernist elements, particularly the massing of the building's form, the semi-circular Matron's flat and the distinctive verandahs. The quality of the building's detailing is also exceptional, and can be seen in the internal staircases and the verandah balustrades. Despite being a large and imposing building, the form and siting of the building against a steep slope, surrounded by tropical gardens, enhances its aesthetic values.
Criterion F	The building is significant as one of the most innovative examples of 1950s modern architecture in North Queensland. The design is considered superior to other nurses quarters built during the same period at Rockhampton and Innisfail. It is also the most important building designed by the architect SG Barnes. (Refer to Queensland Health Heritage Survey PN05/4).
History	
Historical Context	<p>The Babinda Hospital was established in 1923 and Nurses' Quarters were added to the small complex of buildings in 1925. The first Nurses' Quarters was a single-storey weatherboard and corrugated iron building with verandahs. In 1949, the Babinda Hospital planned to increase its teaching function and more accommodation was subsequently required for the increased number of nurses.</p> <p>The current building was designed by S. G. Barnes as a substantial addition to the original Nurses' Quarters and constructed between 1952 and 1953. The building cost £60,000 to build and the contractors were Messrs Kynaston and Andrews. The first Nurses' Quarters are no longer extant, but their location is evident in the indent to the north-western corner of the existing building. The new building provided each nurse with their own private room. It accommodated one matron, 23 nurses and four night nurses. Other facilities included a recreation room, lounge and studies.</p> <p>The architect Sidney George Barnes was born in New Zealand in 1899 and trained at the Seddon Memorial Technical College. He worked in various Auckland architects' offices before moving to Australia in 1929. He initially worked in Moree, NSW, but was working as an architect in Cairns by 1931. Barnes also designed the Gordonvale Nurses' Quarters (c.1947) and the Edmonton Ambulance Station (1951). From 1953 he was in partnership with E. H. Oribin. Barnes remained in Cairns until his death in 1959.</p> <p>The Babinda Nurses' Quarters were used for emergency accommodation following Cyclone Larry in 2006, but have been vacant since 2008.</p>

Description	
Physical Description	<p>Set high on sloping land falling to the road reserve at Knowles Street, the building has a minor dominance over the surrounding residential areas and allows views to the town, mill and mountain range. The building itself is set back from Knowles St with a landscape of terraces and cycads. The northern boundary is tropical regrowth, the south boundary is a new re-subdivision of the original title land.</p> <p>The Nurses Quarters is a substantial red brick and concrete building extending over a steeply sloping site. As a result, the building has a three-storey elevation addressing Knowles Street to the east and a single-storey elevation to the rear (west), all under the same roof. The hipped roof is clad with corrugated iron. It should be ascertained whether the roof was originally tiled.</p> <p>While the building is essentially L-shaped in plan, the design is elaborated by a semi-circular bay projecting from the south west corner of the building (which contains a self-contained matron's flat), and a double-storey verandah wrapping around the south east corner.</p> <p>The matron's flat is differentiated by a tall red brick parapet to the semi-circular bay and a flat concrete awning projecting above the windows. The double-storey verandah comprises balustrades and piers built of concrete and red brick and concrete floors. The concrete balustrade panels feature distinctive horizontal louvers and metal pipes form handrails extending between the piers. At the upper level, the piers divide into pairs of short columns built with rounded red bricks.</p> <p>Windows are predominantly timber-framed casements, with concrete sills and lintels; however, glass bricks light the stairwell on the south elevation.</p> <p>The building has three separate entrances. Concrete steps lead up to a round-arched entrance to a porch at the first level (basement) addressing Knowles Street. A similar arrangement of stairs and round-arched entrance porch is located at the rear of the building and provides access to the matron's flat on the top level of the building (first floor).</p> <p>The third entrance is located mid-way along the south elevation and provides access from the ground floor verandah to the main entrance lobby. This entrance lobby is distinguished by its decorative terrazzo floor, and adjacent stairwell with Moderne-styled metal balustrade. Timber floors extend over the majority of the interiors.</p> <p>Adjacent to the main entrance lobby is the largest space within the building; a dining room at the south-eastern corner of the building. This space features a coffered ceiling with Art Deco cornices and French doors providing direct access to the verandah. The rest of the building comprises bedrooms, shared bathrooms, a kitchen and laundry accessed from central corridors.</p> <p>Two walls at the rear, north-west corner of the building are clad with metal siding, which contrast with the red brick used elsewhere, and illustrate where the building initially adjoined the first Nurses' Quarters of 1926. The 1951- 52 building has only undergone minor alterations, dating from fairly recent years, including the provision of some additional toilets and showers within former bedrooms and the enclosure of part of the basement to provide a recreational space.</p>
Images	

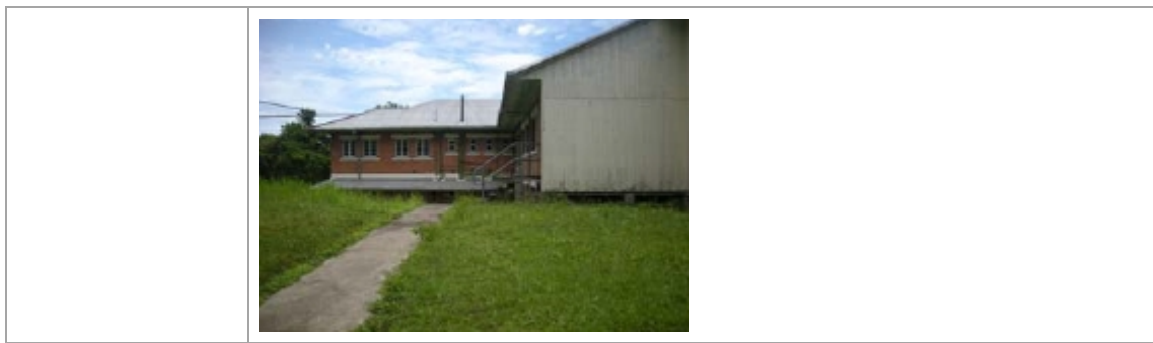


Table SC6.13.3.2.i – Statement of cultural significance – Babinda Police Residence

Site Details	
Site Name	Babinda Police Residence
Alternative Name	
Location	
Address	8 Munro Street, Babinda
Lot/Plan	Lot 1 on NR814119
Coordinates	Easting 385725.7 Northing 8082094.7
Heritage Boundary	Residence and remaining timber buildings
Cultural Heritage Significance	
Criterion D	The complex of police and justice buildings, all designed by the Public Works Department, have occupied this site since the earliest settlement of Babinda and have evolved (albeit in a limited manner) with the township. Their appearance is similar to other complexes and comparable to that developed for the township of Gordonvale.
Criterion A	The building is significant for its contribution to the historic streetscape of Munro Street since its early settlement. The historic streetscape consists of buildings erected prior to the 1950s with many of these being architect designed concrete structures. The exception being the group of timber Police buildings and the large timber State Hotel.
History	
Historical Context	<p>A police station was built in Babinda in c.1915 and this is likely to be the current police residence at No 8 which was approved for construction by the Public Works Department in 1913. The building now at No 8 was a residence with the police office at the front entered by a stairway on the side. This stair was removed when the house was moved west in 1995 as part of the Bruce Highway widening. In 1924 a timber building was added to the site as a constables' dormitory and this was later altered to married men's quarters.</p> <p>The residence had modifications to it drawn up in 1937 at the same time as the construction of the new two room police office to the west. These modifications included an enclosed side verandah on the east, the enclosing of the front verandah and works to the rear. The former office at the front of the house became a bedroom with the construction of the two room police office adjacent to the west.</p> <p>Reserve File R1096 indicates that the land taken for the road widening was reserved for the north coast railway with the Bruce Highway having originally been on the east side of the rail-line.</p> <p>The police had been using allotments 1, 2 and 6 since the settlement of Babinda but the land was not officially reserved until 1958. This included land on the north side of Weinert's Creek. Following a report by the Public Works District Architect the</p>



	<p>land on the north side of the creek was excised from the reserve for Government sale in 1968 and the Reserve redefined as being all of the land on the south side of the creek.</p> <p>In a subsequent move the Council sought to have a corridor of Police land surrendered in the 1972-73 period (and for some time subsequently) to create a linear park along the Creek but this was passively resisted by the Government.</p>
Description	
Physical Description	<p>A low set, single-storey weatherboard residence, with a corrugated iron roof. There is a forward gable on the west side over the original police office, while the rest of the building has a steep hipped roof. Windows are a combination of original timber-framed casements, and later timber-framed hopper windows, covered by corrugated iron hoods.</p> <p>Alterations in 1937 included the additional east side verandah, the covering in of verandah's and the conversion of the original office to a bedroom. The building was moved west in 1995 to accommodate the Bruce Highway widening.</p>
Images	 <p>The image block contains two visual elements. The top element is a technical architectural drawing of the building's front elevation, showing a gabled structure with a verandah and multiple windows. Below the drawing is the text '- FRONT - ELEVATION -'. The bottom element is a color photograph of the actual building, a single-story weatherboard house with a corrugated iron roof, situated in a green, wooded area with a fence in the foreground.</p>

Table SC6.13.3.2.j – Statement of cultural significance – Babinda Post Office and Residence

Site Details	
Site Name	Babinda Post Office and Residence
Alternative Name	
Location	
Address	94-96 Munro Street, Babinda
Lot/Plan	Lot 11 on SP121912
Coordinates	Easting 385416.5 Northing 8082095.6
Heritage Boundary	The whole of the post office building and its land and the whole of the residence and its land
Cultural Heritage Significance	
Criterion A	The buildings contribute to the historic streetscape of Munro Street. The buildings


	also represent the long term provision of postal services, which have contributed to the development of the town.
Criterion D	The post office buildings are significant in their own right as well designed civic structures and part of a state wide programme of post office construction.
Criterion E	The post office building has aesthetic significance as a good and relatively intact example of the type of post office designed by the Queensland Branch of the Commonwealth Department of Works and Railways in the 1920s and 1930s.
History	
Historical Context	<p>Local historian George Jago claims that the first Babinda Post Office was built on the west side of the Court House in 1916-17 and destroyed by fire in 1933. The Cairns Post of 7 June 1916 indicate that Harvey Draper was the architect and he accepted a tender of Bell and McKenzie to erect the building which was likely to have been completed by the end of the year. Photographs of the site show a timber building with a squat clock tower carrying the town's only civic timepiece. After the current post office was established in 1924 the building was used as a store.</p> <p>According to the National Estate Study of 'Historic Post Offices in Queensland' (University of Queensland, Department of Architecture, 1983), the current Babinda Post Office was built in 1924 and was a 'T 21' type (Twin Porch and Gable). This design was applied to approximately 25 post offices across Queensland between 1923 and 1939. The post office building retains a domestic scale, but was separate and detached from the post master's quarters. During this period (1921-1945), the Queensland Branch of the Commonwealth Department of Works and Railways was responsible for designing post offices.</p>
Description	
Physical Description	<p>The building on the property (the Post Office) is set on the north east corner of School and Munro Street and set to the street alignments. The residence is adjacent on School Street.</p> <p>Post Office: A single storey timber building low set to the ground on wide concrete stumps, the style is possibly Arts and Crafts? Featuring half timbered gables, wide eaves, corner verandah's etc leading to the timbered interior of the office. The verandah's have been used for post box wall sets.</p> <p>Residence: A single storey timber building low set to the ground on wide concrete stumps with a broad hipped roof and wide verandah's on three sides.</p>
Images	

Table SC6.13.3.2.k – Statement of cultural significance – Babinda Railway Station

Site Details	
Site Name	Babinda Railway Station
Alternative Name	
Location	
Address	Howard Kennedy Drive, Babinda


Lot/Plan	Lot 214 on SP108330
Coordinates	Easting 385887.1 Northing 8082494.1
Heritage Boundary	All railway structures including the points levers
Cultural Heritage Significance	
Criterion A	The Railway Station is significant in demonstrating the development of the railways in North Queensland and is related to the development of the North Coast railway after the take over of the Cairns Mulgrave Tramway by the Queensland Government in 1911 and this saw a significant upgrading of rail line facilities and services.
Criterion F	The station building is a substantially intact and comparatively enriched example of a small country railway station. Although altered by the later introduction of the platform canopy, the building is highly legible as to its architectural intent and period details.
History	
Historical Context	<p>The Cairns Railway was opened between Cairns and Babinda in July 1911. The Babinda Station building was constructed by this time. It is a B4 (Northern) type building, with a subsequent addition at the south end.</p> <p>By 1962, the complex of structures at the Babinda Railway Station comprised the station building, lamp room/closet, loading bank, goods shed and crane, water tower, gangers' cottage, fettlers' quarters, inspectors' quarters, signal master's house and an assistant signal master's house. Sidings provided direct links with the adjacent Babinda Central Sugar Mill. The barrel-vaulted shelter over the station platform was added in the latter half of the twentieth century. The realignment of the Bruce Highway in 1995 resulted in the severance of the sidings and the demolition of all the houses described above. The water tower was removed in 1970. The loading bank and crane have also been removed. The Goods Shed, which was located near the General Store, has been demolished in recent years.</p>
Description	
Physical Description	<p>An all timber railway station with corrugated iron roof.</p> <p>The long, narrow station building has a gabled end to the south and a vented gablet in a hipped end to the north. The platform has a shallow, barrel-vaulted roof cantilevered on the trackside from a line of timber posts centred in the platform.</p> <p>The building has features such as timber-framed, double-hung windows, timber hopper shutters in the waiting area and a timber waiting bench with shaped timber supports. The building has a ticket office, ticket window (south portion) and a station masters office (north portion).</p> <p>A concrete block toilet building has been constructed to the rear south end. Further along the track approximately 20 metres south is a lever set for point changing.</p>
Images	



Table SC6.13.3.2.I – Statement of cultural significance – Bartle Frere Lodge

Site Details	
Site Name	Bartle Frere Lodge
Alternative Name	
Location	
Address	142 Munro Street, Babinda
Lot/Plan	Lot 31 on NR157585
Coordinates	Easting 385041.4 Northing 8082166.5
Heritage Boundary	To the extent of the building and land
Cultural Heritage Significance	
Criterion A	The development of Masonic halls throughout the country is part of the pattern of self-help and fellowship organisations in order to obtain prosperity against adversity during the frontier period of development of country towns and cities. Such societies acted as the centre of the towns business network and was often attended by Catholics despite the Church's disapproval. The Bartle Frere Lodge demonstrates such an early meeting place developed in the same decade as the establishment of the sugar mill and the town created to support it.
Criterion H	The place is locally significant as a long serving social institution in Babinda developed with the aim of assisting the business community via the Masonic Order's membership many of whom were unknown to the broader community.
History	
Historical Context	<p>A sign fixed to the front gable reads 'Consecrated 1917'.</p> <p>The lodge (the people) was consecrated on 5 June 1917 and met in the Presbyterian Church hall on School and Church Streets. This was subsequently destroyed in a cyclone. A metal building was donated to the Lodge by Mr. B Parry.</p> <p>The building (of circa 1910) had originally belonged to WHJ and GR Meyers of Cairns where it served as a small warehouse.</p> <p>The building (after erection on its current site) was subsequently named the Horace Russell Meyers Memorial Hall after the son of GR Meyers who had tragically been killed in action during World War One. Meyers was a director of Mulgrave Mill and a well known merchant of Cairns. An extension was made to the building in the late 1950s.</p> <p>The roots of Freemasonry reach back to Europe in the Middle Ages, where the higher class of stonemasons (who worked with freestone, and/or whom were 'free' of onerous regulations that applied to lesser craftsmen) formed groups to maintain their higher status. The term Freemason began to develop a second meaning in the 17th century in connection with societies of Free and Accepted Masons.</p>


	<p>Stonemasons had formed these societies, but also accepted persons with knowledge in architecture and antiquarian studies as honorary members (the 'Accepted Masons'). It is from these societies that Freemasonry took on its present meaning and nature: a secret or tacit brotherhood joined by initiation, the members of which recognise each other by secret signs or handgrips. The members belong to a lodge. A lodge is the group of members, a meeting held by the members and the building in which they hold these meetings (the building is also often known as the 'temple').</p> <p>Masonic tradition traces the beginnings of the mason's skills and the roots of their secret society back to Egypt, where the Israelites were supposed to have learned the fundamentals of stonemasonry. The view that Egypt was the source of all wisdom and skill was manifested after the mid-18th century in the form of Egyptian-style elements and decoration in some Continental European Masonic temples. Ancient rites involving the mysteries of Isis and Osiris, which were described in Greco-Roman texts, are considered the probable models for Masonic ceremonies. These ritual dramas are used to teach the moral and spiritual precepts of Freemasonry, and use stonemasons' customs and tools as allegorical guides. The Biblical Temple of Solomon – believed to be a perfect building constructed under divine guidance – was considered the first model for Masonic lodge buildings. Masonic lodges represent both the world and Solomon's Temple. The lodge room, where ceremonies are held, should have an east-west orientation. The lodge room holds the 'Ark', which is where the warrants (officially chartering a new lodge) and other precious items are stored.</p> <p>Referring to the tools of the ordinary stonemason (the 'operative mason') in a symbolic manner, Freemasonry (or 'speculative Masonry') constructed a moral code and guidance for members to improve themselves spiritually. This knowledge is gained gradually, in three degrees, and candidates learn further lessons and can view increasingly secret images (Tracing-Boards) and implements (Jewels – the Square, Level and Plumb) with each new degree. Freemasonry offers some of the ceremony and ritual absent from Protestant churches, filling the gap left by the relative demise of the Catholic Church in countries such as Scotland. It undoubtedly still plays this role for many Freemasons today.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A single-storey hall, low set on timber stumps, with a longitudinal, gabled, corrugated iron roof over the main building and a hipped roof over the front verandah (now enclosed). The original hall section is clad in standard gauge vertically laid corrugated iron while the side extensions are clad in vertical ripple iron. The west side extension along Wilkie Street appears to be of more recent origin and houses a toilet section.</p> <p>Original windows to the hall are high set timber framed hoppers. Later windows to the side and frontages are louvers. The more recent changes appear to be the asbestos cement cladding at the frontages enclosing a verandah area and creating a lobby area, and the steel and timber stairs at each end of this enclosed verandah. The layout of the building usually consists of a secured Temple area and circulating public spaces. Some temples also have an attached public hall area often used by community groups.</p>
<p>Images</p>	

Table SC6.13.3.2.m – Statement of cultural significance – Babinda General Store


Site Details	
Site Name	General Store
Alternative Name	
Location	
Address	177 Howard Kennedy Drive, Babinda
Lot/Plan	Lot 1 on SP208305
Coordinates	Easting 386128.7 Northing 8082764.6
Heritage Boundary	To the extent of the timber building at the front of the site
Cultural Heritage Significance	
Criterion B	The survival of simple shops of timber construction from the early twentieth century is relatively uncommon and this building has not been substantially altered.
History	
Historical Context	The building appears to have been built as a store in the early half of the twentieth century possibly in the 1915 to 1925 period.
Description	
Physical Description	<p>Single storey timber shop set to the footpath alignment with an awning over it. Petrol pumps are set at the kerbside.</p> <p>A chamfer-boarded timber building with gabled corrugated iron roof. The south wall has evidence of previous openings.</p> <p>The interior has a panel cladding , the ceiling is timber beaded boarding presumably Baltic Pine a common cladding material imported into Australia.</p> <p>The front façade has evidence of two original shop display windows and a central timber panelled set of doors with mouldings (2 panels per door). The doors are in-situ although a glass door has replaced their operation.</p> <p>The floor is timber.</p> <p>An awning is stretched over the footpath and covers a petrol bowser (Gilbarco electric dual pump). This is supported on (featurist) pipe supports in a 1950s style.</p> <p>To the north side is a concrete block flat roofed house which is joined to the shop toward the rear.</p>
Images	

Table SC6.13.3.2.n – Statement of cultural significance – 200-252 Boulders Road Babinda


Site Details	
Site Name	House
Alternative Name	
Location	
Address	200-252 Boulders Road, Babinda
Lot/Plan	Lot 2 on RP749253
Coordinates	Easting 384179.8 Northing 8082084.4
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The house and farm was one of the earliest in the district and demonstrates the early European settlement of the area.
History	
Historical Context	The house is one of the oldest in the district and was built prior to 1920. One local story suggests the building was relocated from the goldfields by the Abbott family. The house was occupied by the Gee Kee family between 1924 and 1978. The Gee Kee's had a sugar plantation and tropical fruit orchard on the property.
Description	
Physical Description	<p>Single storey timber residence set well back from the road with a more recent house to the west. A circuit driveway around the building enclosing a grassed area and some low vegetation.</p> <p>A single-storey symmetrical house on low stumps with a steeply pitched corrugated metal roof and a gabled entrance porch. It has open verandah's on three sides with a three-rail dowel balustrade. The timber-framed construction is left exposed externally.</p> <p>The house has been altered over the years. Some of the changes include aluminium cladding over three sides of the building and sliding windows and security screens have replaced original structures. The house is raised on steel piping, not timber posts.</p>
Images	

Table SC6.13.3.2.o – Statement of cultural significance – House and Air Raid Shelter – 27 Church Street, Babinda

Site Details	
Site Name	House and Air Raid Shelter
Alternative Name	
Location	
Address	27 Church Street, Babinda
Lot/Plan	Lot 315 on B6638
Coordinates	Easting 385364.8 Northing 8082165.9
Heritage Boundary	The air raid shelter only and title land
Cultural Heritage Significance	
Criterion B	The survival of a backyard air raid shelter, is rare at the local level and provides physical evidence of individual responses to the threat of Japanese bombing during the Second World War.
History	
Historical Context	<p>In 1942 following John Curtin's election as Prime Minister, the defence of Australia was ramped up. The new urgency was caused by the Japanese capture of Singapore and then shortly after Rabaul in New Guinea. Bombing of the Australian coastline had occurred since February 1942 and had involved the area from Exmouth in the West to Townsville in the East, although much of this was centred on Darwin. The Australian Government kept secret both the devastation wrought on Darwin and the extent of Japanese bombing to Australian towns.</p> <p>Civil defence measures were the province of the States and they set up Air Raid Wardens Posts and air raid precautions centres. The population were encouraged to construct their own shelters and to take notice of air raid warning signals. Voluntary civil defence was also encouraged with the formation of the Voluntary Defence Force (a 'Dad's Army') which included spotting work for enemy aircraft and shipping and work in the air raid precautions system.</p> <p>The regular army and the Women's Australian Army Service carried out air defence measures.</p> <p>This bomb shelter is made from concrete sewer pipe in the form of the publicised ARMCO steel bomb shelter with a blast wall at the open ends.</p> <p>The pipe is likely to have come from ROCLA a Brisbane company which was involved in providing the water supply and sewer system to Babinda at the time for the Babinda Water Authority. The likely date of construction is early 1942. By May 1942 the Battle of the Coral Sea saw a large scale deployment of American Troops in the area.</p>
Description	
Physical Description	<p>Concrete air raid shelter at rear of private house. Set on rear boundary of property.</p> <p>A simple yard shelter constructed of a large pipe section of concrete with a concrete blast walls at either end. The structure has been disused since the war.</p>



Table SC6.13.3.2.p – Statement of cultural significance – National Australia Bank – 56-60 Munro Street, Babinda

Site Details	
Site Name	National Australia Bank
Alternative Name	
Location	
Address	56-60 Munro Street, Babinda
Lot/Plan	Lot 204 on NR7472
Coordinates	Easting 385537.8 Northing 8082092.8
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	<p>The place is significant as the site of Babinda's local bank since the early twentieth century, and was rebuilt at least twice. The present building, constructed in 1932, contributes to the historic streetscape of Munro Street. It is one of the few surviving early bank buildings in the region. Many of the purpose designed bank buildings of North Queensland constructed prior to the 1950s have been demolished or destroyed.</p>
History	
Historical Context	<p>A receiving office, built in c.1915, was located opposite the railway yard on the eastern side of the Bruce Highway.</p> <p>A second smaller building, which was also a receiving office, was located on the present site of the National Australia Bank. This building was a small squarish timber box with a hipped corrugated iron clad roof and had little more than an entry door from Munro St. A photograph dated 1921 identifies this building as the 'Q.N.B. Babinda Branch, previously Receiving Office from Cairns'. In c.1922 it was replaced by a domestic-styled single storey timber building, built for the Queensland National Bank, designed in something of a Federation form with 1920s detailing. This bank building was destroyed by fire in 1931.</p> <p>In 1932, the present two-storey concrete building was constructed in a Neo-Georgian style. In c.1955, a two storey concrete addition was made to the east side frontage. The Queensland National Bank was absorbed by the National Bank of Australasia in 1948, and was renamed the National Australia Bank in 1981. The first of a series of footpath awnings in Babinda was built in front of the bank in 1992. The Branch was closed in c.1999 and the building is now residential.</p> <p>Architects for the building were Hill and Taylor.</p>
Description	
Physical Description	Set to the Munro Street alignment with some yardage either side of the main facade. Corrugated covered walkway constructed across frontage


	<p>A 1932 two storey bank building in concrete in a domestic Georgian Style with a banking chamber on the ground floor and a residence on the upper level entered from the east side.</p> <p>Original windows are multi-pane timber casements but on the upper level there were small highlight hoppers on the west and arch headed windows on the east. The east side extension of 1955 altered the perception of the building by remodelling the form and adding further multi-pane casements on the upper level where arch headed windows had been covered over.</p>
Images	

Table SC6.13.3.2.q – Statement of cultural significance – St Rita’s Convent

Site Details	
Site Name	St Rita’s Convent
Alternative Name	
Location	
Address	9-17 Church Street, Babinda
Lot/Plan	Lot 213 on SP236929
Coordinates	Easting 385484.4 Northing 8082150.4
Heritage Boundary	All of the building and original concrete and metal rail fence
Cultural Heritage Significance	
Criterion A	The Convent is significant within the townscape for its representation of the educational services and spiritual guidance provided to the local community by the Sisters of Mercy since 1926. The building is also an architect designed composition by Richard Hill, the most prolific of Cairns architects.
Criterion E	The Convent building has aesthetic significance as a good example of a substantial religious building designed in the Old English (Tudor) style.
History	
Historical Context	<p>It had been a policy of the Catholic Church to provide for Catholic education wherever possible despite the withdrawal of state aid to denominational schools in 1880. As a result there were Catholic Schools in most North Queensland towns with a demography to support it. Five nuns from the order of the Sisters of Mercy arrived in Babinda in 1926 to establish a convent. St Rita’s School opened in the same year. The former convent has many similarities with St Michael’s Convent, Gordonvale, established in 1923, indicating that it may have been designed by the same architect.</p> <p>In 1945, a foundation stone was laid for the new school adjacent to the convent and it was completed in 1946.</p> <p>The Cairns Post of September 1924 identified that Richard Hill architect of Cairns was inviting tenders for the convent at Babinda on behalf of the Babinda Catholic</p>


	<p>Building Committee. Hill did subsequently complete the convent in Gordonvale.</p> <p>The school was dedicated to St Rita of Casia in 1926 by the Augustinian Fathers who pioneered the Faith in the Babinda area.</p> <p>The Sisters of Mercy withdrew completely from the school in 1988 and staffing of the school was handed over to the lay staff. The convent building is currently used by the school.</p> <p>George Jago's 1980 photo shows a Celtic cross mounted at the apex of the gable over the entrance. This is no longer there and may have been removed when the sisters moved out.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The building is set back from the street alignment by approximately 10 metres with an original concrete fence along the footpath and is approached along a concrete path from a central gateway.</p> <p>The overall form is two storey, symmetrical and covered by hipped roofs and a transverse roof which includes gablet ventilators at each end.</p> <p>Designed in an Old English (Tudor) style the two storey concrete building includes a number of Tudor references including the Tudor arch and drip mould above it at the entry portico, the (jettied) balcony above, the faux half timbering in the gable and on the verandah valances and panels.</p> <p>The windows are timber framed tall casements and the entry door is surrounded by multi-pane lights.</p> <p>The Verandah floors appear to be polished concrete.</p> <p>The fence is likely to be contemporary with the building and is in concrete posts with pipe rail infill and a gate (set in an ingo) containing a decorative sunray motif in wrought metal.</p>
<p>Images</p>	

Table SC6.13.3.2.r – Statement of cultural significance – The Boulders

Site Details	
Site Name	The Boulders
Alternative Name	
Location	
Address	Boulders Road, Babinda
Lot/Plan	Lot 187 on NR800965
Coordinates	Easting 379772.4 Northing 8082433.7
Heritage Boundary	All of the land in Lot Plan 187NR800965/8445 but excluding all built structures
Cultural Heritage Significance	
Criterion A	The place is significant for its recreational and tourism uses since the early European settlement of the district. The continuing use of the site as a picnic and swimming area gives it historic importance.
Criterion G	The place is significant to the indigenous community as a meeting place and one which holds spiritual meaning.
History	
Historical Context	<p>The Babinda Boulders is of significance to Aboriginal people. In 2005, Annie Wonga, a Yidinji Elder, retold the legend of the Babinda Boulders for the television program 'Message Stick':</p> <p>'There was a tribe that lived here. In this tribe was an elder, and his name was called Waroonoo and Waroonoo was promised to a girl called Oolana. When they got married, they had a big dance. As they were dancing a wandering tribe passed through and they welcomed them. In this tribe was a handsome young warrior and his name was Dyga. Oolana fell in love with him, and he fell in love with Oolana. While they were dancing, they decided to run further up the creek and camp there overnight. And at the morning, the wandering tribe and our tribe saw that they were missing. So they went in search of them and they said to Oolana, "You've got to come with us." And his tribe took him away. And when she saw that, she just came and she threw herself into the creek. She loved him that much. And there was a mighty upheaval, and rocks were strewn everywhere and where she lay is now called the Devil's Pool. And every now and again she might call a wandering man to her thinking that it's Dyga.'</p> <p>The Babinda Boulders has been a scenic attraction and popular swimming hole since European settlement. A tourist guidebook from 1933 included the following description:</p> <p>'A not-to-be-forgotten excursion spot that must be visited by the tourist in Babinda is The Boulders. It is the "show place," as it were, and during past years has been visited by thousands of people. At this present moment, however, the road has been allowed to become overgrown by lantana and cane. It is to be re-opened so that visitors may find it as easily as the native people do. The Boulders is about three miles out of town and may be reached within half a mile by car. In form it is a remarkable accumulation of gigantic granite boulders, washed free of all covering earth and left bare and smooth and black to weather the years. A beautiful water-fall adds music and visual glory to the place and the water, shaded by the vegetation, swirls and gushes and eddies around the rocks and boulders. A mighty vulcan force in the aeons ago has torn and distorted this crust of earth for the sport of demons; but it has left for present-day al fresco parties a picnic spot of surpassing grandeur and extreme loveliness.'</p> <p>A tourist booklet dating from the early 1960s refers to the facilities at the Boulders at that time: 'changing-sheds, tables and fireplaces all helping to make this one of the areas most popular picnic spots'.</p>




	<p>In 1979, the Mulgrave Shire Council apparently upgraded these facilities by established a system of walking tracks, lookouts and safety fences along parts of the gorge.</p> <p>In 1990, the Australian Army built a suspension bridge over the creek, but this was washed away and has not been rebuilt.</p> <p>The Boulders remains one of the best-known tourist attractions of the Babinda district. However, 17 drowning deaths have been recorded at the site since 1959. All but one of the victims have been male and this fact is occasionally linked with the Aboriginal legend – suggesting the men have been lured or cursed by the spirit of Oolana.</p>
Description	
Physical Description	<p>At the western termination of Boulders Road and including car parking, camping and picnic areas.</p> <p>The Boulders is a gorge area of the Babinda Creek, approximately 7km west of the town of Babinda and located within the rainforests of the Wooroonooran National Park.</p> <p>The fast flowing tropical creek, which has created the narrow gorge, is strewn with large water-worn granite boulders forming numerous complex channels, sink holes and larger pools suitable for swimming. Visitor car parking and a cleared, grassed area have been created on the eastern side of the creek. A number of structures have been built within the cleared area, including an open-sided picnic shelter with hipped metal roof, a concrete toilet block and a more recent timber-framed composting toilet block. The area has also been provided with paved walkways and paths, barbeques, lights and picnic tables. A memorial to people drowned at the site is also placed within the cleared area.</p> <p>The swimming area is directly adjacent to these amenities. A walkway has been constructed from this area, following the creek southwards. This leads to a viewing platform over the Devils Pool, where swimming is strictly forbidden due to dangerous currents and under-tow.</p> <p>A small camping area has been created around a further concrete toilet block and concrete barbeque, located on the eastern side of the main cleared area.</p>
Images	

Table SC6.13.3.2.s – Statement of cultural significance – W. Ryan’s Bicycles and Repairs

Site Details	
Site Name	W Ryan’s Bicycles and Repairs
Alternative Name	
Location	
Address	25-27 Munro Street, Babinda
Lot/Plan	Lot 1 on RP711653



Location	
Coordinates	Easting 385662.2 Northing 8081995.3
Heritage Boundary	All of the shop-building and awning but not the building to the rear and all the title land
Cultural Heritage Significance	
Criterion B	The place is rare in demonstrating a small scale country town shop and shopfront constructed in simple materials (timber framed with corrugated metal cladding) which has barely been altered since the first half of the twentieth century. While the building may have been relocated from elsewhere, it has for some considerable time operated from this location.
History	
Historical Context	<p>This land is shown as a vacant cleared open area in panoramas of the town following the 1918 cyclone. The building may have been moved from elsewhere. Stylistically, it is likely to date from the early inter-war period.</p> <p>Alma and Bill Trevor bought the shop and bicycle and repair business in 1958 from W. Ryan. In 2001, Alma Trevor was still operating the bicycle and repair business, and living in the cottage at the rear, at the age of 93. She also sold vegetables from the shop.</p>
Description	
Physical Description	<p>Set to the Munro Street frontage with an awning over the street and to the rear a detached residential building.</p> <p>Stylistically the building is probably of the interwar period and may have been moved here. It is a small, timber-framed shop building, with a gabled roof and deep skillion verandah. A splayed timber ingo, housing a timber-panelled door, is located to one side of the fixed, timber-framed shop window with vertical timber panelling below. Weatherboards clad the front of the building, while ripple iron clads the side and rear elevations. The verandah has square, timber posts, set on tapering concrete post blocks, and a corrugated iron roof, like the main roof. The side and rear elevations include louvred windows with metal hoods. A separate residence of less significance is located at the rear of the property.</p>
Images	

Table SC6.13.3.2.t – Statement of cultural significance – Warren Jensen Hall (former school building)

Site Details	
Site Name	Warren Jensen Hall (former school building)
Alternative Name	
Location	
Address	17 King Street, Babinda
Lot/Plan	Lot 132 on NR1489

Coordinates	Easting 384866.5 Northing 8081801.2
Heritage Boundary	All of the building and a 10m buffer around the building
Cultural Heritage Significance	
Criterion A	The building is of local significance as a surviving element of Babinda's first public school. The original school site and its structures are no longer extant, although this building survives despite relocation and alterations which do not make its origins obvious.
History	
Historical Context	<p>The Babinda State School opened in 1914 and was initially accommodated within Maroney's Hall, a building located adjacent to the Babinda Creek Hotel, which was also the venue for silent films and dances. The building which was later relocated to become the Warren Jensen Hall was not the first school building built in 1916 on the Church Street site, but is likely to have been one of the later classrooms added in 1921, 1933 or 1934. The school was relocated to the Boulders Rd site between 1964 and 1969 and the Babinda Swimming Pool was built on the old school site.</p> <p>The classroom which was converted to become the Warren Jensen Hall was relocated to the sports ground in c.1970. Warren Jensen was, according to George Jago, a member of the Babinda Football Club who was killed in an accident.</p>
Description	
Physical Description	<p>Located in the south west area of the sports oval entered from Knowles Street. Adjacent to the southern end of the grandstand.</p> <p>A double class room school building in timber but now overlaid and substantially changed in appearance since its removal to this location. Even in 1980 the building still appeared as a school building.</p> <p>At that time the upper clerestory lights appeared to be painted glass, the exterior was all timber and much of the verandah was open.</p> <p>The original external wall (external framing visible) can be seen inside the current cladding and features include tall sets of windows (vertical sashes surmounted by hoppers) At the building ends are multi window sets. The building has a gabled ended corrugated iron roof.</p> <p>On the verandah are dowelled bag racks.</p> <p>The building is now high set on concrete stumps with toilets under.</p>
Images	

SC6.13.3.3 Barron

Table SC6.13.3.3.a – Statement of cultural significance – Former Freshwater Post Office

Site Details	
Site Name	Former Freshwater Post Office
Alternative Name	
Location	
Address	Lower Freshwater Road, Barron
Lot/Plan	Lot 304 on NR2543
Coordinates	Easting 362533.1 Northing 8133237.2
Heritage Boundary	To the extent of the building only
Cultural Heritage Significance	
Criterion A	The place has local historical significance as a railway structure dating from the early operation of the railway line before it became a tourist operation. It also has historical significance for the long term provision of postal services.
Criterion B	The structure is rare at the local level as a simple timber structure built for the railways and dating from the early twentieth century. While these buildings were originally quite common, few have survived into the twenty first century.
History	
Historical Context	<p>According to a plaque on the structure, the Freshwater Post Office opened in the Freshwater Railway Station in 1886. However, a Queensland Railways Plan of 1890-95 shows that the only structures near the railway line at Freshwater at this time were two cottages and two sheds. This structure, which was a multi-function station, office, post office and storage area, was most likely constructed between 1910-20.</p> <p>Minnie Le Grande, was Freshwater's Railway and Post Mistress from 1915-55. From 1956-81 the Freshwater Post Office operated from 11 Valley Street with the Post-Mistress living at Number 13. The building was relocated from the other side of the railway line in 1984 and refurbished by the Freshwater Pony Club.</p> <p>Queensland Rail had the contract for the mails to be delivered where there was a rail-line and most mail would have been deposited at the rail stations until a more permanent Post Office was constructed for the Post Master Generals Department in the adjacent town.</p>
Description	
Physical Description	<p>Located on southern boundary of the Pony Club which is to the north side of the Freshwater Railway Station. Currently used as shelter shed "B".</p> <p>A small railway shelter-storage building transferred from the railway station opposite. The building is low set to the ground, and made from simple timber weatherboards and frame with a corrugated iron roof. The roof is a skillion with a secondary skillion roof (to cover the platform) jettied out on curved brackets. Joinery is all timber. The building plan is divided into a near equal areas of waiting room and lockable office store. The waiting area has a battened area around its base but this may have replaced the weatherboarding.</p>



Table SC6.13.3.3.b – Statement of cultural significance – Old Smithfield Cemetery

Site Details	
Site Name	Old Smithfield Cemetery
Alternative Name	
Location	
Address	Kamerunga Road, Barron
Lot/Plan	Lot 46 on NR2060
Coordinates	Easting 360824.5 Northing 8134944.9
Heritage Boundary	All of the Cemetery Reserve site, the trees and the lone grave
Cultural Heritage Significance	
Criterion A	<p>The Old Smithfield Cemetery is of historic importance at the local level, set aside as an early cemetery reserve to serve the proposed township of Smithfield, it came to have only one burial (person unknown) as the township failed and the population moved into Cairns proper where there was more supporting infrastructure. The Cemetery reserve has not been revoked and it remains an open landscape with mature trees and containing just the one grave.</p>
Archaeological Potential	<p>Although only one burial is known there may be others and so the archaeological potential is high even if no additional sites are found.</p>
History	
Historical Context	<p>Land for a cemetery reserve was noted as gazetted in 1848 (GG1848.1.905) on the reserve plans and the reserve was numbered R76 and comprised 5 acres. This reserve is shown on Government survey plan Nr2060. This date is at odds with the settlement of the town and may be an error transferred onto the plans. The most likely date is 1878 not 1848.</p> <p>The cemetery was established to serve the needs of the nearby Smithfield township which had established on the banks of the Barron River. The 1876 township plans show some 6 streets laid out by the Government surveyor.</p> <p>The old Smithfield area was eventually abandoned after severe flooding and resettlement occurred in Cairns itself.</p> <p>The land is shown on a plan of 1882 showing the adjacent Camping Reserve GG1882.2.1586 but this camping reserve was cancelled 4 years later by notice in GG1886.1.157. The cemetery was not cancelled and this may have been in part due to the lone grave annotated on one of the many plans drawn of the area (e.g. township Plan K.353, drawn up for the Kamerunga township). The other possibility is that it may have been thought the cemetery would have also served the new Kamerunga township although it was on the wrong side of the Barron and a serviceable connection was not made until 1911.</p>


Description	
Physical Description	<p>Set in an open field off Stewarts Road (off the Smithfield to Kamerunga Road), the site is marked by a timber fence and a number of trees within the site boundaries.</p> <p>The site is simply a rectangle of ground of 5 Acres covered in grass with a paling front fence. The land is 10 chains x 5 chains (201m x 100m) and has a number of established palm and Poinciana trees.</p> <p>A lone grave is surrounded by a wrought metal low grave surround and has a flat metal plate "headstone" . The surround and metal plate are of the type produced elsewhere in Australia during the 1870s- 1900s but the paint on name has long since vanished.</p>
Images	

Table SC6.13.3.3.c – Statement of cultural significance – Old Smithfield Town Site

Site Details	
Site Name	Old Smithfield Town Site
Alternative Name	
Location	
Address	Redford Road, Barron
Lot/Plan	Multiple lots
Coordinates	Easting 361571.3 Northing 8135425.1
Heritage Boundary	To the extent of the former town reserve and a surrounding 10m buffer
Cultural Heritage Significance	
Criterion C	The former Smithfield township site is of cultural significance at the local level. As the site of one of the earliest settlements in the Cairns area, it subsequently failed and was abandoned. As such it has the ability to reveal in an archaeological manner, information about life in a very short period of the late 1870s. Although this area was later turned over to cane farming, it is still possible to recover archaeological evidence of settlement although this may have been partly destroyed by agricultural activities.



Archaeological Potential	Possible High archaeological potential but this needs to have some exploratory efforts to determine what values may still be attributable to the site. It may be that agricultural activities have destroyed evidence of the site but some further study and opening up would be required to determine what evidence remains.
History	
Historical Context	<p>In the late 1870s, a former Cooktown publican, Bill Smith, set up business on the banks of the Barron River, north of Cairns. A number of traders, packers, carriers and prospectors left the Cairns area to join him and the settlement became known as Smithfield. The climate of the riverside township may have been more attractive than Cairns during the wet season. While the settlement rivalled Cairns in date, it was no match for the Governments intentions to create a port at Trinity Inlet. Cairns had some 40 Sections of the township surveyed allowing a potential for 800 house allotments while the survey for Smithfield in 1876 (of just two sections) had the potential for just 40 house sites of 32perch. At the end of 1877, Bill Smith murdered a Cairns businessman and then committed suicide. These circumstance, in addition to cyclones and flooding, lead to its abandonment.</p> <p>Plans of the area dated 1876 show the township headed by Hill Street with Smithfield Esplanade on the river and Macdonald, Seymour and Logan Streets as intermediate streets. The township reserves were cancelled in 1941 (GG1941.2.998) years after the site had been well and truly abandoned.</p>
Description	
Physical Description	<p>A rectangle of land now covered by cane fields at the end of Redford Road, Smithfield. The land is difficult to distinguish from the surrounding lands and requires a survey to identify its location.</p> <p>Little evidence of either the buildings or the street layout remains. Much of the area was turned into sugarcane growing fields after the site was abandoned.</p> <p>The two main land blocks of 1000 links x 450 links were subdivided down into 32perch allotments of 100 links x 225 links each.</p>
Images	

Table SC6.13.3.3.d – Statement of cultural significance – Smarts/Shorts Farm

Site Details	
Site Name	Smarts/Shorts Farm
Alternative Name	
Location	
Address	Captain Cook Highway, Barron
Lot/Plan	Lot 4 on RP748713
Coordinates	Easting 364629.0 Northing 8134940.1
Heritage Boundary	All of the building and a 5m buffer around it


Cultural Heritage Significance	
Criterion B	The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed close to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four</p>

	<p>bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Located off the west side of the Captain Cook Highway immediately west of the Machans Beach Road junction.</p> <p>The double cane barracks are clad with corrugated iron and includes round timber verandah posts. Sections of lattice are also employed. The building is legible as a barracks building by way of its shape and a continuation of the traditional materials although some openings have been made through the structure and its use has changed. The nearby house is a two storey timber Queenslander with corrugated iron roof and casement windows.</p>
<p>Images</p>	

SC6.13.3.4 Bartle Frere

Table SC6.13.3.4.a – Statement of cultural significance – R A Mayers and C M Mayers Barracks


Site Details	
Site Name	R A Mayers and C M Mayers Barracks
Alternative Name	
Location	
Address	Menzies Road, Bartle Frere
Lot/Plan	Lot 2 on RP745892
Coordinates	Easting 381376.2 Northing 8070364.4
Heritage Boundary	All of the building and a 5m buffer around it
Cultural Heritage Significance	
Criterion B	The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed close to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p>

	<p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The barracks are located close to the road at the base of a rise, and were once opposite other barracks (now destroyed).</p> <p>An L-shaped, 3 bedroom barracks building. It is timber-framed and clad with corrugated iron. The support posts are all timber. The overall shape and purpose is highly recognisable.</p>
<p>Images</p>	

SC6.13.3.5 Bentley Park

Table SC6.13.3.5.a – Statement of cultural significance – T J Fantin and A S Wilesmith

Site Details	
Site Name	T J Fantin and A S Wilesmith
Alternative Name	
Location	
Address	57-87 Bi-Centennial Road, Bentley Park
Lot/Plan	Lot 3 on NR2999
Coordinates	Easting 365275.3 Northing 8119410.3
Heritage Boundary	All of the building and a 5m buffer around it
Cultural Heritage Significance	
Criterion B	The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed close to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p>

	<p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Set back some distance (possibly up to 100m) from Bi-Centennial Road behind the contemporary house facing the road.</p> <p>These barracks were originally clad with corrugated iron, but have been extensively modified to convert the structure to horse stables. It has also been re-roofed.</p>
<p>Images</p>	

SC6.13.3.6 Bungalow

Table SC6.13.3.6.a – Statement of cultural significance – Former Post Office and Residence

Site Details	
Site Name	Former Post Office and Residence
Alternative Name	
Location	
Address	210 Spence Street, Bungalow
Lot/Plan	Lot 4 on RP710605
Coordinates	Easting 368264.8 Northing 8127258.8
Heritage Boundary	The building and its title land
Cultural Heritage Significance	
Criterion A	The place has historical significance at the local level for the provision of postal services during the development of Bungalow as a suburb of Cairns from the 1940s to the 1990s.
Criterion B	<p>The structure is uncommon at the local level as an identifiable but non-official Post Office, which was not designed, paid for or constructed by the Commonwealth government but was sanctioned by them. Oddly the plans and specification for the works were advertised as being available at the local (and adjacent) Quinn's Store. The designer remains unknown and the works may have been simply the conversion of an existing building.</p> <p>As a typology, the building is unusual for its design with an associated upper level residence.</p>
History	
Historical Context	<p>The Post Office was completed for the Commonwealth Department of Works on behalf of the Post Master Generals Department.</p> <p>The architecture is similar in detail to that of Cairns architect S. G. Barnes although nothing identifies him as the architect. Files held by the National Archives indicate this was a 'non official post office' with the files dating from 1946 - 1947 (possibly construction date) and later, possibly at the time of closure (1990-91).</p> <p>At the time of construction, Bungalow was just a small suburb accessible along Hap Wah Road (Mulgrave Rd) and along Spence St which had a parallel railway line and Station stop at Bungalow, the first stop from Cairns central. The rail ran in the current open reserve which runs along the street, the next stop being at Cannon Park racecourse.</p> <p>The structure comprised the non-official post office at ground floor level and a residence above. Articles contained in the Cairns Post indicate that there was public concern to have a post office since 1944 and by 1946 there was pressure mounting on the PMG to have one built.</p> <p>The PMG did not favour the name Bungalow Post Office and there was suggestions made by the public for alternative names. By late 1946 plans and specifications were released with tenders closing on 7 November. Work must have commenced immediately as a post office had started to operate by January 1947 although this may have been a temporary arrangement until the new building was completed. The works may have simply been an alteration or an upper extension to an existing building at the site rather than a whole new construction.</p> <p>By August 1947 arrangements had been made for banking to take place at the post office.</p>

Description	
Physical Description	<p>A two storey brick residence and post office with a hipped pyramidal roof finished with Marseilles terracotta tiles. The date stamped on the original tiles indicates the tiles were made on 19/10/1947. The roof has a wide flat eaves overhang. The brick is hard pressed in red varieties. The ground floor is marked by a colonnade of red brick piers styled like Doric columns. A render band above the piers proclaims Bungalow Post Office in three dimensional lettering. Original windows were timber casements with horizontal glazing bars but many on the street façade have been replaced with aluminium framed sliding sash windows. A (recent) metal screen closes off the left-hand side of the façade. The entry door is marked by an architrave of bullnosed bricks.</p>
Images	

SC6.13.3.7 Cairns City

Table SC6.13.3.7.a – Statement of cultural significance – Adelfia Greek Taverna


Site Details	
Site Name	Adelfia Greek Taverna
Alternative Name	
Location	
Address	16-20 Aplin Street, Cairns City
Lot/Plan	Lot 1 on RP720833
Coordinates	Easting 369322.3 Northing 8128757.4
Heritage Boundary	The whole of building and land
Cultural Heritage Significance	
Criterion A	The building is of historic significance at the local level as a substantial corner building dating from c.1920 which contributes to the historic townscape of Cairns.
History	
Historical Context	The history of this building is unknown and no historic photographs have been identified. In March 1926 the architect Richard Hill called tenders for a concrete shop at the corner of Aplin & Sachs Street. This may be that shop and it has the appearance of being an architect designed building and it is not unlike other buildings by Hill in its robust appearance.
Description	
Physical Description	A two storey concrete building with a timber-framed, double-storey verandah, splayed at the corner and wrapping around the two street frontages. The building's parapet features an interesting profile with stepped and curvilinear sections, capped by a moulded cornice. The verandah has paired square posts and a deep valance for signage at ground floor level. At first floor level, the verandah has a solid balustrade (either A/C sheet or timber), with vertical timber battens. Above the balustrade, the verandah has been enclosed with fixed windows. At ground floor level, the building has been modified with large areas of fixed glazing and a metal roller door covering the central door.
Images	

Table SC6.13.3.7.b – Statement of cultural significance – Adventure Travel (formerly Lannoy House and Trocadero)

Site Details	
Site Name	Adventure Travel (former Lannoy House and Trocadero)
Alternative Name	
Location	
Address	90-92 Lake Street, Cairns City
Lot/Plan	Lot 1 on RP714917
Coordinates	Easting 369673.0 Northing 8128654.7
Heritage Boundary	The whole of the building
Cultural Heritage Significance	
Criterion A	Built in 1928, the building is relatively intact and contributes to the historic streetscape.
Criterion G	The Trocadero dance hall was one of Cairns' most popular social venues for the local community between the 1920s and 1940s. During WWII it played an important recreational role for visiting service men and women.
History	
Historical Context	<p>Lannoy House was designed by Hill and Taylor Architects and built by T. B. O'Meara and Sons in 1928 for 12,000 pounds. The owner of the building was Octave Lannoy. Lannoy was the proprietor of the 'Cairns Argus' newspaper in the first decade of the 1900s, but later moved to Sydney. Mazlin's Limited, a company of drapers, originally leased the ground floor of the building. Mazlin's had started on the Atherton Tableland and moved to Cairns in 1922, originally operating from a shop in Abbott Street. The original shopfront windows were described as being particularly fine with grey granite tiling, a leadlight frieze and octagonal showcases at the corner entrance. The shop fittings were made from solid timber, mostly oak, and a 'flying fox' cash railway, constructed to carry sales dockets and cash from the various department counters to the elevated office, was a feature of the shop for many years.</p> <p>The upper floor of Lannoy House was used as a dance hall known as the 'Trocadero'. The dance hall included a raised dais for the orchestra and a railed off dance floor set on rubber blocks at the centre of the hall. Around the outside of the dance floor were tables and walls panelled with polished timber and mirrors. The fibro cement ceiling was decorated with latticed panels. Other features included one of the earliest electric refrigerators in Cairns, large electric fans, variable coloured lighting and a balcony for patrons on the side of the building adjoining the Palace Theatre to Lake Street. The Trocadero was leased to Jack Sheehy and was a popular dance venue until after World War Two when the directors of Mazlin's took over the lease and used the space for storage.</p> <p>Mazlin's Ltd leased the building until 1955 and then purchased it. In 1958 the business, but not the building, was sold to Woolworths (Qld) Limited. Lannoy House was sold to the Russo family in 1972. The partners were Salvatore and Giovanna Russo and John and Mary Russo. The ground floor and parts of the first floor were leased back to Woolworths who continue to trade from the building as Rockmans.</p>
Description	
Physical Description	A double-storey concrete building, with a splayed corner and two principle facades addressing Shields and Lake Streets. The building comprises two shops addressing Shields Street, one large corner shop, and a staircase within the southern end of the Lake St façade, providing access to the first floor. At ground floor level, the shopfronts have been substantially modified and are mainly fixed glass. A boxed awning is suspended above these shopfronts. At first floor level, wide pilasters divide the elevations into bays with a pair of arched windows within each bay. A moulded cornice extends across the building below the parapet. The raised rendered letters 'MAZLINS' are visible on the Shields Street parapet, but

	further lettering on the parapet has been concealed by recent signage. The gabled roof of the dance hall, clad with corrugated sheeting, is just visible behind the parapet.
Images	

Table SC6.13.3.7.c – Statement of cultural significance – Army Disposals (Pro Dive)

Site Details	
Site Name	Army Disposals (Pro Dive)
Alternative Name	
Location	
Address	46-50A Shields Street, Cairns City
Lot/Plan	Lot 2 on RP719928
Coordinates	Easting 369477.0 Northing 8128571.5
Heritage Boundary	The whole building including verandahs
Cultural Heritage Significance	
Criterion A	The building has local significance for its contribution to the historic streetscape of Shields Street.
History	
Historical Context	The building appears to have been built as two shops in the c.1920s. They were built by George Blessa and were known as Blessa's Shops. In the 1921 edition of Pugh's Almanac, G. Blessa's was listed under 'Confectioners, Fruiterers, Refreshment Rooms etc.' in Cairns. The building was owned by the Blessa family for many years. The site is shown vacant in c.1920 and c.1924 photographs of Shields Street, which show that the neighbouring shops at 52-62 Shields Street existed at this time and therefore predate Blessa's shops.
Description	
Physical Description	A single storey masonry building comprising one large corner shop and an adjacent shop, both addressing Shields Street. The building features an original timber-framed verandah wrapping around both street frontages and a splayed corner to both the verandah and building. The verandah has a skillion roof clad with corrugated iron and decorative timber brackets. The building also features a prominent rendered parapet with expressed panels, string courses and piers, although further details may have been removed from the top of this parapet. The shopfronts have been altered and now comprise glazed doors and fixed windows framed with aluminium.



Table SC6.13.3.7.d – Statement of cultural significance – Cairns Post Building

Site Details	
Site Name	Cairns Post Building
Alternative Name	
Location	
Address	22-24 Abbott Street, Cairns City
Lot/Plan	Lot 503-504 on C1981
Coordinates	Easting 369877.2 Northing 8128646.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The 'Cairns Post' is a long-running newspaper which was first established in 1881 and has been continuously published as the 'Cairns Post' since 1908. It has also been located at this site since 1908. The newspaper has had a great social impact on the lives and attitudes of Cairns residents and those throughout the region. The building was one of the earliest buildings in the town designed in a classical style and demonstrated the local community's confidence in the growth of Cairns as an important regional centre during the pre-war and interwar periods.
Criterion E	The design of the first phase of the building was an accomplished composition in the Classical style by the architect Harvey Draper. The substantial extensions of 1924 by the architect Richard Hill continued the original architectural treatment, but diminished the quality of the original design which had been in an almost strict adherence to an academic classical approach to the appearance of the building. This gave the composition a vertical appearance as opposed to the horizontal composition of the later Hill & Taylor design.

History

Historical Context

The first 'Cairns Post' was published on 10 May 1883 and founded by Frederick Thomas Wimble (1846-1936). The newspaper was initially run from a simple weatherboard building in Lake Street. The newspaper was in competition with a number of other newspapers based in the Cairns region in the nineteenth century including the 'The Argus', 'Cairns Telegraph', 'Cairns Advertiser', 'Cairns Chronicle', 'Daily Times', 'Trinity Times' and 'Smithfield Observer'. The 'Cairns Post' was initially published weekly until 1888 then bi-weekly for the next five years. In 1893, Frederick Wimble lost all his money in a bank crash. The 'Cairns Post' was subsequently closed and absorbed by 'The Argus'.

In 1895, the newspaper was revived by Edwin (Hoppy) Draper, initially as the 'Cairns Morning Post'. Hoppy Draper had previously been the editor of the 'Cairns Chronicle', but had bankrupted this newspaper with a series of libel cases for his colourful descriptions of local dignitaries. Hoppy Draper died in 1901 and left the paper to his elder brother Alexander J Draper (1863-1928). A. J. Draper has been described as "the most important political figure in the early history of Cairns". He held the position of Mayor for several terms between 1892 and 1927 and was a successful local businessman. His business included accountants, tax consultants, auctioneers, valuers and home furnishings. He was also involved in the export of bananas, the sugar industry and mining.

The paper was officially renamed the 'Cairns Post' in 1908 when it moved into its current building. In 1910, 'The Trinity Times' closed and this left the 'Cairns Post' as the only newspaper in the region, ending the era of competitive newspapers in Far North Queensland. The newspaper was owned and controlled by the Draper family until 1965, when Queensland Press Ltd bought the company.

The historian Dorothy Jones described the 'Cairns Post' as "self-appointed guardian of the public conscience... The newspaper was a vigilant watchdog over local government effort, grumbled against drunkenness, gambling and brawling, but waxed with most indignation against the local bordellos."

The architect Harvey Draper (1869-1921), another younger brother of A. J. Draper, was an architect and designed the first stage of the Cairns Post building, built in 1908. Harvey Draper was born in Victoria and worked as an architect in Melbourne before he sought out better opportunities in the goldfields of Western Australia in 1892. He worked as an architect in Kalgoorlie and for some of that time was in partnership with HL Brookman. Draper relocated to Cairns in 1908. He was listed as an architect, with offices in the School of Arts Building, Cairns, in Pugh's Almanac of 1909. In 1910, he placed an advertisement in Pugh's Almanac stating that he was a 'FWAIA' (Fellow of the Western Australian Institute of Architects). By at least 1916, he was a Fellow of the Queensland Institute of Architects. He died in Cairns in 1921. Other buildings designed by Draper include Hannan's Club (Kalgoorlie, 1896), the Adelaide Steamship Company's Offices (Cairns, 1910), the Jack and Newell Store (Cairns, 1911), the Palace Theatre (Cairns, 1913), the Howard Smith Building (Cairns, 1914), St Saviour's Church (Kuranda, 1915) and the Cairns Ambulance Station (1921).

The Cairns Post building initially comprised three bays to the Abbott Street, but five further bays substantially extended the façade in 1924. The extension, designed by the architect Richard Hill, repeated the original design of giant order Ionic columns and aedicule openings, but the original pediment above the entablature was replaced by a balustraded parapet. The builder was T. B. O'Meara.

Richard Hill was born in Greymouth, New Zealand in c.1884 and began practicing as an architect in Cairns in 1919. He went into partnership with Arthur John Henry Taylor (1902 - 1955) in 1927. Buildings designed by the practice of Hill and Taylor include the Cairns City Council Chambers (1930), Johnstone Shire Council Chambers, Innisfail (1938), Proserpine Hospital (1939-40) and the Barron Valley Hotel, Atherton (1940).

Queensland, like anywhere else in the Commonwealth had a history of building civic structures in the Classical style until the end of World War Two. Many of the finest structures were completed in the major cities and towns such as Brisbane, Maryborough, Rockhampton and Townsville. Cairns was no different, it had constructed classical styled buildings in timber and masonry since settlement.


	<p>Amongst those of interest was the classically styled timber building housing the second Cairns Post Office, built in the 1890s but demolished by the 1930s, and the Cairns City Council Chambers of 1929 in masonry which followed carefully the principles of Classicism as far as the frontage was concerned. The same Cairn's architects (Hill and Taylor), who designed the Cairns Council building had also extended the frontage to The Cairns Post building, so its style and adherence to an Academic classicism is unsurprising. Other important civic buildings of this time, most of which were designed with classical detailing intended to re-affirm the power and presence of government in the community, included the former Court House [600376], former Public Offices (present Art Gallery) [600376], former Customs House [600377] and the Cairns State High School.</p> <p>The construction of these buildings reflected the State Government and the local community's confidence in the growth of Cairns as an important regional centre during the interwar period.</p>
Description	
Physical Description	<p>A double storey masonry building built to the street alignment.</p> <p>A loggia of nine half-fluted Ionic columns is the central focus of the Classical façade to this masonry building. The columns support a deep entablature with denticulate cornice and the raised rendered letters; 'THE CAIRNS POST PTY. LTD.' Above the cornice is a balustrade parapet with a central panel with the raised rendered letter; 'ESTAB 1882'. Behind the parapet, a steeply pitched roof clad with corrugated steel extends well above the balusters. Within the loggia is a symmetrical arrangement of window and door openings comprising two entrances and six windows. The doors are double panelled doors, while the windows are timber-framed and double-hung. Each window and door is surmounted by a top light and framed by pilasters and a pediment in a classical arrangement.</p> <p>The building as complete was designed by Hill and Taylor architects and completed by T. B. O'Meara. The 1908 section to the left hand side was designed by Harvey Draper. While the front façade only features openings at ground floor level, the side elevation features ground and first floor windows, which have been replaced in recent years. The regular concrete frame of the two storey building is also evident from the side.</p>
Images	

Table SC6.13.3.7.e – Statement of cultural significance – Cairns Presbyterian Church

Site Details	
Site Name	Cairns Presbyterian Church
Alternative Name	Former St Andrews Presbyterian Church
Location	
Address	85-87 Sheridan Street, Cairns City
Lot/Plan	Lot 1 on RP701217 and Lot 114 on C1983
Coordinates	Easting 369174.1 Northing: 8128691.4
Heritage Boundary	The building and its title land


Cultural Heritage Significance	
Criterion E	The building is of local significance as a well-defined historically based architectural composition. For the period in which it was built it is unusually "historicist" particularly given the styling being developed for other churches in Cairns at the same period. It is never the less well tutored in its detailing.
Criterion G	The land has contained a Presbyterian church in this location since 1905 and this site is the main centre of Presbyterianism in Cairns. It is of local significance for this singular continuous occupation of the land by one religious community group.
History	
Historical Context	<p>In 1901, the Reverend James Pattison conducted Cairns' first Presbyterian church service in the Oddfellows Hall. The first Presbyterian Church, St Andrews, was built in 1905. It was a timber-framed building and was damaged by three cyclones but survived until 1953.</p> <p>A new St Andrews Church (or Kirk) was built on the site in the 1950s. It was designed by the architect Thomas Jamieson Roy (1915 - 1982).</p> <p>The Church is now used by New Life Ministries, a Presbyterian based fellowship.</p>
Description	
Physical Description	<p>Set back approximately 4m from the western side of Sheridan Street, Cairns.</p> <p>A stripped Lombardic style church finished with simple detailing and oddly regressive in style for a 1950s building. During this period many 'modern' churches were being built or designed in a more experimental manner as architects sought a new truth in architecture.</p> <p>The brick is a variegated red-orange appearance with soldier coursing over openings. The windows are paired elongated timber framed casements in the east façade while on the north and south elevations the clerestory lights are timber framed casements in groups of five.</p>
Images	 <p>The images show the exterior of St. Andrew's Presbyterian Church. The top left photo shows a side view of the brick building with a prominent circular window. The top right photo shows the entrance with a large wooden door. The bottom photo is a close-up of a stone plaque on the brick wall.</p>

Table SC6.13.3.7.f – Statement of cultural significance – Cairns RSL

Site Details	
Site Name	Cairns RSL
Alternative Name	
Location	
Address	115 Esplanade, Cairns City
Lot/Plan	Lot 2 on SP211756
Coordinates	Easting 369532.6 Northing: 8129141.2
Heritage Boundary	All of the one building including the 1937 portion, the 1961 reworking and more recent northern additions and the title land
Cultural Heritage Significance	
Criterion A	The place is of historic significance at the local level as a site purchased in 1916 by the Cairns Welcome Home Committee as a rest home for returning soldiers and has been associated with returned soldiers since that time. A succession of buildings have been constructed on the site by the Returned Soldiers and Sailors Imperial League of Australia, forerunners of the Returned and Services League of Australia (RSL).
History	
Historical Context	<p>The site of the Cairns RSL was initially purchased in 1916 by the Cairns Welcome Home Committee as a rest home for returning soldiers. At the end of First World War, the Returned Soldiers and Sailors Imperial League of Australia (known as the Returned and Services League of Australia (abbreviated to RSL) since 1990) acquired the building. In 1937, the original house was moved to the rear of the site and a new building constructed to provide a meeting place for war veterans.</p> <p>In the 31 August 1938 edition of the Cairns Post the following notice appeared: V. M. Brown, architect, Lake and Gatton streets. Cairns, invites tenders for the erection of new club rooms in reinforced concrete or brick on the Esplanade, Cairns, for the RSSILA.</p> <p>Throughout the Second World War, the club welcomed all serving members of the armed forces.</p> <p>In 1952, it was discovered that the land did not officially belong to the Cairns RSL Sub Branch. This led to the drafting of a special Parliamentary Act, the Cairns Welcome Home Transfer Act, vesting the property to the Sub Branch.</p> <p>In 1955 the RSL was granted a club license, but in 1963, a fire destroyed everything but the front portion of the building (dating from 1937). Within two years, a new building was constructed behind the original façade. Between 1991 and 1996, a \$2 million renovation and refurbishment project adapted the building for poker machine use and other modern expectations.</p> <p>Historic photographs of the earlier buildings are referred to in 'References.'</p>
Description	
Physical Description	<p>A two storey masonry building combining several phases of construction although no one period is dominant in this eclectic and somewhat architecturally rambling building. On the left-hand side is the work from the 1965 rebuild, in the left of middle is the remnant of the 1938 VM Brown designed building and on the right-hand side at Florence St corner is the extensions of 1991 and later.</p> <p>The whole is two storey masonry (rendered brick, exposed brick and lightweight rendered cladding) with the entry in the middle right of the original 1937 entrance. This 1937 portion of building appears as if now just a façade.</p>



Table SC6.13.3.7.g – Statement of cultural significance – Chapter One Restaurant

Site Details	
Site Name	Chapter One Restaurant
Alternative Name	
Location	
Address	92 Abbott Street, Cairns City
Lot/Plan	On SP127912
Coordinates	Easting 369535.7 Northing: 8129075.9
Heritage Boundary	All of the building and its title land
Cultural Heritage Significance	
Criterion A	The building is of historical significance at the local level as a residence from the early twentieth century which has been adapted for new uses as the character of this section of Abbott Street has changed from residential to commercial, demonstrating the growth and development of Cairns.
History	
Historical Context	The building was most likely built in the 1920s as a residence. In 1936, 'La Femme Elegante' School of Dressmaking, was run by Ruth Dunning at 92 Abbott Street. In 1954, Mrs E Mellick resided at 92 Abbott Street.
Description	
Physical Description	A two storey timber building which appears to have been extended rearward with originally a residential component above a shop area. The frontage appears as if there were once two shops symmetrically arranged but now altered. The remaining shop has a traditional appearance being in glass and timber mouldings with a right hand side ingo. The removed shop exposes a stairway to the (original) residential area above. Such a stairway would have been originally at the rear area.
Images	

Table SC6.13.3.7.h – Statement of cultural significance – Cherry Blossoms

Site Details	
Site Name	Cherry Blossoms
Alternative Name	
Location	
Address	21 Spence Street, Cairns City
Lot/Plan	Lot 1 on RP706479
Coordinates	Easting 369826.0 Northing: 8128461.3
Heritage Boundary	All the building and title land
Cultural Heritage Significance	
Criterion A	The building has historic significance at the local level as the purpose-built Cairns branch of the Bank of Australasia, designed by the notable Cairns architect Richard Hill and constructed in 1926.
History	
Historical Context	<p>The building was constructed in 1926 as the National Bank of Australasia Limited, six years after the bank expanded to Queensland. The following article in the Cairns Post described the building:</p> <p>“The new premises of the National Bank of Australasia at the corner of Lake and Spence Streets, were occupied last Saturday by the tenants. The whole of the ground floor, with the exception of one shop or office facing Spence Street, is occupied by the National Bank of Australasia. On the first floor the whole of the Spence Street frontage is occupied by Messrs. Murray and McLaughlin, solicitors. The end office on the Lake Street frontage is occupied by the Cairns Carrying Company and the rest of the offices, numbering four, are yet to be let.</p> <p>“A feature of the building is its eminent suitability to tropical conditions; the arched verandahs on the sunny sides of the building not only give it an air of distinction, but keep the sun from the walls of the building. Lighting arrangements have been well carried out, large airy windows on the street facades and steel frame windows of ample dimensions on the side and rear walls of the building, throwing good natural light throughout the offices. At the back of the shop is a large window 12 feet x 8 feet, and a similar one is at the back of Murray and McLutigin's office above. A skylight gives light to the public stairway and the lobby.</p> <p>The premises are fitted with an up-to-date septic tank installation throughout. The fittings of the bank offices which were made on the spot by the contractors Lanham, Deacon and Watkins, are of silky oak with polished maple counters, while the tellers' compartments are of bronze lattice. There are two strong rooms in the building, one for the bank and another for Murray and McLaughlin, both having very thick walls and strong reinforcing. Two officers will sleep on the bank premises and they are provided with a bedroom and bathroom. The architect for the building is Mr. Richard Hill, in conjunction with Mr. Lange Powell, of Brisbane.” It is likely in this joint arrangement that Powell designed the building in accordance with the Bank's standards and Hill arranged the tendering and contract inspections.</p> <p>The National Bank of Australasia was established in Victoria in 1858. The bank was originally based in the urban and rural areas of Victoria and South Australia. Expansion to other Australian states followed, with branches opening in Tasmania (1859), Western Australia (1866), New South Wales (1885) and finally Queensland (1920). Gradually over the years, it expanded and absorbed a number of other banking institutions in Australia, including the Bank of Queensland in 1922 and the Queensland National Bank (est. 1872) in 1948. The Bank of Queensland was itself the result of the merger in 1917 of the Royal Bank of Queensland (est. 1886) and the Bank of North Queensland (est. 1888). In 1981, the National Bank of Australasia Limited merged with The Commercial Banking Company of Sydney Limited to form the National Commercial Banking Corporation of Australia Limited and subsequently changed its name to National Australia Bank Limited (NAB).</p>


	By 1977, the building was known as 'Earl Court Offices' and in 1994 it was also referred to as 'Earl Court'.
Description	
Physical Description	A two storey commercial palazzo building which once had an open arcade on two sides facing Spence and Lake Streets. Completed in a stripped classical style, the building has since had the arcading infilled and curved polymer (Danpalon) awnings added on the two streets disguising its original architecture.
Images	

Table SC6.13.3.7.i – Statement of cultural significance – City Liquor Store

Site Details	
Site Name	City Liquor Store
Alternative Name	
Location	
Address	28-30 Abbott Street, Cairns City
Lot/Plan	Lot 2 on RP715691
Coordinates	Easting 369857.7 Northing: 8128669.9
Heritage Boundary	The building at the allotment frontage (the shop), the brick building at the rear and its title land
Cultural Heritage Significance	
Criterion A	The shop and stable building at the rear, built in c.1905, are of historic local historic significance for their contribution to the historic streetscape of Abbot Street. Such small scale shops have only survived because of their masonry construction resisting fires and cyclones. Only a small number of these early buildings survive in the city area and are of importance for their streetscape contribution and the scale of building which portrays conditions of building in the early 20th century.
Criterion B	The survival of the red brick stable building at the rear is rare at the local level.


History	
Historical Context	The building was originally constructed for retail use in 1906 and includes a red brick stable building at the rear, built in 1905. The name 'Ben Mellick' is painted on one of the shopfronts. This was a business name combining the names Bennett and Mellick. In the mid 1950s the building was used as offices by Queensland Trustees and J Bennett and Mellick Solicitors.
Description	
Physical Description	<p>A single storey shop built to the footpath alignment and a single storey brick building in the rear of the property.</p> <p>A red brick building, laid in English bond pattern, which is divided into two shopfronts. It includes an original rendered plinth and mouldings, but the framing and glazing is recent. Recent metal cladding conceals a parapet and the box awning is also clad with metal. The northern side elevation features two four-panel doors with top lights and high level timber-framed hopper windows. The roof comprises two saw tooth roofs clad with corrugated iron. An older timber addition with exposed studs and a skillion roof is attached to the rear of the shop. At the rear of the site is a separate brick stable building with gabled and parapeted ends. A decorative pipe and wrought iron gate is fixed to the side of the main building.</p>
Images	

Table SC6.13.3.7.j – Statement of cultural significance – Crown Hotel

Site Details	
Site Name	Crown Hotel
Alternative Name	
Location	
Address	107 Grafton Street, Cairns City
Lot/Plan	Lot 40 on RP748723
Coordinates	Easting 369499.2 Northing: 8128508.2
Heritage Boundary	All of the building including in verandah and title land


Cultural Heritage Significance	
Criterion A	The place has local historical significance as a long-term hotel site and for its role in the commercial development of Cairns. A hotel named the 'Crown Hotel' has stood on this site since the 1890s. The current building was constructed in 1929.
Criterion D	The building is a relatively intact example of a substantial Queensland hotel built in the 1920s.
History	
Historical Context	<p>The present Crown Hotel replaced an earlier hotel of the same name in 1929. The original building was two storeys and featured a double-storey verandah similar to the present building. It was built in the c.1890s, but destroyed by a fire in 1928. At the time of the fire, the hotel's owner was the estate of P.J. Doyle and the licensee was William Sperring. In the 1920s it was known as Hanneysee's Crown Hotel. In November 1928, the architect SS Oxenham invited tenders for the reconstruction of the hotel.</p> <p>There are stories in the local newspapers about 'George Boy', a white cockatoo owned by the hotel's licensee Joan Sperring, who ran the pub for 26 years. The cockatoo had free rein of the hotel and performed tricks on the bar.</p> <p>The hotel was renovated and adapted in 2006, partly as a result of new tobacco prohibition laws, which prevented people from smoking inside the building. The renovations included the beer garden, where smoking was permitted.</p>
Description	
Physical Description	<p>A two-storey concrete building with a double-storey verandah wrapping around the two principal elevations to Shields and Grafton Streets. The hipped roof is clad with corrugated iron, but this is largely concealed by a prominent parapet with 1920s-style squat piers at the corners and the painted name 'CROWN HOTEL' to both facades. At ground floor level, some of the windows and doors have been replaced with aluminium-framed windows and timber-framed doors, but elsewhere, original timber-framed casement windows and French doors with highlights have been retained. Decorative metal hoods have been retained over some of the windows on the side (south) elevation at first floor level.</p> <p>The verandah is timber-framed with a corrugated iron skillion roof. The verandah features some recent lacework comprising balustrade panels at first floor level and valances at ground floor level, but some earlier balustrades, which comprise simple timber panels, have been retained at the southern end of the Grafton Street verandah (which has been enclosed with aluminium-framed windows above the balustrade) and to a rear balcony on the west elevation.</p>
Images	

Table SC6.13.3.7.k – Statement of cultural significance – Evert House

Site Details	
Site Name	Evert House
Alternative Name	
Location	
Address	26 Abbott Street, Cairns City
Lot/Plan	Lot 502 on C1981
Coordinates	Easting 369864.2 Northing: 8128662.1
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building has historic significance at the local level for its contribution to the historic streetscape of Abbott Street. It was initially established as a single-storey solicitor's office in 1905, and extended by the architect Richard Hill in 1925 to its current form.
History	
Historical Context	<p>Adam MacDonnell, a solicitor, purchased the land for 300 pounds in 1905 and initially constructed a single-storey office. In 1924, the architect Richard Hill invited tenders for extensions to Messrs. MacDonnell & Harris Offices, Abbott Street. This comprised the upper floor of the building. A laneway on the southern side of the building is named MacDonnell Lane after Adam MacDonnell. Adam MacDonnell bought the legal practice from Ernest Milford in 1889. MacDonnell died in 1927, but his brother Henry MacDonnell remained a senior partner in the firm until his retirement in 1966. MacDonnell's Solicitors has grown to become the fourth largest independent law firm in Queensland and the fifth oldest firm still in practice.</p> <p>A photograph dated c.1930 shows the southern third of the building and an enclosed first floor verandah along the southern side of the building. Signage on the verandah reads 'Country Women's Association'. Painted signage on the visible portion of the building reads 'AUSTRALIAN'. This may be a portion of a larger sign for the English, Scottish and Australian Bank (ESA), which was known to have a branch in the ground floor of the building in the 1950s. In 1974, MacDonnell's relocated to new premises at 33 Spence Street and sold the Abbott Street building to the adjacent Cairns Post newspaper. The building was sold again in 1984.</p> <p>Applied signage within the pediment of the building currently reads 'EST 1962'. This date refers to the establishment of the company 'Evert Opals' which currently occupies the building, and does not refer to the date of construction.</p>
Description	
Physical Description	A two-storey masonry building with a shop at ground level. The original design (dating from 1925) is evident above the shop awning and comprises three bays, defined by a slight forward projection of the central bay and piers within the parapet of the facade. Each bay contains a window at first floor level shaded by a decorative metal hood. A rendered moulding extends across the building, above the windows, and forms a segmented pediment within the central bay. A similar moulding caps the parapet. At ground floor level, the shopfront has been covered by a brick veneer and includes recent doors and fixed windows with metal frames. The box awning is clad with metal and the fascia has been decorated with a moulding and segmental arch which mirrors the original mouldings on the façade. The side elevations extend upwards to a form a gable, and the northern side elevation has been covered by metal cladding. The roof is concealed by the parapets.

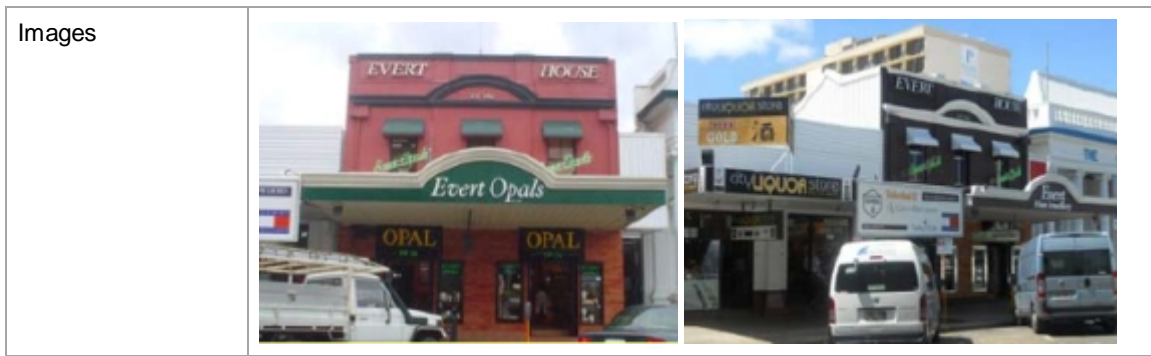


Table SC6.13.3.7.1 – Statement of cultural significance – Farrellys Lawyers

Site Details	
Site Name	Farrellys Lawyers
Alternative Name	
Location	
Address	12 Aplin Street, Cairns City
Lot/Plan	Lot 10 on NR7744
Coordinates	Easting 369389.4 Northing: 8128826.1
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building was most likely built in c.1930 as commercial premises and it contributes to the historic townscape of Cairns.
Criterion E	The building is of aesthetic interest as a classical-styled building. Between 1908 and 1939 a number of buildings were constructed in Cairns in the classical style including the Cairns Post building of 1908, the Cairns City Council Chambers of 1929 and the Cairns High School of 1939.
History	
Historical Context	<p>In 1932, it was advertised that 'modern Electrical Health Rooms' were located at 12 Aplin Street, where Mr HC and Nurse E Ullman, qualified through the Physio Therapy Institute, provided medical treatments. In 1944, Mrs Nichols, dressmaker, commenced business at 12 Aplin Street. In 1953, Dunlop Rubber Australia Ltd, who sold floor tiles, were located at 12 Aplin Street.</p> <p>The building was most likely built in c.1930. And it has similarities with other buildings in Cairns designed in a classical style between 1908 and 1939. These classical buildings include the Cairns Post building of 1908, the Cairns City Council Chambers of 1929 and the Cairns High School of 1939.</p> <p>The building is currently the offices of the law firm Farrellys. The firm was established by Laurie Farrelly in December 1962. The firm expanded to a partnership in 1983 when Laurie Farrelly took in three of his employed solicitors, Clem Taft, Terry Newman and Peter Nilsson as partners. Laurie Farrelly continued his association with the firm as a Consultant and by continuing to perform his duties as a Notary Public regularly until his death in 1996.</p>

Description	
Physical Description	A single-storey masonry building featuring a dominant pediment in a stripped classical appearance extending above the full frontage of the façade. Behind this pediment is a roof lantern, with corrugated iron cladding the roof and gable end. The building features a glazed double door flanked by large fixed windows. A horizontal awning extends across the building and is supported by tie rods fixed to the parapet, as well as square timber verandah posts which appear to be a later historicist make-over . The design of the pediment with its frieze featuring triglyphs appears to be loosely based on the Doric order of architecture.
Images	

Table SC6.13.3.7.m – Statement of cultural significance – Fearnley Street Drain

Site Details	
Site Name	Fearnley Street Drain
Alternative Name	
Location	
Address	Manunda
Coordinates	Easting 367092.1 Northing 8129110.3
Heritage Boundary	The whole of the drain from Wilkinson St to its outlet at the Cairns Estuary without reference to any structures relating to bridge crossings or gates.
Cultural Heritage Significance	
Criterion A	The Fearnley Street drain is of historical importance as a successful attempt to control the breeding of the "Anopheles" malarial carrying mosquito using military resources in the closing days of World War Two. This drain (which was just one part of a larger system progressively created by the Council), created a lowering of malarial and dengue cases and allowed the opening up of land for settlement west of Lily Creek.
Criterion B	The Fearnley Street drain is of importance as an uncommon aspect of Queensland's cultural heritage. The extent of the system and the long effort involved in draining Cairns' low lying but swampy farming lands is of historic importance. Filling of land to create parklands and industrial space involved the continuous piping and dumping of dredged material from Cairns Harbour. The steam dredger "Trinity Bay" was near continuously engaged in clearing the inlet and the berthing channel as shipping widths and draughts increased. The most important action was the filling of land around Alligator Creek at the end of the Showgrounds thereby creating a new sporting park which eventually opened as Barlow Park in the 1980s. The size of the drains also increased over time after reappraisal of weather patterns and land development increases created more run-off from land made less permeable.
History	
Historical Context	The tropics are beset by a number of biological and natural hazards not the least being the presence of predatory marine creatures and reptiles such as the Irukandji stinger jellyfish and the crocodile. Heavy rainfalls and a lack of efficient sanitation

also create breeding grounds for insects particularly mosquitoes which carry dengue and malarial fevers and these fevers proved to weigh heavily on the mind of Dr Koch the medical director of the Cairns Hospital in the latter part of the 19th century. Dengue ranges between rural and urban areas while malaria is mostly prevalent in rural zones and thus parts of Cairns to the west of the city were a breeding ground for the Anopheles mosquito which is the prime carrier of malaria.

Dr Edward Koch was a pioneer of tropical medicine in Australia. Medical director of the Cairns Hospital in the late 1880s, Dr Koch established effective local medical services and strong humanitarian ethics in the fledgling township. Dr Koch is remembered for his ground-breaking work in malaria research. Before the connection was fully understood, he recognised a causal link between the Anopheles mosquito and malaria. He was tireless in his efforts to have local swampland cleared and filled and was often seen doing the rounds of work gangs in the late afternoon (when mossies become fierce) exhorting workers to don long sleeves to avoid being bitten. It was the blend of the independent thinker, researcher, and the hands-on medico and family physician who waived fees for the needy that made Edward Koch revered locally. On his death in 1901, a devoted public paid respect at a grand funeral, and with a publicly-funded monument erected in his honour which stood at the intersection of Spence and Abbott Street until removed to a corner of the gardens close by in the 1972 to allow a traffic light controlled intersection.

Most sanitation in Cairns was by earth closet which was not the most appropriate approach in an area of tropical rainfalls and existing swamp lands. The Chinese areas of town were said to have not even had earth closets. The existing swamp lands were also a limitation on the growth of Cairns which had for some 70 years been confined to development along the coastal strip, south west along Mulgrave Road and some higher areas on the southern slopes below Mt Whitfield and a string of small townships around the northern base of the Mt Whitfield range.

At the start of the Second World War the Cairns population would have been below 14,000 (estimated from available statistics), mainly confined to the coastal area above the Cairns to Herberton rail-line and in a small number of nearby localities. Directly after the war the population was 16,444 (1947) and no doubt this represented a return by its inhabitants many of whom had left to avoid being in the frontline of the war being fought in Australia's defence.

By the 1970s Cairns occupied some 50 sq km of land, 22 sq km being sand dune and silt swamp, 17 sq km was sloping foot hills and 11sq km was steep mountain range. Almost all stormwater discharged to Trinity Bay and Trinity Inlet. At this time the population was in the vicinity of 33,000 persons and the city was rapidly expanding west and south due to the drainage system.

The Fearnley Street drain is the most eastern part of a larger system of drains established toward the end of the Second World War in a move to drain the swampy low lying farming areas of Cairns, most of which lay to the west of Lily Creek and thus reduce the prospect of malaria from waterborne insects particularly the Anopheles mosquito.

Many US troops were stationed in Cairns during the War and their involvement was primarily as manpower in digging a series of shallow trenches almost all in a north west to south east direction toward Trinity Inlet. Some of the trenches were very shallow and narrow in the upper regions (at Gatton Street the Fearnley Street trench was 4 feet wide and just 2 feet deep) but served the purpose in draining off torrential rainwater particularly during the summer months.

A set of plans held by the Queensland State Archives and dated 1945 show that the system was not simply a matter of expediency but a comprehensive system had been put into action by the Cairns City Council as part of a broader scheme of land drainage running from just below the Cairns- Herberton rail-line where a natural system (Lily Creek) drained water from North Cairns toward Alligator Creek which was headed by a swamp in the locality of the lower end of the Cairns Showgrounds.

The proposed drainage system ran southward down as far as Dillon Street where a drain would connect with Chinaman Creek along with a transverse interceptor which ran down Spence Street. Sea gates were to be applied at Alligator Creek and at Saltwater Creek on the coastline below the airport and these timber structures were

	<p>to reduce tidal back flow although the consequence of this was that the saline tidal water was not able to keep down the grasses which subsequently fouled the outlets.</p> <p>Graeme Haussmann's map of swamps in the Cairns area shows that between Spence St and Trinity inlet there were large tracts of brackish saltwater and between Spence Street and the Mt Whitfield Range's lower slopes there were strings of freshwater swamp created by the undulations of the sand dunes. These dunes were to be eventually flattened out as development proceeded but it was the Council's task to drain these areas by a strategic plan involving a series of parallel drains totalling in all some 26 miles (42km). The City Engineer Mr F. P. Morris assisted by a report by a Mr (?) Lowe was responsible for the overall design of the system and a series of technical / topographical plans with the drainage alignments were completed in 1945. (QSA item 205151). A subsequent report was completed by an engineer named Robinson in 1952 and some remedial works put in action between then and November 1972 when a report by engineers Gutteridge Haskins and Davey on the drain sizes and maximum outflows was completed.</p> <p>The Fearnley Street drain ran from about Gatton Street to an area of swampland (now reclaimed) on the seaward side of the Showgrounds and this swamp was a basin of water backing up Alligator Creek which meandered through the landscape just below the sweep in the rail line as it left the city and wound its way southward.</p> <p>Eventually (during the 1960s) this land was filled by the Cairns City Council in a large reclamation action and Fearnley St drain was directed in a straight line toward Trinity Inlet where it was to widen to approximately 10 feet with a depth of 8 feet at Cook Street.</p> <p>These depths were reassessed in a 1972 report by Gutteridge, Haskins & Davey Engineers who concluded that the drain should be substantially widened to 35 feet (10.7m) at Cook Street before it entered the inlet.</p> <p>Similarly drains which had been cut for many of the other streets including Dillon Street also needed to be substantially widened, the latter from its 25 foot wide bed to 87 feet wide (26.5m) where it passed under Mulgrave Road.</p> <p>This program ran hand in hand with land reclamation conducted by the Council over a long period using the silts scooped up by the steam dredger the "Trinity Bay" which for many years cleared the shipping channel as ship sizes and draughts increased. The silts were used to fill a large area along the Trinity inlet and the land then used for industrial and recreational purposes.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A drain running the length of the City (NW TO SE) on its west side and entering the Cairns' Estuary below the CSR terminal.</p> <p>A swamp clearance drain approximately 3-4m wide and 2m deep in the upper reaches around Wilkinson St. In the lower reaches near the Cairns Estuary the drain is up to 10m wide and 4m deep. For its full length it has earth sides and runs in a straight line with no deviation. It is crossed by a number of pedestrian and road bridges some simply of covered pipe. At Spence Street there is an underground perpendicular interceptor drain that runs approximately southward towards Chinaman's Creek At this point there are also tidal gates which have replaced earlier timber tidal gates (along with the earlier bridge). During tropical downpours, excess water in the low lying areas can still be seen actively flowing into the drainage system.</p> <p>The general length of the drain is in the order of 3 km.</p>



Table SC6.13.3.7.n – Statement of cultural significance – Former Cairns Ambulance Station (Jewel Hair Boutique)

Site Details	
Site Name	Former Cairns Ambulance Station (Jewel Hair Boutique)
Alternative Name	
Location	
Address	135 Grafton Street, Cairns City
Lot/Plan	Lot 2 on RP903270
Coordinates	Easting 369360.8 Northing: 8128708.6
Heritage Boundary	The Building and its title land
Cultural Heritage Significance	
Criterion A	The building has local historical significance for its provision of ambulance services to the local community for 68 years. The Cairns Ambulance Service was founded in 1904, within the initial phase of establishing ambulance services across the regional centres of Queensland. This more substantial building was purpose built as an ambulance centre and completed in 1927. It functioned as an ambulance centre until 1995.
Criterion E	The building has aesthetic significance as a substantial and largely intact building in the Queen Anne style designed by the notable Cairns architect Harvey Draper.

History	
Historical Context	<p>The City Ambulance Transport Brigade (CATB) was formed at a meeting of concerned citizens in Brisbane in September 1892, following the unsatisfactory management of an accident at a horse racing meeting. It was established that the principal object of the Brigade was to render first aid to the wounded and transport the sick and injured to hospital. Public use of the ambulance service steadily increased and voluntary subscriptions proved insufficient to meet associated outlays. In 1895, the CATB secured supplementary funding from the Queensland State Government. The first purpose-built ambulance building for Queensland was constructed in 1897 in Wharf Street, Brisbane.</p> <p>During the late 1890s and early 1900s the ambulance service expanded establishing a number of centres throughout Queensland including Charters Towers (1900), Townsville (1900), Rockhampton (1901), Warwick (1901), Ipswich (1901), Toowoomba (1902) and Mackay (1903). The Cairns Ambulance Service was founded in 1904, initially operating from rented facilities in Lake Street, before relocating to their own double-storey weatherboard building on the corner of Spence and Sheridan Streets in 1907.</p> <p>The subject building on Grafton Street was designed by the architect Harvey Draper, who died before the building was completed. The foundation stone was laid in 1921, but the building was not completed until 1927. The building was extended in 1962. The building closed as an ambulance centre in 1995 and was sold when the Cairns Ambulance Station was transferred to 42-50 Anderson Street. The old building was refurbished for retail and café use on the ground floor shortly after its sale. This included a covered structure with brick piers on the northern side for alfresco dining.</p> <p>Harvey Draper (1869-1921), younger brother of Mayor A. J. Draper, was born in Victoria and worked as an architect in Melbourne before he sought out better opportunities in the goldfields of Western Australia in 1892. He worked as an architect in Kalgoorlie up until c.1908, and for some of that time was in partnership with HL Brookman. Draper relocated to Cairns in c.1908. He was listed as an architect, with offices in the School of Arts Building, Cairns, in Pugh's Almanac of 1909. In 1910, he placed an advertisement in Pugh's Almanac stating that he was a 'FWAIA' (Fellow of the Western Australian Institute of Architects). He died in Cairns in 1921. Other buildings designed by Draper include Hannan's Club (Kalgoorlie, 1896), first stage of the Cairns Post building (1908), the Palace Theatre (Cairns, 1913), the Adelaide Steamship Company's Offices (Cairns, 1910) and the Jack and Newell Store (Cairns, 1911).</p> <p>The design of the symmetrical, double-storey façade, featuring two central ambulance openings, flanked by projecting bays with gable ends, is very similar to the design of the Innisfail QATB, but differs in its stylistic treatment. The Cairns building shows Queen Anne influences with its use of red brick and half-timbered gables, whereas the Innisfail building</p>
Description	
Physical Description	<p>A two-storey red brick building with projecting gabled bays flanking the original ambulance bays. The gabled roof is clad with corrugated iron and originally featured a central ventilating fleche, which has been modified. The gables are half-timbered and stuccoed. The side elevations feature decorative rendered dressings, including awnings with classical brackets, while the windows to the front elevation have simpler rendered lintels and sills. The rendered letters 'AMBULANCE' and 'BRIGADE' project from the lintels over the original openings to the ambulance bays.</p>



Table SC6.13.3.7.o – Statement of cultural significance – Former Cairns Post Office

Site Details	
Site Name	Former Cairns Post Office
Alternative Name	
Location	
Address	14-16 Abbott Street, Cairns City
Lot/Plan	Lot 7 on RP885828
Coordinates	Easting 369890.0 Northing: 8128610.8
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The place has local historical significance for the provision of postal services from a series of buildings built on this site from 1876. The present building, constructed in 1938, was the third post office built on this site. These postal services contributed to the development of the town. Cairns postal services were provided from another building and site from 1988.
Criterion D	The building, built to the Post Office M6 design developed by the Commonwealth Department of Works, was part of a state-wide program of post office construction.
Criterion E	The building has aesthetic significance at the local level as a substantial building in the Art Deco style, designed by the architect Harold Barker for the Commonwealth Department of Works.
History	
Historical Context	<p>The current building was the fourth Cairns Post Office, and the third post office built on this site. The first Cairns Post Office was established in 1876.</p> <p>A photograph dated 1896, shows the second post office as a single-storey timber building addressing Abbott Street. Adjacent to this building, on the corner of Spence and Abbot Streets (the current site of the building), was a simpler single-storey building with a pyramidal roof and distinct verandahs wrapping around it. This corner building is believed to have been the first post office dating from c.1876. A new Post Office and Telegraph Office was constructed on the corner site in 1907-08. The earlier building on the site was either demolished or relocated a few metres further east along Spence Street to become the Postmaster's Residence (refer to caption of 1909 photo).</p> <p>The third Cairns Post Office and Telegraph Office, built in 1907-08, was a substantial single-storey masonry building in the Federation Free-style, with rustication, a large arched window, prominent eaves and a picturesque fleche. The second post office building on Abbott Street, which had a central pedimented porch, was still extant and adjacent to the new building at this time, and was described as the 'Manual Exchange'.</p>



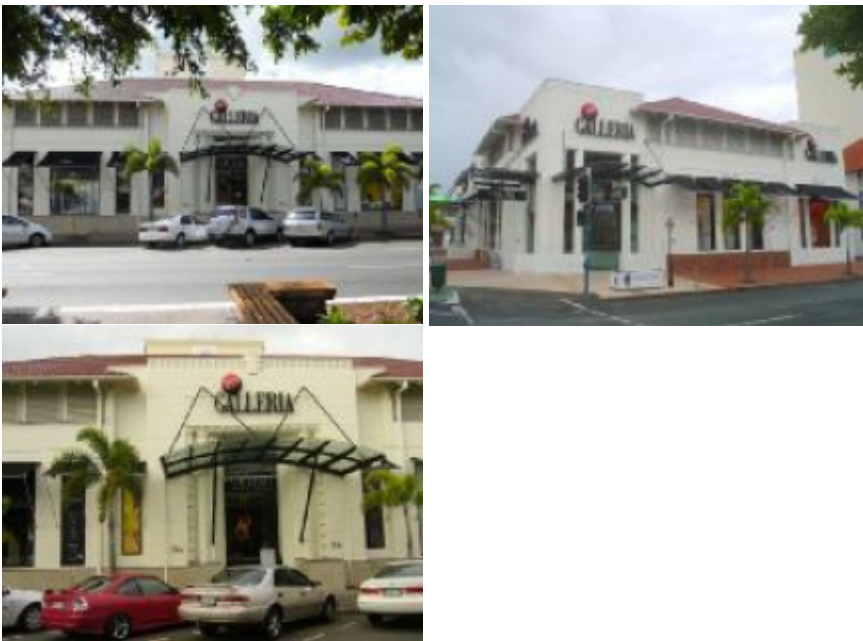
	<p>In 1928, a new double-storey Telegraph Office was built on the Spence Street portion of the site. The building was designed under the direction of the Commonwealth Chief Architect J.S. Murdoch. The third Post Office was demolished in 1938 and the current building was built. It was built to the Post Office M6 design, developed by the architect Harold Barker for the Commonwealth Department of Works.</p> <p>The 1920s and 1930s were a major phase in the development of Cairns. Unprecedented building activity was stimulated by the Cairns Hinterland Soldier Settlement Schemes of the 1920s, the completion of the rail link to Brisbane in 1924, the opening of the Gilles Highway and the Captain Cook Highway, the continued success of the local sugar industry and the expansion of wharf facilities. Further re-building was also necessitated by cyclone damage.</p> <p>In addition to the Post Office and Telegraph Office, other civic buildings constructed during the 1920s and 1930s included the Cairns City Council Chambers, the former Court House, former Public Offices (currently the Art Gallery), former Customs House and the Cairns State High School. These building were mainly designed in a classical style, which emphasized the importance of the government in the community.</p> <p>The building was last used as a post office in 1988, when these functions were relocated to a new post office building on Grafton Street. The former Cairns Post Office was then substantially altered for its new retail use, although the façade is still recognisable. The adjacent Cairns Telegraph Office is still extant, but has been internally altered to provide retail / exhibition space.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The former Cairns Post Office is a two storey rendered masonry building. The main entrance of the corner building is located within a central projecting bay addressing Abbot Street. Similar parapeted bays are located at the three principal corners of the building. The parapets at the central entrance bay and corners extend above the hipped roof clad with terracotta tiles which covers the rest of the building. The render has been indented with ashlar lines and Art-Deco styled ornamentation has been added to the parapets and around the openings. This includes fluted pilasters flanking the main entrance on Abbott Street. Raised rendered letters reading 'CAIRNS POST OFFICE' extend above the main entrance.</p>
<p>Images</p>	

Table SC6.13.3.7.p – Statement of cultural significance – Former Severin Building

Site Details	
Site Name	Former Louis Severin Building
Alternative Name	
Location	
Address	43-49 Abbott Street, Cairns City
Lot/Plan	Lot 5 on RP850177
Coordinates	Easting 369907.4 Northing: 8128469.8
Heritage Boundary	The building façade and verandah
Cultural Heritage Significance	
Criterion A	The Consolidated Fertilisers building is of local significance as a place associated with one of the pioneers of Cairns (Louis Severin) and as a building surviving from the late 19th century and one of the few built in masonry at that time. Louis Severin was a contractor and hardware importer and was the supplier of much of the fixtures and fittings required to build the developing region as well as a major contractor of the period who completed structures such as the early wharves of the Cairns' waterfront.
History	
Historical Context	<p>The building was constructed prior to 1890 by Louis Severin. Louis Severin was born in France in 1848. He worked in various roles and established a number of businesses in Cooktown, Cairns and Port Douglas. He worked as a timber merchant, established a saw mill, sold and manufactured hardware and plumbing, worked as a builder and operated brickworks. He advertised in Pugh's Almanac of 1887 as both an architect and builder/contractor in Cairns. The 1901 edition of Pugh's Almanac carried a large advertisement for L. Severin, which described the business as 'Furnishing and General Ironmonger. Engineer's Stores, Glassware, Furniture, Ship Chandler, Manufacturer Saddler and Harness maker. Abbotts Street. Brickyard at Red Bank, Cairns Inlet. Buildings of all classes erected. Plans, Specifications and Estimates prepared.'</p> <p>Severin was also heavily involved in local government and was Mayor of the Cairns Municipal Council from 1886-88, 1891 and in 1903. He died in 1904.</p> <p>A photograph dated c.1896 shows prominent signage along the fascia of the verandah which reads: 'L. Severin - Engineers Stores - General Ironmonger & Ship Chandler - Manufacturing Saddler.'</p> <p>The building underwent extensive reconstruction in the 1990s when the adjoining building was added in a similar style. Much of the original detail has been lost and the mode of "restoration" has actually meant a loss of heritage significance.</p>
Description	
Physical Description	<p>A two storey building with a double-storey verandah to the front façade. The decorative parapet features a central pediment framed by rendered mouldings, balusters extending between piers and surmounted by ball finials and an acroterion. The ground floor of the verandah comprises 3 bays divided by square timber posts with a cast iron frieze. At first floor level, similar timber posts with cast iron frieze divide the verandah into four bays. The balustrade is formed by panels of decorative cast iron and a timber handrail. The skillion roof of the verandah is clad with corrugated iron. At ground floor level, the shopfronts are glazed with metal framing. Part of the first floor verandah has been enclosed with glass.</p> <p>A new building has been constructed on the northern side of the building, effectively doubling the size of the original building. It repeats the same details to the verandah and features a pediment within the parapet, which is similar to the original. A new metal-clad roof now extends over the original building and the new adjacent building.</p>



Table SC6.13.3.7.q – Statement of cultural significance – Former Commercial Hotel

Site Details	
Site Name	Former Commercial Hotel
Alternative Name	
Location	
Address	56-60 Spence Street, Cairns City
Lot/Plan	Lot 10 on SP196733
Coordinates	Easting 369566.6 Northing: 8128347.1
Heritage Boundary	The Hotel building and its title land
Cultural Heritage Significance	
Criterion A	<p>The Commercial Hotel is of local significance. It was constructed during a period in which a number of new licenses were granted by the Cairns Licensing Board while almost concurrently the Cairns Building by-laws were coming into force. This caused city hotels to be constructed in concrete and in doing so they were completed to a much larger footprint. The Commercial Hotel was one of a number of these surviving city hotels which are an expression of a new building form and of a boom in city construction and mostly in concrete.</p>
History	
Historical Context	<p>In early 1925 the Cairns Post revealed that the Cairns Licensing Court had allowed a number of new hotel licences in the Cairns area and as a consequence a number of new buildings were commissioned. In the central Cairns area these were all concrete. In the period around August 1925 tenders were being called for a number of these, many by Richard Hill architect.</p> <p>A Cairns Post article of 2 September 1925 reveals a new concrete hotel at Sheridan and Spence St would be built for Mrs E M Lyons, and the architects were Lawrence & Lordan. The building was completed in 1926. The article described it as two stories, 66ft to Spence St and 118ft to Sheridan St and would have three shops to be leased on Sheridan. Attention was being paid to ventilation of the accommodation which would also have access to the balconies on the upper levels. In March 1926, 'a six year lease, together with furniture, of the newly erected Commercial Hotel' was advertised. In 1940 the architect S. G. Barnes invited tenders for alterations and additions to the hotel. Humphrey Williams was the publican of the Commercial Hotel from 1929 until his death in 1951.</p> <p>The hotel was known between the 1970s and 1990s as 'Rusty's Pub', when it was managed by local businessman Emrys 'Rusty' Rees, better known as establishing the nearby Rusty's Markets in 1975. In 1995, it was renamed the 'Underdog' and was known as 'Shenannigans' from 2004 until the 2011 name change to the 'Union Jack Hotel'.</p>


Description	
Physical Description	<p>A large two storey concrete corner hotel building set to the footpath alignment, built in an L shape to Spence and Sheridan Streets.</p> <p>It has an upper verandah over the footpath on both streets and a parapet with bracketed cornice rising above. On Sheridan Street there remains evidence of the lease shops which were built as part of the hotels façade. The valance to the verandah at the lower level is punched metal and the upper verandah has palings as balustrades. Early illustrations show the verandah with all timber detailing.</p>
Images	

Table SC6.13.3.7.r – Statement of cultural significance – Former Fred Jones Building

Site Details	
Site Name	Former Fred Jones Building
Alternative Name	
Location	
Address	68-72 Shields Street, Cairns City
Lot/Plan	Lot 1 – 2 on RP701364
Coordinates	Easting 369366.5 Northing: 8128491.0
Heritage Boundary	All of the buildings and the title land
Cultural Heritage Significance	
Criterion A	The building is of local heritage significance as one of the most substantial commercial buildings built in Shields Street in the 1920s. The railway line between Cairns and Brisbane was completed in 1924 and provided the stimulus for the redevelopment of Shields Street between the railway station in McLeod Street and Grafton Street.
History	
Historical Context	<p>In 1924, the railway line between Cairns and Brisbane was completed and provided the stimulus for the redevelopment of Shields Street between the railway station in McLeod Street and Grafton Street. The Fred Jones Building, built in the same year, was one of the most substantial buildings constructed at this time along Shields Street.</p> <p>The building was constructed for Dr Nye of Atherton and Claude Roach. It originally comprised three shops and the corner shop was occupied by Fred Jones who sold men's and boys' wear. In the 1930s another two shops were built on the Sheridan Street side of the building. The first tenant in the Sheridan Street shop was International Harvesters and then Marsh's. A variety of organisations rented the other shops. During the Second World War one of the shops was occupied by the US Army and used as a supply store.</p> <p>In the early 1950s Fred Jones purchased Claude Roach's share of the building. In 1964 he purchased the remaining share from Dr Nye. Fred Jones died in 1984 and the building and business were sold to Harris Brothers. The original verandah was</p>

	<p>replaced in the late 1980s. Harris Brothers occupied the building until around 2000 when the business relocated to Mulgrave Road. The original shop front windows were replaced with contemporary glass windows when the building was refurbished as a restaurant by Fasta Pasta.</p> <p>An historic photo (see References) shows that the original verandah design was similar to that which currently exists, but more detailed.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A single storey masonry building comprising a large corner restaurant, two shopfronts to Shields Street and one shopfront to Sheridan Street. The building features a prominent parapet, featuring brick panels framed by rendered dressings, and an awning wrapping round the two principle facades. The awning features paired steel columns and a skillion corrugated iron roof. Some original horizontal sections of leadlight have been retained above the door heads and extend across the two elevations. Elsewhere, the shopfronts have been altered and now comprise fixed timber framed glazing and timber-framed glazed doors.</p>
<p>Images</p>	

Table SC6.13.3.7.s – Statement of cultural significance – Former Cairns telegraph Office

Site Details	
Site Name	Former Cairns Telegraph Office
Alternative Name	
Location	
Address	4 Spence Street, Cairns City
Lot/Plan	Lot 8 on RP885828
Coordinates	Easting 369908.2 Northing: 8128627.7
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	<p>The place has local historical significance for the provision of postal services from this site, the first building dating from 1876. The present building was built specifically for the provision of telegraph services in 1928.</p> <p>These postal and telegraph services contributed to the development of the town. Cairns postal services were provided from another building and site from 1988.</p>
Criterion E	<p>The building has aesthetic significance at the local level as a substantial building in the Art Deco style, designed under the direction of the Commonwealth Chief Architect J. S. Murdoch.</p>
History	
Historical Context	<p>In Queensland, the first electric telegraph, or telegram, was sent between Brisbane and Ipswich in 1861. The telegraph system reached Cairns in 1879, three years after the Cairns Post Office was established.</p> <p>A photograph dated 1896, shows the post office as a single-storey building addressing Abbott Street with a central pedimented porch and verandahs wrapping around the building. Adjacent to this building, on the corner of Spence and Abbot Streets, was a simpler single-storey building with a hipped roof and distinct verandahs. This corner building may have been the first post office dating from c.1876. A new Post Office and Telegraph Office was constructed on the corner site in 1907-08. The earlier building on the site was either demolished or relocated a few metres further east along Spence Street to become the Postmaster's Residence (refer to caption of 1909 photo).</p> <p>The 1907- 08 Post Office and Telegraph Office was a substantial single-storey masonry building in the Federation Freestyle, with rustication, a large arched window, prominent eaves and a picturesque fleche. The other post office building on Abbott Street with the central pedimented porch was still extant and adjacent to the new building at this time, and was described as the 'Manual Exchange'.</p> <p>In 1928, a new double-storey Telegraph Office was built on the Spence Street portion of the site. The building was designed under the direction of the Commonwealth Chief Architect J. S. Murdoch. John Smith Murdoch (1862 – 1945) was born and trained as an architect in Scotland before migrating to Australia in 1884. Between 1919-29, he held the position of Chief Architect of the Department of Works and Railways for the Commonwealth Government. Murdoch designed several significant Commonwealth buildings across Australia, including the Provisional Parliament House (Canberra), the General Post Office (Perth), the Spencer Street Mail Exchange (Melbourne) and the High Court of Australia (Melbourne).</p> <p>The 1907 – 08 Post Office was demolished and rebuilt in 1938. It was built to the Post Office M6 design, developed by the architect Harold Barker for the Commonwealth Department of Works.</p> <p>The 1920s and 1930s were a major phase in the development of Cairns. Unprecedented building activity was stimulated by the Cairns Hinterland Soldier</p>



	<p>Settlement Schemes of the 1920s, the completion of the rail link to Brisbane in 1924, the opening of the Gilles Highway and the Captain Cook Highway, the continued success of the local sugar industry and the expansion of wharf facilities. Further re-building was also necessitated by cyclone damage.</p> <p>In addition to the Post Office and Telegraph Office, other civic buildings constructed during the 1920s and 1930s included the Cairns City Council Chambers, the former Court House, former Public Offices (currently the Art Gallery), former Customs House and the Cairns State High School. These building were mainly designed in a classical style, possibly to emphasize the importance of the government in the community.</p> <p>In recent years, the Cairns Post Office has been substantially redeveloped as the Galleria shopping complex. The Cairns Telegraph Office is still extant, but has been internally altered to provide retail / exhibition space for the artist Ken Done.</p>
Description	
Physical Description	<p>The former Cairns Telegraph Office is a two storey rendered masonry building with Egyptian Revival motifs built to the street alignment. The central entrance bay is framed by pilasters with stylised Egyptian capitals flanked by bundles of reeds. Raised rendered letters reading 'TELEGRAPH OFFICE' extend above the central first floor window. Further mouldings and a vulture or falcon with wings open in the Egyptian style have been applied above the window and decorate the parapet. This central parapet extends above the hipped roof clad with terracotta tiles which covers the rest of the building. The steeply pitched roof also features deep eaves lined with timber battens.</p> <p>The remainder of the building is relatively plain and features symmetrical multi-paned timber-framed, double-hung windows at first floor level. The ground floor windows and entrance have been modified, but a painted brick plinth has been retained and wraps around the side elevations.</p> <p>The original interior has been gutted to form open plan display/retail space.</p>
Images	

Table SC6.13.3.7.t – Statement of cultural significance – Former HS Williams Estate Building

Site Details	
Site Name	Former 'HS Williams Estate' Building
Alternative Name	
Location	
Address	41 Shields Street, Cairns City
Lot/Plan	Lot 3 on RP701307
Coordinates	Easting 369462.0 Northing: 8128474.5
Heritage Boundary	All of the building


Cultural Heritage Significance	
Criterion A	The building is of local historical significance as a group of small scale shops which were later unified and used by the car dealership the HS Williams Estate. The William's were also butchers who had occupied the corner shop (on Sheridan St). The Williams were one of the few larger scale motor garages of the area and also opened an architect designed Lubritorium and Workshop adjacent in Sheridan Street.
History	
Historical Context	<p>The building is shown under construction in a c.1924 photograph. The corner shop and two bays to Shields Street had been completed at the time the photograph was taken and signage along the Sheridan Street parapet reads 'WILLIAMS & GIFFIN MODERN BUTCHERS'.</p> <p>The Estate of H. S. Williams ran a number of businesses, including butchers and motor dealerships. The earliest known reference to the motor dealership of Estate H.S. Williams being in Shields Street was an advertisement for 'Gray' cars being sold by the dealership at this address in 1924.</p> <p>A photograph from the c.1930s shows the building with a painted sign for 'ESTATE H.S. WILLIAMS' across the parapets, along with the cars they sold - Dodge-De Soto, Standard, Willys Overland - and the repairs they undertook to vehicles. It also shows two petrol pumps in front of the building and signs advertising 'Shell' petrol. H.S. Williams were not listed in Pugh's Almanac under Motor Car Proprietors in 1921, but H.S. Williams (Estate) were listed as 'Motor Agents Garages' in Cairns by the time it was published in 1926. It was one of Cairns' largest motor dealers and was managed by Sir Sydney Williams after World War Two.</p> <p>The company had its origins with Henry Sydney Williams who arrived in Australia in the 1860s and worked in a number of occupations before taking up land at Scrubby Creek on the Tablelands. After losing his dairy cattle to tick in 1895, Williams established a store and butchery at Scrubby Creek and the Carriers Arms Hotel at Carrington. He then acquired land at Allumbah (renamed Yungaburra) and established a store. He was killed in an accident in 1905, but his sons, under the name of 'Estate H.S. Williams', continued the family business. Sir Sydney Williams OBE (1920-2003) was one of the founders of the Far North Queensland Amateur Turf Club, also known as the Cairns Amateurs, and was very active in the Cairns Business Community.</p>
Description	
Physical Description	<p>The single storey building was built as one large building divided into 10 bays along Shields Street, a splayed corner and 2 bays along Sheridan Street.</p> <p>This part of the building comprises the 5 central bays on Shields Street.</p>
Images	

Table SC6.13.3.7.u – Statement of cultural significance – Former Williams Estate Workshop (Siam Lotus)

Site Details	
Site Name	Former Williams Estate Workshop (Siam Lotus)
Alternative Name	
Location	
Address	76 Sheridan Street, Cairns City
Lot/Plan	Lot 21 on RP745666
Coordinates	Easting 369487.2 Northing: 8128455.9
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	<p>The former car garage and lubritorium is an industrial building of a now rare type associated with motor car use.</p> <p>Motor car workshops and garages of the period prior to the 1970s are rare features of the Queensland landscape and this architect designed building of 1947 is uncommon for its original purpose and survival albeit somewhat altered at the frontage.</p>
History	
Historical Context	<p>Tenders closed 'for the erection of a workshop in concrete in Sheridan St, Cairns, for Estate H.S. Williams Pty Ltd' in June 1947. The architect for the project was S.G. Barnes.</p> <p>The building was completed in June 1948 as an extension to the motor dealers Estate H.S. Williams, which had been established in Shields Street in c.1924. The opening of the building involved something of a ceremony, presided over by Mayor Collins. The Cairns Post reported 'The workshop is fitted with the most modern equipment in Australia. The whole structure is in the most modern lines in accordance with the latest trends in the motor world. The plan was laid out as a result of the experience of the leading motor houses in Australia and America and all requirements of the motoring public have been studied.'</p> <p>The Estate of H.S. Williams ran a number of businesses, including the motor dealership. They sold various makes of cars in the 1920s and 1930s including Dodge-De Soto, Standard and Willys Overland. They also undertook repairs to vehicles and sold petrol. It was one of Cairns' largest motor dealers and was managed by Sir Sydney Williams after World War Two. In the 1940s, the company was associated with Austral Motors Pty Ltd, Chrysler and Dodge. The company had its origins with Henry Sydney Williams who arrived in Australia in the 1860s and worked in a number of occupations before taking up land at Scrubby Creek on the Tablelands. After losing his dairy cattle to tick in 1895, Williams established a store and butchery at Scrubby Creek and the Carriers Arms Hotel at Carrington. He then acquired land at Allumbah (renamed Yungaburra) and established a store. He was killed in an accident in 1905, but his sons, under the name of 'Estate H.S. Williams', continued the family business. Sir Sydney Williams OBE (1920-2003) was one of the founders of the Far North Queensland Amateur Turf Club, also known as the Cairns Amateurs, and was very active in the Cairns Business Community.</p> <p>The architect Sidney George Barnes was born in New Zealand in 1899 and trained at the Seddon Memorial Technical College. He worked in various Auckland architects offices before moving to Australia in 1929. He initially worked in Moree, NSW, but was working as an architect in Cairns by 1931. Other buildings designed by Barnes include the Gordonvale Nurses Quarters (c.1947), the Edmonton Ambulance Station (1951), the Babinda Nurses Quarters (1952- 53) and the Atherton Ambulance Station (1955). From 1953 he was in partnership with the architect Eddie Oribin.</p> <p>Barnes remained in Cairns until his death in 1959.</p>

Description	
Physical Description	A single storey masonry building comprising three saw-tooth roofs with east-facing lights. It appears to have been built as a workshop and the two wide shopfronts to Sheridan Street have been added at a later date. The Sheridan Street façade features three Art Deco-styled rendered elements extending from the box awning and projecting above the parapet. The shopfronts have been substantially modified and the awning is not original. Therefore these three Art Deco elements would have originally extended from ground level and formed part of the building's striking design. The central Art Deco pylon is larger than the two flanking fins and its construction incorporates glass bricks. This element would have run down to the footpath as a prominent feature of the building possibly dividing the building into "In" and "Out" sections.
Images	

Table SC6.13.3.7.v – Statement of cultural significance – Galleria (former Howard Smith Building)

Site Details	
Site Name	Galleria (former Howard Smith Building)
Alternative Name	
Location	
Address	18-20 Abbott Street, Cairns City
Lot/Plan	Lot 505 on C1981
Coordinates	Easting 369883.6 Northing: 8128638.8
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	Although the front of the building has been substantially re-built, the original building, constructed in 1914 and designed by the notable Cairns architect Harvey Draper, is still discernible and contributes to the historic streetscape of Abbott Street.
History	
Historical Context	The building was constructed in 1914 for the Howard Smith Company Ltd., who were shipping agents. It was designed by the architect Harvey Draper and built by Bell & McKenzie. A historic photo (refer to references) shows the two storey building with an elaborate double-storey verandah with paired posts and a denticulated cornice surmounted by a curvilinear parapet. A painted sign across the valance of the ground floor verandah reads 'AUSTRALIAN STEAMSHIPS PTY LTD'. Howard Smith had a long association with Cairns and built the first wharf in the town in 1884. The offices were constructed towards the end of a buoyant economic period when the principal Australian shipping companies – the Adelaide Steamship Company Ltd, the Australian United Steam Navigation Co. Ltd [Burns, Philp & Company Ltd] and the Howard Smith Company Ltd - vied for the lucrative Queensland coastal trade in passengers and cargo.




	<p>The building's original parapet and verandah are just visible in the background of a photograph of the post office in 1940, but by 1995, the parapet had been altered and the verandah removed. The lettering 'MARITIME HOUSE' extended across the front of the building at this time. The facade has been further altered in recent years, including the removal of a box awning, for the development of the Galleria retail outlets.</p> <p>The architect Harvey Draper (1869-1921) was born in Victoria and worked as an architect in Melbourne before he sought out better opportunities in the goldfields of Western Australia in 1892. He worked as an architect in Kalgoorlie and for some of that time was in partnership with HL Brookman. Draper relocated to Cairns in 1908. He was listed as an architect, with offices in the School of Arts Building, Cairns, in Pugh's Almanac of 1909. In 1910, he placed an advertisement in Pugh's Almanac stating that he was a 'FWAIA' (Fellow of the Western Australian Institute of Architects). By at least 1916, he was a Fellow of the Queensland Institute of Architects. He died in Cairns in 1921.</p> <p>Other buildings designed by Draper include Hannan's Club (Kalgoorlie, 1896), the first phase of the Cairns Post Building (1908), the Adelaide Steamship Company's Offices (Cairns, 1910), the Jack and Newell Store (Cairns, 1911), the Palace Theatre (Cairns, 1913), St Saviour's Church (Kuranda, 1915) and the Cairns Ambulance Station (1921).</p>
Description	
Physical Description	A double-storey concrete building with multi-paned, timber-framed, double-hung windows at first floor level on the side elevations. The recent façade conceals the roof. This parapeted façade is treated very plainly with central doors flanked by fixed, single-pane windows at ground floor level only. A steel and glass canopy is suspended over the double doors and canvas-type awnings over the two windows.
Images	

Table SC6.13.3.7.w – Statement of cultural significance – Global Gossip

Site Details	
Site Name	Global Gossip
Alternative Name	
Location	
Address	125 Abbott Street, Cairns City
Lot/Plan	Lot 717 on C1981
Coordinates	Easting 369665.6 Northing: 8128759.4
Heritage Boundary	The building façade and verandah
Cultural Heritage Significance	
Criterion A	The building was constructed in 1937, most likely as commercial premises and residence, and is of local historical significance for its contribution to the historic townscape of Cairns.


History	
Historical Context	<p>The building was constructed around 1927 when Moynahan the chemist moves from Lake St to Abbott Street. Moynahan operated from this address for a number of years and appears to have had the monopoly on Kodak photographic products and gave lantern slide shows using his shop window to demonstrate photographic products.</p> <p>The building appears to have been specially constructed for Moynahan.</p> <p>In the 1950s the building was occupied by Ling and Tovey Chemists. Signage in a photograph taken in 1986 shows that Arthur Tovey was still a resident chemist within the building at that time.</p>
Description	
Physical Description	<p>A two-storey concrete building with a double-storey, timber-framed verandah along the street frontage. The rendered parapet has a central finial, raised panel and a tiled diamond at each end. A photograph from the 1970s shows that the letters 'CHEMIST' were previously painted along the raised panel. At first floor level, the verandah has square balusters with lattice above and an arched valance which extends all the way down to the balustrade. At ground floor level, the verandah has simple square timber posts, a high fascia supporting signage and ripple iron lining to the underside of the floor above. The shopfront is glazed and has aluminium framing. The building has an alleyway along the northern side, with a floor above. At the rear, the corrugated iron roof and original timber-framed casement windows are evident. A single-storey extension to the rear is constructed from concrete block.</p>
Images	

Table SC6.13.3.7.x – Statement of cultural significance – Greenwood Solicitors

Site Details	
Site Name	Greenwood Solicitors
Alternative Name	
Location	
Address	72 Shields Street, Cairns City
Lot/Plan	Lot 2 on RP701364
Coordinates	Easting 369359.0 Northing: 8128484.3
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	<p>The building is of local heritage significance as one of the most substantial commercial buildings built in Shields Street in the 1920s. The railway line between Cairns and Brisbane was completed in 1924 and provided the stimulus for the redevelopment of Shields Street between the railway station in McLeod Street and Grafton Street.</p>

History	
Historical Context	<p>In 1924, the railway line between Cairns and Brisbane was completed and provided the stimulus for the redevelopment of Shields Street between the railway station in McLeod Street and Grafton Street. The Fred Jones Building, built in the same year, was one of the most substantial buildings constructed at this time along Shields Street.</p> <p>The building was constructed for Dr Nye of Atherton and Claude Roach. It originally comprised three shops and the corner shop was occupied by Fred Jones who sold men's and boys' wear. In the 1930s another two shops were built on the Sheridan Street side of the building. The first tenant in the Sheridan Street shop was International Harvesters and then Marsh's. A variety of organisations rented the other shops. During the Second World War one of the shops was occupied by the US Army and used as a supply store.</p> <p>In the early 1950s Fred Jones purchased Claude Roach's share of the building. In 1964 he purchased the remaining share from Dr Nye. Fred Jones died in 1984 and the building and business were sold to Harris Brothers. The original verandah was replaced in the late 1980s. Harris Brothers occupied the building until around 2000 when the business relocated to Mulgrave Road. The original shop front windows were replaced with contemporary glass windows when the building was refurbished as a restaurant by Fasta Pasta.</p> <p>An historic photo (see References) shows that the original verandah design was similar to that which currently exists, but more detailed. This photograph also shows a modest single-storey shop, belonging to Tong Sing Pty Ltd (a company established in 1927 to transport fresh produce) on the site of the current 'Montezuma's' on Sheridan Street.</p>
Description	
Physical Description	<p>A single storey masonry building comprising a large corner restaurant, two shopfront to Shields Street and one shopfront to Sheridan Street. The building features a prominent parapet, featuring brick panels framed by rendered dressings, and a verandah wrapping round the two principle facades. The verandah features paired steel columns and a skillion corrugated iron roof. Original horizontal sections of leadlight have been retained above the door heads and extend across the two elevations. Elsewhere, the shopfronts have been altered and now comprise fixed timber-framed glazing and timber-framed glazed doors.</p>

Table SC6.13.3.7.y – Statement of cultural significance – Hides Hotel Carpark

6.13.3.7.1.1.1 Site Details	
Site Name	Hides Hotel Carpark
Alternative Name	
Location	
Address	87-91 Lake Street, Cairns City
Lot/Plan	BUP104946
Coordinates	Easting 369605.5 Northing: 8128581.5
Heritage Boundary	All of the building including the carpark & motel building to the extent of: the total facades, the ground level exterior on Lake Street, the carpark interior and the shops on Grafton Street and the awnings on Lake and Grafton Street but excluding the motel interiors.
Cultural Heritage Significance	
Criterion A	Hides Hotel, Cairns, constructed 1928-c1936, is important in demonstrating the evolution of Queensland's history, being associated with the third phase of Cairns' development: its growth as the principal city of far North Queensland in the interwar

	years.
Criterion D	It is important in demonstrating the principal characteristics of a substantial, first-class, three-storeyed, interwar masonry hotel in Cairns, which retains a high degree of intactness and has functioned as a hotel for over seven decades.
Criterion G	It has a special association for the Cairns community, with Hides' Hotel being part of the social fabric of Cairns since 1885.
Criterion E	The place exhibits a range of aesthetic characteristics valued by the Cairns community, in particular: the contribution of the building, through its siting, scale, form and material, to the streetscapes of Lake and Shields streets and to the Cairns townscape; the quality of surviving original interior finishes, including plaster work; and the wide timber verandah's. The later elevations to the car park, designed by Eddie Oribin are also of aesthetic significance.

History

Historical Context	<p>Hides and McColl's Hotel was established by George Hides and Duncan McColl. George Hides was a storekeeper who left England in 1852 for the Victorian goldfields. He also spent some time in New Zealand before returning to Australia and the Palmer and Hodgkinson diggings in Far North Queensland, where he opened a general store in the 1870s.</p> <p>In 1884, tenders were called for the construction of the hotel. Hides and McColl's Hotel was built by the Townsville builders Messrs Hinton Co. and completed in August 1885 at a cost of £1,480. At this time it was a two-storey timber building and 'the long, wide, ornate balcony which swept around the hotel became a landmark in the then growing town and the hotel quickly became the most sought-after venue in Cairns, not only for hardy drinkers and weary travellers, but for those who wanted to socialise in a more up-market manner.' The hotel included an observation tower and 20 bedrooms. It was located in Lake Street, adjacent to the site of the present Hides' Hotel, on land owned by Dr A.E. Koch, and let to Hides and McColl on a building lease. It was erected during the second wave of building activity in Cairns (the first being the 1876-77 establishment of the settlement), following Cairns' designation in 1885 as the destination of the rail link to the interior goldfields, and its proclamation as a municipality in the same year. The hotel was renovated c1891, and by 1899 a substantial, two-storeyed timber wing had been constructed at the rear, and the accommodation had been extended to 32 bedrooms.</p> <p>The hotel established Lake Street as a commercial address and also played a significant role in the early commercial and social life of Cairns, catering for commercial travellers as well as local trade. Meetings to establish a Cairns School of Arts and a Masonic Lodge were held at the hotel in November 1885, and the Cairns Chamber of Commerce held its inaugural meeting there on 13 May 1886.</p> <p>McColl held the first license for the Cairns Hotel, but this was transferred in mid-1888 to Hides. Duncan McColl died in 1889. Following Hides' death in 1895, his widow, Elizabeth Moir Hides, retained the Cairns Hotel license for many years, and purchased the hotel site from Dr Koch in 1899. In 1900-01 she also acquired the adjoining allotment on the corner of Lake and Shields Streets, on which the present Hides' Hotel stands. A single-storied timber shop on this site was demolished and replaced by the hotel garden. In 1925, both sites were transferred to O'Hara Limited.</p> <p>A third period of intensive building activity in Cairns took place in the 1920s, associated with the expansion of the town as the port servicing the new soldier settlements inland; the upgrading to City status in 1923; the establishment of Cairns in 1924 as the terminus of the coastal railway from Brisbane; and the reconstruction following extensive cyclone damage to the central business district in the early and mid-1920s.</p> <p>The foundation stone of the new Hides' Cairns Hotel was laid by Denis O'Hara Jnr on 16 May 1928. The building, estimated to cost approximately £30,000, was designed by Cairns architect Sydenham Stanley Oxenham, and was erected by Toowoomba and Cairns contractor MT Garvey. Local North Queensland timbers were used throughout. At the time of construction, it was one of the largest buildings in Cairns, and was one of only two three-storied structures in the city, the other</p>
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	<p>being Boland's store at the corner of Lake and Spence Streets. The original scheme was for a frontage of 120 feet to Shields Street, but the 1928 building extended only 87 feet along Shields Street. By c1936, the original concept was completed, with the addition of two shops at ground level and two levels of bedrooms above, along Shields Street. In the 1930s, the new Hides' Cairns Hotel was pre-eminent amongst Cairns hotels, catering largely to visitors and Cairns 'society'.</p> <p>The O'Hara family retained the property until 1946, when it was transferred to Burns Philp & Company Ltd, who held the title until 1976. In 1966, the original hotel, which had stood adjacent to the building constructed by the O'Hara's in c.1928-36, was demolished. The site was redeveloped, but most of the c.1928-36 building was retained and it continued to trade as Hides Cairns Hotel.</p> <p>A further addition was proposed to the building just after the mid 1960s when designs were completed for additional accommodation in the form of motel accommodation. The alterations and additions, which were designed by the Cairns architect Eddie Oribin, extended the building along Lake street and right through to Grafton Street. The new work was for two levels above a carpark with the facades completed in a precast concrete screen of squint arches. The façade drawings are dated "Jan 1967" and the work was to be completed by early 1969. The precast concrete panels were devised by Australian Reinforced Concrete P/L (ARC) of Geebung Brisbane. The works were to be carried out as a "fast-track" project where the construction was only slightly in advance of the ongoing design work with Oribin virtually acting as the clerk of works at an on-site office. The builder was T.J. Watkins P/L the only large builder in the area capable of this form of work The cost was \$1.26 million.</p> <p>Further alterations were undertaken in 1976, when the two shops facing Shields Street were converted into a bar.</p> <p>In 1993, the property was bought by the Doherty Group and underwent a \$2.5million upgrade. The complex includes a retail centre, hotel, 103-room motel and carpark.</p> <p>Edwin Henry (Eddie) Oribin was born in Cairns in 1927. He went into partnership with S.G. Barnes in 1953, the same year that he registered. Barnes died in 1959 and Oribin carried on in private practice until he closed his office in 1973.</p> <p>Oribin was particularly influenced by the work of Frank Lloyd Wright. Some of his early buildings, such as his own house and studio in Cairns (1958 and 1960), have been described as 'remarkably mature essays somewhat in the Wrightian manner where his mastery of form and detail in 'organic' materials (wood, stone, copper, water) is evident, together with a sensitive relation to the tropical landscape'. Oribin undertook a wide range of work in North Queensland, and is particularly known for the houses and churches he designed, including St Paul's Anglican Church, Proserpine (1958) and St Andrew's Presbyterian Church, Innisfail (1961). In 2000, his architectural contribution was recognized in the Australian Institute of Architects' establishment of the E.H. Oribin Award for Far North Queensland's Building of the Year, which has since become an annual award.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Hides Hotel is set on the south west corner of Shields and Lake St. Its carpark and accommodation building is adjacent on Lake Street but it runs rearward to Grafton St with a façade and carpark exit on that street.</p> <p>The most prominent portion of the hotel, dating from 1928-36, comprises a three-storey building on the southern corner of the intersection of Lake and Shield Streets. Double-storey timber verandahs wrap around these two elevations on the corner of Shield and Lake Streets. It is a rendered reinforced concrete structure with a U-shaped hipped corrugated iron roof concealed behind a parapet wall. The roof surrounds a central lightshaft to the two upper floors, which does not extend to the ground floor, and has a raised lift motor room at the eastern end. A single-storeyed kitchen is attached at the rear.</p> <p>The wide first floor timber verandah has a simple timber balustrade, hardboard panelled ceiling and a corrugated iron skillion roof. The ground floor facade has been altered, with a roughcast rendered finish to the walls and non-original windows</p>

and doors, some of which are in the original openings. The first floor has timber framed, multi-paned doors with fanlights, most of which have air conditioning units inserted, opening onto the verandah.

The second floor has aluminium framed hopper windows in original arched openings which are framed by rendered mouldings and pilasters. The Lake Street elevation has the words HIDES CAIRNS HOTEL along the parapet, and a slightly recessed central bay with a balcony, rendered balustrade and a central flagpole on a rendered scrolled base at the parapet. The Shields Street elevation is less symmetrical, with two slightly recessed bays, the eastern one having a balcony with a rendered balustrade and a flagpole on a rendered scrolled base at the parapet. All windows have rounded pressed metal hoods with square bases.

Internally, the building retains the original lift and a timber staircase with cross-braced balustrade. The original office and reception area, Public Bar and toilets on the ground floor have been altered, and the Shields Street shops have been converted into a bar area, but many of the original plastered ceilings and a section of herringbone parquet flooring in the dining room remain intact. Air conditioning ducting has been inserted throughout. The first floor lounge has plastered columns with a coffered plastered ceiling, but the timber skirtings have been removed. Some bedrooms have been converted into ensuite bathrooms.

Commercial premises and a covered carpark, dating from 1967-69, adjoin the south-eastern end of the Lake Street elevation and extend right through to Grafton Street. Shops, an entrance to the hotel and the entrance to the carpark are located on the ground floor, while the upper two floors are taken up by offices. The ground floor shopfronts feature box awnings with rectangular coffered linings, which extend dramatically into the carpark and hotel entrances. This treatment is reminiscent of designs by Frank Lloyd Wright. Each of the elevations are divided vertically into six bays.

Above the awnings, each bay is infilled with a gridded concrete screen which is made up of squinted arches created as pair halves. These screens have similarities with Islamic architecture.

Images



Table SC6.13.3.7.z – Statement of cultural significance – Hogs Breath Cafe


Site Details	
Site Name	Hogs Breath Café
Alternative Name	
Location	
Address	64 Spence Street, Cairns City
Lot/Plan	Lot 7 on RP701340
Coordinates	Easting 369505.7 Northing: 8128291.8
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building is of local significance as a small but architecturally well mannered store building of the early 20th century, a now increasingly rare period represented in the building stock of Cairns.
History	
Historical Context	<p>The history of this building is unknown; however, it appears to have been built in c.1910s.</p> <p>In 1946, DE Good, wholesale fruit, vegetable and produce merchants and licensed growers' agents occupied the building.</p>
Description	
Physical Description	<p>A single-storey red brick building with a stepped parapet concealing the roof and a timber-framed skillion verandah. The rear of the building was concealed, but the side elevations are also constructed of red brick. The parapet features a moulded cornice and central rendered panel for signage. The symmetrical façade comprises a central door flanked by windows with simple rendered dressings and splayed sills; however the right hand window is currently concealed by a mural. The verandah has square timber posts on concrete bases with a steel I-beam above and earlier timber sides.</p> <p>Internally, original skylights with timber lining boards to the sides are visible.</p>
Images	

Table SC6.13.3.7.aa – Statement of cultural significance – JJ Opals

Site Details	
Site Name	JJ Opals
Alternative Name	
Location	
Address	32-34 Abbott Street, Cairns City


Lot/Plan	Lot 1 on RP715691
Coordinates	Easting 369851.4 Northing: 8128677.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The place is of local significance as a brick shop of the early 20th century. Such small scale shops have only survived because of their masonry construction resisting fires and cyclones. Only a small number of these early buildings survive in the city area and are of importance for their streetscape contribution and the scale of building which portrays conditions of building in the early 20th century.
History	
Historical Context	<p>The building appears to have been built in c.1910.</p> <p>EM Boden & Co., real estate, forwarding and general agents, occupied the building around the 1930s and placed an advertisement in a tourist guide book in 1933. The building was photographed in 1953 and the photograph shows the original verandah and shopfronts. At the time, the accountants W. Smith & Co. occupied the northern shop and a sign for 'City Mutual' projected above the southern shop. In later years, the building housed a popular tourist attraction known as the 'House of 10,000 Shells'.</p> <p>The building currently accommodates a jewellery shop.</p>
Description	
Physical Description	A single-storey concrete shop building with a decorative parapet featuring a raised central pediment and numerous mouldings. Below this parapet, the façade has been altered and is now almost entirely glazed. A recent box awning projects above the shopfront. The concrete frame is evident along the side elevations and is in-filled with rough cast render to some panels, while other panels have been covered over with sheets of corrugated iron, possibly covering windows. The roof is concealed by parapets.
Images	

Table SC6.13.3.7.ab – Statement of cultural significance – Keebles Building

Site Details	
Site Name	Keebles Building
Alternative Name	
Location	
Address	75-77 Abbott Street, Cairns City
Lot/Plan	Lot 1 on RP701522
Coordinates	Easting 369807.2 Northing: 8128589.2
Heritage Boundary	The building and its title land

Cultural Heritage Significance	
Criterion E	The building (although altered on the upper level) is a two storey and somewhat bijoux commercial palazzo with stripped classical detailing. It was one of a small number of such buildings built in the Interwar period but most have now been demolished. The place is of significance at the local level as an interwar expression of commerce, a building type which is now disappearing from the Cairns streetscape.
History	
Historical Context	<p>The building was constructed in 1926 by builders Lanham, Deacon & Watkins and to the design of Richard Hill architect. Hill advertised tenders in the Cairns Post closing on 22nd August 1925 for a concrete building for Mr W Keeble. A drawing of the building was published in the Jubilee Issue of the Cairns Post in November 1926.</p> <p>The Keeble family were pioneer farmers of the Freshwater district from the 1880s. Mr A. Keeble established a dairy in West Cairns in 1893 and was a member of the Barron Shire Council in 1907. Tommy McDonald, who was a Cairns jeweller and a pioneer aviator in the 1930s, had premises in the building.</p> <p>Hill completed another building in the same style (the Munro Building) which has since been demolished and this was a more accomplished expression of the Commercial Palazzo at three stories high.</p>
Description	
Physical Description	A two storey building of concrete with the appearance of an upper Piano Nobile (a grand floor) and a lower shop floor (for one large shop) with entrance to the upper level on the left of the elevation. The details are all of stripped classical form with pilasters and at the cornice a series of patera disks. The bracketed hood over the ground floor entry is of a classical arrangement. The shop front at ground is not original. The overall composition is of a small palazzo building with stripped classical features.
Images	

Table SC6.13.3.7.ac – Statement of cultural significance – Lennon’s Residence

Site Details	
Site Name	Lennon’s Resience
Alternative Name	
Location	
Address	163-165 Lake Street, Cairns City
Lot/Plan	Lot 0 on SP134291
Coordinates	Easting 369219.5 Northing 8129078.0
Heritage Boundary	All of the building and title land.

Cultural Heritage Significance	
Criterion A	The pair of houses are of local heritage significance for demonstrating the types of homes built for successful Cairns residents in the early twentieth century.
Criterion B	The houses are of local significance as the residences of William Lennon and Michael Boland, both successful local merchants. Lennon was very active in Queensland State politics, ultimately becoming Lieutenant Governor of Queensland; while Boland established one of the largest retail enterprises in North Queensland.
History	
Historical Context	<p>The houses appear in good condition, but the original designs are obscured by infilling and the recent entrances. No. 163 is more architecturally interesting.</p> <p>A pair of timber-framed, high-set houses with hipped corrugated iron roofs. Both houses have recently-constructed timber lych gates and covered stairs which lead up to a central entrance. The undercrofts of the houses have been infilled with timber-framed glazed doors and windows and masonry in recent years. At first floor level, recent timber louvres enclose most of the front of the houses. Some of the original timber-framed casement windows and timber chamfer boards have been retained on the side elevations, along with some later c.1950s timber-framed hopper windows. There is a higher roof over the central section of no. 163 and on the side elevation this is enhanced by tall casement windows with highlights and a timber awning. The highlights feature dimpled glass. No. 165 possibly had an exposed timber frame to the side elevation, but this is now clad with A/C sheet.</p>
Description	
Physical Description	<p>163 Lake St was built for the Lennon family, while the adjacent 165 Lake St was built for the family of Michael Boland. Both men were prominent merchants. In the 1896 edition of Pugh's Almanac, both Lennon and M. Boland were separately listed under the headings of 'drapers', 'grocers', 'produce merchants' and 'storekeeper and merchants' in Cairns. These listings were repeated in subsequent editions, but by 1902, Lennon had changed to William Lennon & Co.</p> <p>In October 1911, the architect Mr EG Waters, architect, invited tenders 'for painting the residence of Mr W Lennon in Lake St.' In January 1913, Mr Waters again invited tenders 'for painting the residence of M Boland Esq. in Lake St.' In 1912, Edward Gregory Waters, also designed the Boland Centre in Cairns for Michael Boland. It is therefore assumed that Waters designed both Lake Street houses.</p> <p>Between 1901 and 1910, before building his own residence, William Lennon (1864-1946) was the tenant of the house on the corner of Abbott and Florence Street in Cairns, which was later relocated and is now known as Cominos House. In addition to his merchant's business, Lennon had a successful career in Queensland state politics. He was the Member for Herbert (ALP) between 1907 and 1920. During this period, he held a number of roles including Secretary for Agriculture and Stock and Speaker of the Legislative Assembly. Between 1920 and 1922 he was President of the Legislative Council and for three terms between 1920 and 1929 he was Lieutenant Governor of Queensland. William's son James Lennon (1893-1945) was also a well known Cairns merchant.</p> <p>Michael Boland (1863- 1923) was an Irish immigrant who migrated to Australia, arriving in Cairns in 1882. In 1890 he established a modest grocery shop in a leased timber building in Abbott Street. He gradually built up an extensive business empire, which included investments in mining, and his firm became one of the biggest importers and retailers in Far North Queensland. Boland was elected to the Cairns Municipal Council in 1896 and was instrumental in establishing and developing the Cairns Harbour Board. For many years his store, known as the Bolands Centre, was the tallest structure in the city. After his death, control of the department store passed to his three sons: Thomas, William and James.</p>



Table SC6.13.3.7.ad – Statement of cultural significance – Munro Martin Park

Site Details	
Site Name	Munro Martin Park
Alternative Name	
Location	
Address	147D Grafton Street, Cairns City
Lot/Plan	Lot 1 on C198264
Coordinates	Easting 369079.5 Northing: 8128981.5
Cultural Heritage Significance	
Criterion A	<p>Munro Martin Park is of historical significance in the development of the City of Cairns.</p> <p>Initially set aside as Cairns' first recreation reserve in 1882, the land was progressively cleared, flattened and fenced by the Cairns Divisional Board and this allowed sporting groups to carry out the construction of various sporting facilities albeit somewhat minimal in scale including a cricket pitch, tennis courts and a running and subsequently cycling track. The land was subsequently expanded across Florence Street to incorporate an extended area to the running and cycling track.</p> <p>During the 1920s the active recreation purpose of the Park was to be transferred to Parramatta Park to the west of the town and as a result the Park went into something of a decline although it continued to host activities such as cycling. During World War Two various military facilities were erected in the park including accommodation huts, a radio mast and an air raid precautions shelter. After the War much of this infrastructure was sold off, the alignment of Florence Street reinstated and the land progressively returned to passive recreation. In the 1950s the estate of Margie Hart Martin was used to beautify and formalise the grounds and the name changed to Munro Martin Park after her two aunts who assisted many charitable institutions in Cairns. A memorial erected to the Munro Martin cousins in the centre of the park was designed by the architects Barnes and Oribin. In 1963 the Lands Administration in Brisbane formally accepted the name change to the park and the previously annexed land at the southern end was permanently transferred to the Cairns Council to construct a civic centre.</p> <p>The air-raid precautions shelter on the corner of Florence and Grafton Streets is of historical importance at the state level and is a rare surviving (civilian use) World War Two structure in North Queensland.</p>
Criterion G	<p>Munro Martin Park is of social significance to the people of Cairns and the region surrounding it.</p> <p>After the flattening of the grounds for sports and recreation purposes, a broad spectrum of users emerged including cricket, tennis, cycling, hockey, soccer, rugby and athletic clubs. A circus used the grounds in 1891, sports were organised as diarised events (sometimes to raise funds) and concerts held. Memorial services, band competitions and charitable events such as the Commercial Travellers</p>

	<p>Association “Hospital Carnival” were staged. The grounds were to be available to the populace for non-organised events on Sunday afternoon with organised events allowed on Saturdays.</p> <p>Despite the erection of military huts during the Second World War, parts of the grounds continued to be used for tennis and cricket. This sports use declined by the 1950s and eventually the ground became a passive recreation area which is its use today.</p> <p>Munro Martin Park was for some 70 years the town’s primary centre of sporting, social and entertainment activities.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The settlement of Cairns is officially considered to have occurred in November 1876 when a township reserve had been established through the efforts of Lands Surveyor Mr Sharkey who had commenced the town survey in early October.</p> <p>The reserve extended from the Inlet on the south to Grove St in the north and bounded by Lily Creek on the west. In early October 1876 The Queenslander newspaper reported the population of the area to be in the vicinity of 500 persons.</p> <p>Land Sections in the original township reserve were distinguished in Tom Behan's layout plan by the use of Roman numerals and in the subsequent township additions to the north and west by the use of Arabic numerals. This land in Section XVII was never sold at the first land sales and subsequently was marked as land to be with-held from future sale.</p> <p>In 1882 this land became a “Reserve for Public Recreation”, set aside under the control of the Cairns Divisional Board. This block was then in what was a back area of the fledgling town although in reality the park was at the heart of the 40 blocks of land (each a Section of 5 acres) constituting the township reserve.</p> <p>This public reserve was all of Section XVII bounded by Grafton (then known as Sachs), Florence, Sheridan and Minnie Streets (GG1882.2.1187). The reserve was named Norman Park in mid-1890 after Sir Henry Wylie Norman, Governor of the Colony of Queensland who had visited Cairns in April 1890.</p> <p>This land (like much of Cairns) was vegetated sand dunes which required clearing, flattening and filling to produce a flat sports and recreation ground to serve primarily sports activities. In the area surrounding the reserve, single dwellings and boarding houses were being erected. At the end of 1887 tenders were called by the Council for clearing and flattening and by late 1888 tenders were called for fencing to enclose the reserve which contained a pitch erected by the Cairns Cricket Club. By June 1889 permission was sought to construct a running track and shortly after permission was being sought to erect tennis courts.</p> <p>Around 1892 a number of trees were planted for shade purposes but some of these were later removed (in 1920) because their sap was found to be a strong skin irritant. The remaining trees (mangoes) grew rather slowly and due to vandalism were of little use for shade. By 1909 there were letters in the Cairns Post proclaiming some despondency at how slowly the trees were evolving.</p> <p>In 1889 the reserve was enlarged by the closing of Florence St and the addition of approximately half of Section XII to the south. This land had long been held from sale as a ‘reserve’ but with no specified purpose. This provided for an elongated tract of land which became more fully developed and used as a circuit track for running and cycling. Florence Street was also realigned to skirt around the southern end when the original Florence St was closed off.</p> <p>In 1900 the new “reserve for recreation” was gazetted to its increased size of 8 acres and trustees were appointed to manage the land. In 1912 a set of Park Ordinances were approved and this allowed the organising of paid events including the first such (ticketed) sports day where the proceeds were to go to the Ambulance Brigade.</p> <p>It appears from a number of newspaper reports and letters to the editor of the Cairns Post that Norman Park was very much in decline during the 1920s with the</p>

grounds being overgrown, trees having fallen (but not removed) and fencing in decay. There were suggestions that the Council owned horses could be grazed there to reduce the grass. In the mid-1920s there was also a suggestion that some of the land might be suitable for workers housing under the Worker's Housing Act of 1919-22 but the Land Ranger Mr M Down in a letter to the Land Commissioner cautioned against this..."R279 is the chief resort used for recreation and sport by the Citizens of Cairns"...and.. " I would consider it a grave injustice for it to be resumed for the purpose of the Workers Housing Act...". He noted the improvements to be £1500 for a picket fence, 2 cricket pitches, cycling track, bandstand, a G.I. shed, and '50 approximate' ornamental trees. He also noted that the council had spent £680 on the filling of this swampy ground.

The Land Ranger also noted that the Reserve would be used for recreation only when Reserve R365 was ready for use. Reserve R365 was a reserve for sports being prepared nearby and this was later to become the Showgrounds. R365 only slowly progressed toward completion and sports groups who transferred there found themselves back at the Norman Park grounds during the war when the military took over the showgrounds for their own encampment and recreation purposes.

A Council meeting of April 1927 considered planting more shade trees in Norman Park from their Edge Hill nursery. This must have proceeded as it was noted by the Land Ranger and a satirical cartoon appeared in a 1930 edition of the Cairns Post showing the trees as only about a meter high and near to pointless for shade purposes. They may have been removed shortly after as an aerial view of the park of 1933 shows only the mature Mango Trees mainly along the east and west boundaries of the upper park.

In late 1941 when the Japanese Imperial Forces came closer to Australia, civil defence was put in the hands of State Governments which were required to pass legislation and put in train the setting up of civil defence organisations, the construction of public shelters for the public and the training of civil defence workers. Queensland provided the required Orders in Council on 23rd December 1941 and civil defence work commenced immediately. Cairns and Far North Queensland were at the frontline of Australia's defence system so it is not surprising that civil works were being undertaken along with a large regional military presence.

The above ground shelter at Munro Martin Park is an Air Raid Precautions (ARP) centre which acted as a central listening and control post during air raids. Civil defence spotters (primarily the Volunteer Defence Corps) and air raid wardens reported their observations to this central point which would co-ordinate the response to any likely raids. A work order issued by the Cairns Council to the Councils Supervisor of works of 3 March 1942, required an immediate start to the construction of the shelter. In more recent years the Scouts Association took out a lease over the shelter to use it as The Scout Shop. The fibreglass hat was erected on its top as part of this conversion. The shop closed around the mid-2000s although they hold a special lease until 2023.

ARP centres were built through-out Queensland and were usually built with some other use in mind when the war ended. In small towns they were often associated with the Police Station where they were intended for conversion to a garage or storage use after the war. In larger centres such as Brisbane there were numerous ARP centres with the city central one below the (now demolished) Roma Street Police Station. Some centres which had large defence infrastructure (such as Maribyrnong in Melbourne) built substantial ARP centres for the training of Air Raid Wardens. This ARP shelter is possibly the largest surviving civilian shelter in Far North Queensland and due to its rarity and historical associations is included on the Queensland Heritage Register.

In 1944 land in the Cairns area was assessed for the purpose of an airfield locator beacon (a "Radio Range") to guide aircraft toward the Cairns landing strip. Norman Park was deemed by the Civil Aviation Department as the most suitable location for a transmitter aerial. Eventually a site was agreed at the lower end of the park (in the area of Section XII) and a timber tower, transmitter hut and a surrounding wire fence was erected with a £12 annual lease to the Commonwealth for 20 years. In something of an official spat, the Queensland Government insisted that the appropriate protocol was for the Prime Minister to write to the Queensland Premier to seek a lease of the land before the agreed site was handed over.

Following the end of the war (1945) a land survey map was drawn up to show the reinstatement of Florence Street and once it was gazetted in 1946, Florence St was reopened to traffic on its original alignment and the lower portion of the park (part of land Section XII) parted with the recreation ground proper.

The park had also become something of a patch of bare earth as it had been occupied during the war by more than 40 military buildings around its periphery. This was the accommodation base for a number of small military units and C Company 15th Garrison Battalion which protected infrastructure.

This arrangement of buildings left a cricket pitch in the centre and tennis courts at the northern end for active sports use.

Once the war time buildings were sold off, the active use of the site declined and in the 1950s a lease was granted to the Cairns Table Tennis club for a pocket of land and their recreation hut (a former military building) in Section XII facing onto Sheridan St. By then the locator beacon and hut were still in existence but eventually this form of transmitter was relocated to the north end of the airport.

In 1967 there was a move to formalise the passive use of the reserve as well as to (officially) rename it Munro Martin Memorial Park. The Land Ranger for Cairns had written to the Commissioner of Lands in Brisbane noting that some "thousands of pounds had been donated to Council to commence the project.." and that "...approval be given to change the name to Munro Martin Park".

Land in the lower Section XII was, at about the same time, to be subject to a Deed of Grant to the Cairns Council to allow permanent occupancy and the construction of a Civic Centre - primarily an auditorium, something that Cairns had never really had. This proposal had been in train since at least 1963 with some simplistic block sketch drawings of a Civic Centre being submitted to the Land Commissioner in order to have the land released for use by the Council. A civic centre was eventually erected in 1974.

By Gazettal notice of 1967.2.1031, Norman Park was renamed and the land registered as a recreation reserve R1295 with an area of 4 acre 3 rood 31 perch under the control of the Cairns City Council.

Munro and Martin are the surnames of two long-time residents of Cairns, the Misses Janet Taylor Munro (d. 1945) and Margaret Martin (d. 1948) who had come from Victoria and had for a long time been generous sources of monetary gifts to various associations, public bodies and the people of Cairns. Margie Hart Martin (d. 1953), niece of Margaret Martin left her estate to beautify the northern portion of the park and to erect lighting which was carried out at a later time. In 1956 the Mayor (Alderman Fulton) performed a ceremony in the park which dedicated the central Obelisk monument to the Munro Martin women. The 10m high Obelisk was designed by architects S. Barnes and E. Oribin, cost £2200 and was erected by local contractor Mr A. la Cava.

The land in Section XVII was formalised by the planting of more trees (palms) to augment the existing trees, a "Union Jack" concrete pathway system was constructed in the upper (north) end of the park and there was an unrealised proposal for a performance sound shell and tiered earth seating in the lower middle area toward Florence St. The park thereupon became locally referred to as Munro Martin Park although it was a decade before it was officially recognised by the Lands Department.

This arrangement of trees, pathways and the land of the undeveloped sound shell is the one which can be seen today. Two excisions were made in the upper north east corner; one for an electricity substation which is a small reserve made in favour of the Far North Queensland Electricity Board (FNQEB) and the other a section of land informally used by the Council as a plant nursery depot.

Munro Martin Park is no longer the focus of outdoor recreational activities in Cairns although there has been a continuation of public activities and parades to and from the park (such as May Day) and Fun in the Shade Indigenous Dance festival. Sports which were once the main activity in the Park, are now catered for at purpose made ovals on the south side of town. Much of the passive recreational function has now shifted to new parkland on reclaimed land along the Cairns Esplanade. This new linear park has multi-purpose recreational spaces and a large

	open swimming pool which draws hundreds of tourists daily. This parkland was rearranged and upgraded with the swimming area in 2003.
Description	
Physical Description	<p>A rectangular park bordered by Florence, Sheridan, Grafton & Minnie Streets Cairns and containing a concrete air raid precautions shelter at corner of Grafton and Florence Streets. The ARP shelter is on the Queensland Heritage Register.</p> <p>Munro Martin Park is a flat grassed piece of land of approximately 2 hectare bounded by Florence, Grafton, Minnie and Sheridan Streets. The park has approximately 20 large mature trees (many are Mango Trees) spread around the periphery of the site as well as Palm Trees within the northern area. The mangoes were probably planted in the late 19th century as original shade trees.</p> <p>In the upper portion of the site are two areas excised from Park use being the council's plant nursery and the electricity substation which is adjacent to a toilet block on the corner of the reserve. None of these items are of heritage significance.</p> <p>In the middle of the park's upper half is something of a Union Jack layout of concrete paths (albeit incomplete). These merge at a central 10m high marble obelisk dedicated to the Munro Martin cousins and lead toward the lower half of the park where there are the beginnings of an unrealised proposal for a soundshell and tiered landscaping.</p> <p>In the south east corner at Florence and Grafton Streets is the former ARP concrete octagonal shelter later made more visible by the inclusion of the fibreglass scout hat on its top and its conversion to a Scout Shop.</p>
Images	

Table SC6.13.3.7.ae – Statement of cultural significance – Night Owl

Site Details	
Site Name	Night Owl
Alternative Name	
Location	
Address	29A-29B Shields Street, Cairns City
Lot/Plan	Lot 1 on RP721277


Coordinates	Easting 369578.8 Northing: 8128577.8
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The building was constructed in c.1920s, most likely as commercial premises, and is of local historical significance for its contribution to the historic streetscape of Shields Street.
History	
Historical Context	<p>29 Shields Street is listed as the address for Murray Mirob between at least 1929 and 1946.</p> <p>In March 1933 a notice in the Cairns Post by Hill & Taylor architects extended the deadline for the receipt of tenders for a two storey shop on Shields St for Mr J. Mirob. A notice had previously been taken out by Mirob identifying the building as being in concrete and the upper level could be arranged to suit an on site tenant and the upper level room arrangement could be discussed with the architects Hill & Taylor.</p> <p>The building's parapet and verandah are visible in the background of photographs taken of Hides Hotel in the 1960s. At this time the verandah had a hipped roof and solid balustrade at first floor level, probably clad with horizontal weatherboards.</p>
Description	
Physical Description	<p>A two storey reinforced concrete building with a gabled and parapeted frontage and a two storey verandah supported on timber posts and with some upper level timber detailing.</p> <p>The building has appeared in photographs with an all timber two storey verandah and the present one is likely to be a modification of that structure as there are features of the structure appear to be original (e.g. the underside cladding appears to be original). The lower level shopfront has been altered but the remainder of the body of the building (with steel framed wired windows on the side boundaries) appears to be as built.</p>
Images	

Table SC6.13.3.7.af– Statement of cultural significance – Ochre Restaurant (part HS Williams Estate Building)

Site Details	
Site Name	Ochre Restaurant (part HS Williams Estate Building)
Alternative Name	
Location	
Address	43 Shields Street, Cairns City
Lot/Plan	Lot 2 on RP714657
Coordinates	Easting 369452.2 Northing: 8128466.4
Heritage Boundary	Whole of building, title land and verandah
Cultural Heritage Significance	
Criterion A	The Ochre Restaurant occupies part of a larger building which is of local significance as an early shop group which was subsequently occupied by the H.S. Williams Estate which for a long period ran a motor car showroom and service division from the building. This company came to be well known in the region for the sales and services it provided in the motor industry.
History	
Historical Context	<p>The building is shown under construction in a c.1924 photograph. The corner shop and two bays to Shields Street had been completed at the time the photograph was taken and signage along the Sheridan Street parapet reads 'WILLIAMS & GIFFIN MODERN BUTCHERS'.</p> <p>The Estate of H.S. Williams ran a number of businesses, including butchers and motor dealerships. The earliest known reference to the motor dealership of Estate H.S. Williams being in Shields Street was an advertisement for 'Gray' cars being sold by the dealership at this address in 1924.</p> <p>A photograph from the c.1930s shows the building with a painted sign for 'ESTATE H.S. WILLIAMS' across the parapets, along with the cars they sold - Dodge-De Soto, Standard, Willys Overland - and the repairs they undertook to vehicles. It also shows two petrol pumps in front of the building and signs advertising 'Shell' petrol. H.S. Williams were not listed in Pugh's Almanac under Motor Car Proprietors in 1921, but H.S. Williams (Estate) were listed as 'Motor Agents Garages' in Cairns by the time it was published in 1926. It was one of Cairns' largest motor dealers and was managed by Sir Sydney Williams after World War Two.</p> <p>The company had its origins with Henry Sydney Williams who arrived in Australia in the 1860s and worked in a number of occupations before taking up land at Scrubby Creek on the Tablelands. After losing his dairy cattle to tick in 1895, Williams established a store and butchery at Scrubby Creek and the Carriers Arms Hotel at Carrington. He then acquired land at Allumbah (renamed Yungaburra) and established a store. He was killed in an accident in 1905, but his sons, under the name of 'Estate H.S. Williams', continued the family business. Sir Sydney Williams OBE (1920-2003) was one of the founders of the Far North Queensland Amateur Turf Club, also known as the Cairns Amateurs, and was very active in the Cairns Business Community.</p>
Description	
Physical Description	<p>The single storey building was built as one large building divided into 10 bays along Shields Street, a splayed corner and 2 bays along Sheridan Street. This part of the building comprises the 2 western bays on Shields Street, the 2 bays to Sheridan Street and a later extension to the south (rear).</p> <p>A 1924 photograph shows the building as an interesting circa 1920s building with a distinct parapet and a unifying verandah. Some of the verandah is now lost and windows have been put through the upper parapet.</p>



Table SC6.13.3.7.ag– Statement of cultural significance – Qantas Travel (former Collins Building)

Site Details	
Site Name	Qantas Travel (former Collins Building)
Alternative Name	
Location	
Address	26-28 Shields Street, Cairns City
Lot/Plan	Lot 1 on RP701162
Coordinates	Easting 369627.7 Northing: 8128695.0
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building has historic significance at the local level as premises built for a chemist in 1924 which contribute to the historic streetscape of Shields Street.
Criterion H	The building is significant for its association with WA Collins, an important civic leader and Cairns' longest serving mayor.
History	
Historical Context	<p>In March 1923, the architect C.D. Lynch invited tenders for the construction of business premises for WA Collins in Shields Street. WA Collins was a chemist and long-serving mayor of Cairns. The building was constructed in 1924. A name plate in the splayed parapet of the building appears to read 'COLLINS BUILDING'. Collins began operating in a building on Lake Street in 1911. In 1926, the Collins Building was the first Cairns business to install an electric flashing light, installed by FA Blucher and comprising 85 watt lamps.</p> <p>William Aloysius Collins was born in Herberton in 1886 and was the mayor of Cairns between 1927 and 1949, the longest serving mayor to date. He was Chairman of the Barron Falls Hydro Electric Board and the patron or executive of many community groups. During the Second World War the Australian Army had offices on the first floor of the Collins Building. Collins died in 1959.</p> <p>The architect Charles Lynch was born in Rockhampton in c.1871. He was in partnership with Walter Hunt between 1911 and 1921 and they undertook work in Cairns, Townsville, Atherton, Charters Towers and Rockhampton. Lynch was working on his own and based in Cairns when this building was designed.</p> <p>A photograph dated c.1955 shows the building in a similar form to how it is today, including the awnings over the first floor windows. However, these must have been reconstructed as a photograph dated c.1984, taken when the building was occupied by TAA (Trans Australia Airlines) shows the upper façade concealed by cladding and no awnings. The cladding was removed in 1985.</p>

Description	
Physical Description	<p>A double-storied rendered building, with a timber-framed verandah at ground floor level and a steeply pitched timberframed awning over the first floor windows. The building has two principle elevations addressing Shields and Lake street and a splayed corner. A parapet with recessed rectangular panels, located above a string course with brackets, conceals the roof. A name plate of raised rendered letters is located within the splayed corner panel of the parapet.</p> <p>Some of the letters have been removed, but it reads ' _ _ LI _ S BUILDING' - the first word was most probably 'COLLINS'. At ground floor level, the two facades are entirely infilled with aluminium-framed windows and glazed doors.</p> <p>At first floor level, the building facades have been divided into bays - four bays to Lake Street, two to Shields Street and one at the splayed corner. These bays are defined by round-arched recesses, which each frame a window. These windows are further emphasised by rendered dressings comprising sills and architraves. The first floor windows are not original, but imitate multi-paned, double-hung, timber-framed windows.</p>
Images	

Table SC6.13.3.7.ah– Statement of cultural significance – Shops and Offices

Site Details	
Site Name	Shops and Offices
Alternative Name	
Location	
Address	45-47 Spence Street, Cairns
Lot/Plan	Lot 2 on RP736455
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	All of the two storey building and the land
Cultural Heritage Significance	
Criterion A	The two storey shops and offices are of local significance as an architect designed concrete building decorated to appear as if a traditional render building for the Cairns draper and entrepreneur Mr. J. Mirob. Mirob owned other architect buildings in the area and this prominent structure makes an aesthetic contribution to the street and to the greater collection of concrete buildings in the city designed after the introduction of the Cairns building by-laws of 1926.
History	
Historical Context	<p>A notice was taken out in the Cairns Post in February 1934 by Cairns architect Richard Hill for the erection of a two storey building for shops and offices or possibly upstairs flats for Mr. J. Mirob. Tenders were to close on 12 March 1934.</p> <p>On October 13th 1934, the Arcadia Private Hotel officially opened and an article appeared in the newspaper identifying the building as owned by Mirob with the</p>


	<p>contractor being Mr. M. Rooney. A separate newspaper article in the Cairns Post noted the building as being one of a number of new edifices which were leading the modernisation of Cairns' streets.</p> <p>By November 1934, Microbe was advertising for tenants of the shop portion at 4 pounds per week and tenants for his upstairs boarding house of 20 rooms known as the Arcadia Private Hotel.</p> <p>This Private Hotel was said to have rooms with verandah's front and back but such an arrangement appears to have since been modified and this may have been the portion of the building along Grafton Street as there is no evidence of verandah's on the most detailed portion of the facade at the street intersection.</p> <p>It would appear that some years later the Arcadia Private Hotel had shifted diagonally across the intersection to the former Federal Hotel site as a photograph of the 1950s shows a sign on the verandah of that building indicating that the upper level was occupied by "Arcadia Residential".</p> <p>A photograph of the 1930s in which the building can be seen, shows it as a large two structure block of a structure, larger than its surrounding single storey buildings and with a large block structure at the rear which is probably the Arcadia Private Hotel portion of the building.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A two storey concrete building with corrugated iron roofing arranged in two long sections parallel to Grafton Street. Parapets at the frontages hide part of the roof arrangement. The building is rendered and painted and has a long side parallel to Grafton Street although much of this length appears to be a later extension (possibly during the 1940s-50s). The historical account in newspapers mentions a number of rooms with verandah's when the building opened as a private hotel and this secondary section of the building may have since been modified from that earlier arrangement.</p> <p>The building's interesting architectural features are really related to the detailing at the corner of Grafton and Spence Streets which includes render work pilasters in a Roman Doric style and small heraldic shields on the upper façade. The original section of the building includes decorative architraves in render around the upper level windows (5 along each façade). The upper level has a wide cornice and parapet above. The corner portion appears to be missing a decorative element from on top of the parapet.</p> <p>Other features just above the awning are a deeply moulded stringcourse and plinth blocks under the paired pilasters. There is a wrap around cantilevered awning along Spence Street and Grafton Street which appears to be original.</p> <p>Further along Grafton Street the verandah changes to a post supported skillion roof the whole of which appears to be a recent construction although it may replace an earlier similar structure.</p> <p>One the ground level a number of openings have been made along the Spence Street façade which are out of character with the building in scale and detail.</p>
<p>Images</p>	 <p>The left image shows a street-level view of the building's corner at the intersection of Grafton and Spence Streets. The building is a two-story structure with a light-colored facade and a prominent corner entrance. A yellow car is visible in the foreground. The right image is a close-up of the architectural details at the corner, showing a pair of white columns supporting a decorative architrave, with a small heraldic shield above them. A white awning is visible below the columns.</p>

Table SC6.13.3.7.ai– Statement of cultural significance – Sovereign House (Shields Street Cellars)

Site Details	
Site Name	Sovereign House (Shields Street Cellars)
Alternative Name	
Location	
Address	107 Grafton Street, Cairns City
Lot/Plan	Lot 40 on RP748723
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The place has local historical significance as a long-term hotel site and for its role in the commercial development of Cairns. A hotel named the 'Crown Hotel' has stood on this site since the 1890s. The current building was constructed in 1929.
Criterion D	The building is a relatively intact example of a substantial Queensland hotel built in the 1920s.
History	
Historical Context	<p>A c.1925 photograph of Shields Street clearly shows the façade and roof lantern of the building and it appears as though the building may have been under construction at this time. A c.1930s photograph shows a painted sign across the building reading 'Morrow's' in a cursive font. Below this is another painted sign reading 'SOVEREIGN HOUSE'. From at least 1932, Morrow's marketed a brand of biscuits and confectionery known as 'Sovereign'. A central roundel which still exists on the façade of the building includes a relief impression of St George and the dragon and the date '1875'. This design is the same as that imprinted on sovereign coins. This indicates that the building was most likely purpose built as a shop and warehouse for Morrows Ltd.</p> <p>Morrows Ltd were biscuit manufacturers established by Thomas Morrow (1841-1920) in 1900. Morrow's biscuit factory was in Brisbane (it later became an Arnott's biscuit factory). In 1956, Morrow's merged with Arnott's and a number of other biscuit companies including Metteram and Menz, Mills & Ware and Brockhoff to form the Australian Biscuit Company. In 1970, this company went public on the Australian Stock Exchange as Arnott's Ltd.</p> <p>In June 1923, Richard Hill architect, tendered the construction in conjunction with T.B.M. Wightman architect of Brisbane. Plans held by the Cairns Historical Society are said to be dated 1926 and it may be that construction was delayed until a better price was negotiated.</p> <p>The building is currently used as a retail liquor store.</p>
Description	
Physical Description	The single-storey masonry building features a gabled parapet and a corrugated iron roof with a central roof lantern. A timber-framed skillion verandah, clad with corrugated iron and featuring paired square posts, extends in front of the building. Above the central timber double door is a rectangular panel featuring a sovereign roundel (refer to History for explanation). Flanking this door are powder-coated fixed windows.



Table SC6.13.3.7.aj– Statement of cultural significance – St John’s Anglican Church

Site Details	
Site Name	St John’s Anglican Church
Alternative Name	
Location	
Address	177 Lake Street, Cairns City
Lot/Plan	Lot 27 on C1983
Coordinates	Easting 369111.0 Northing: 8129209.2
Cultural Heritage Significance	
Criterion A	The place has historic significance for its associations with Cairns' first Anglican church. The first St John’s Church of England was built in 1884 on the site of the current Cairns City Library in Abbott Street. The timber church building was destroyed by a cyclone in 1920. The current St John's Church was built to replace it between 1926 and 1927.
Criterion E	The place has local aesthetic significance as a building designed in the Romanesque style by the notable Cairns architect Richard Hill.
Criterion G	The place has local significance as place of worship since 1927.
History	
Historical Context	<p>The Anglican Diocese of North Queensland was formed in 1878. From 1880, the Reverend AC Mosley, who had based himself at Port Douglas, would regularly visit Cairns and hold services in the Old Bond. Cairns' first resident Anglican priest was the Reverend GRF Nobbs, who arrived in 1884 and held services in the Court House. The first St John’s Church of England was built in 1884 on the site of the current Cairns City Library in Abbott Street. The timber church building was destroyed by a cyclone in 1920.</p> <p>A new site was chosen for a more substantial church at the corner of Minnie and Lakes Streets. While funds were being raised for a new church, a Sydney firm of architects (Spain and Cosh) prepared a design, but these were abandoned in favour of a design prepared by the local architect Richard Hill. In September 1924 the Spain and Cosh design was tendered through Hill's office. The design was revisited and the new scheme subsequently re-tendered. Hill went into partnership with A.J.H Taylor while the church was being built by the local builder Mr McKenzie. The foundation stone was laid by the Bishop of North Queensland on 27 June 1926 and the completed building dedicated on 23 January 1927. The new church originally had a timber picket fence later replaced by a concrete low height fence.</p> <p>The architectural partnership of Hill and Taylor began practicing in Cairns in 1927. Richard Hill was born in Greymouth, New Zealand in c.1884 and began practicing as an architect in Cairns in 1919. Arthur John Henry Taylor (1902 - 1955) was born in Sydney and was initially employed by the Queensland WDB (Workers’ Dwellings Board) as a draftsman in 1918 before completing a Dip. Arch (Qld) in 1924. Richard</p>


	<p>Hill designed major extensions to the Cairns Post building in 1924, before the partnership was established. Buildings designed by the practice of Hill and Taylor include the Cairns City Council Chambers (1930), Johnstone Shire Council Chambers, Innisfail (1938), Proserpine Hospital (1939-40) and the Barron Valley Hotel, Atherton (1940). In 1931, Hill and Taylor took over the practice of Major Charles Veuden Rees in Townsville and continued to practice in both towns until approximately 1940.</p>
Description	
Physical Description	<p>Located on a corner of Lake & Minnie Streets and set back to the alignments for each street.</p> <p>A compact Romanesque style church entered via the porch at the Minnie Street, Lake Street corner with a high nave running east - west and on the exterior a cloister style verandah running east west along the Minnie Street façade with round headed arcading on short columns. Windows high up on the nave are also round headed paired windows with vent louvre's rather than glazing. At the cloister verandah the doors are timber framed and fully glazed.</p> <p>At the east end of the nave in the gable apex is a round (quatrefoil) window above a series of long thin round headed windows allowing light into the tall nave space complete with a timbered ceiling above hammerhead support beams. The body of the building is concrete with engaged pilasters which pick up the roof beam supports on the church interior.</p> <p>The roof cladding is Marseilles terracotta tiles.</p> <p>On the interior the reredos (timber screen behind the altar) is dedicated to the dead of the two World Wars.</p> <p>On the north side of the body of the church but external to it, is vestry space and other rooms.</p>
Images	

Table SC6.13.3.7.ak– Statement of cultural significance – Sushi Zipang

Site Details	
Site Name	Sushi Zipang
Alternative Name	
Location	
Address	39 Shields Street, Cairns City
Lot/Plan	Lot 2 on RP701307
Coordinates	Easting 369473.5 Northing: 8128484.0
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The Sushi Zipang restaurant occupies part of a larger building which is of local


	<p>significance as an early shop group which was subsequently occupied by the H.S. Williams Estate which for a long period ran a motor car showroom and service division from the building. This company came to be well known in the region for the sales and services it provided in the motor industry.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The building is shown under construction in a c.1924 photograph. The corner shop and two bays to Shields Street had been completed at the time the photograph was taken and signage along the Sheridan Street parapet reads 'WILLIAMS & GIFFIN MODERN BUTCHERS'.</p> <p>The Estate of H.S. Williams ran a number of businesses, including butchers and motor dealerships. The earliest known reference to the motor dealership of Estate H.S. Williams being in Shields Street was an advertisement for 'Gray' cars being sold by the dealership at this address in 1924.</p> <p>A photograph from the c.1930s shows the building with a painted sign for 'ESTATE H.S. WILLIAMS' across the parapets, along with the cars they sold - Dodge-De Soto, Standard, Willys Overland - and the repairs they undertook to vehicles. It also shows two petrol pumps in front of the building and signs advertising 'Shell' petrol. H.S. Williams were not listed in Pugh's Almanac under Motor Car Proprietors in 1921, but H.S. Williams (Estate) were listed as 'Motor Agents Garages' in Cairns by the time it was published in 1926. It was one of Cairns' largest motor dealers and was managed by Sir Sydney Williams after World War Two.</p> <p>The company had its origins with Henry Sydney Williams who arrived in Australia in the 1860s and worked in a number of occupations before taking up land at Scrubby Creek on the Tablelands.</p> <p>After losing his dairy cattle to tick in 1895, Williams established a store and butchery at Scrubby Creek and the Carriers Arms Hotel at Carrington. He then acquired land at Allumbah (renamed Yungaburra) and established a store. He was killed in an accident in 1905, but his sons, under the name of 'Estate H.S. Williams', continued the family business. Sir Sydney Williams OBE (1920-2003) was one of the founders of the Far North Queensland Amateur Turf Club, also known as the Cairns Amateurs, and was very active in the Cairns Business Community.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The single storey building was built as one large building divided into 10 bays along Shields Street, a splayed corner and 2 bays along Sheridan Street. This part of the building comprises the 3 eastern bays on Shields Street. The building is part of the Williams Estate strip of buildings.</p>
<p>Images</p>	

Table SC6.13.3.7.ai – Statement of cultural significance – Taka Dive


Site Details	
Site Name	Taka Dive
Alternative Name	
Location	
Address	131 Lake Street, Cairns City
Lot/Plan	BUP106438
Coordinates	Easting 369466.7 Northing: 8128806.0
Cultural Heritage Significance	
Criterion A	The building has local significance for its contribution to the historic townscape of Cairns.
Criterion E	The building has aesthetic significance at the local level as a building designed in the Mediterranean style by local Cairns architects Richard Hill and Taylor in c.1930. There are few buildings in this style in the Cairns Region and although not intact at ground level the upper level is of interest for its style detailing.
History	
Historical Context	<p>The building was designed by Richard Hill & Taylor for Jack Hunter's family some time between 1927 and 1935. The building appears as though it was most likely designed to include two shops at ground floor level addressing Lake Street with residential apartments above.</p> <p>In 1935, Jack Hunter ran an advertisement in the Cairns Post announcing that his shop 'Hunter's Casket Agency' on the corner of Lake and Aplin Street was now an authorised Golden Casket (lottery) agent. In more recent years the ground floor shop fronts have been removed and an unsympathetic shop front added. The verandah awning however appears substantially unchanged as does the appearance of the main façade of the upper level.</p>
Description	
Physical Description	<p>A double-storey concrete building with distinct elevations to Aplin and Lake Streets and a box awning wrapping around both these frontage. The eaves to the hipped, corrugated iron roof are supported by pairs of decorative timber brackets, while square piers with rendered mouldings and a cornice extend above the roof at the building's corners. At ground floor level, the two shopfronts have been substantially modified, but the original design appears intact at first floor level.</p> <p>The elevation to Aplin Street at first floor level comprises pairs of timber-framed, multi-paned casement windows with dimpled glass and decorative rendered sills. The Lake Street elevation features first floor balconies recessed behind pairs of round arches separated by a column and partially in-filled with a decorative metal balustrade. Multi-paned French doors provide access to these balconies.</p>
Images	

Table SC6.13.3.7.am– Statement of cultural significance – The Grand Hotel

Site Details	
Site Name	The Grand Hotel
Alternative Name	
Location	
Address	34 McLeod Street, Cairns City
Lot/Plan	Lot 1 on RP720044
Coordinates	Easting 369352.0 Northing: 8128376.8
Heritage Boundary	The building and its title land
Cultural Heritage Significance	
Criterion D	The building is a good example of a 1920s Queensland hotel which has not been substantially altered.
Criterion A	The building is important for demonstrating the growth of Cairns commercial activities, which developed between the railway station and the established businesses further to the east, following the completion of the railway line between Cairns and Brisbane in 1924.
History	
Historical Context	<p>The railway line between Cairns and Brisbane was completed in 1924 and provided the stimulus for the redevelopment of Shields Street between the railway station in McLeod Street and Grafton Street. The Grand Hotel, which was directly opposite the original Cairns Railway Station (demolished in 1996) was built in 1926 for Mrs Collins. The builders were Messrs. Wilson & Baillie. A tender notice in the Cairns Post identified the architect as Richard Hill, the tender closing date as 25 August 1925 and the material as reinforced concrete.</p> <p>In 1930, the architect T.W.M. Lordan invited tenders for the painting of the interior of the Grand Hotel for Mr J.T. Conroy.</p> <p>In February 1943, the Grand Hotel changed its name to Talbot House when it became a hostel for servicemen in Cairns, organised by Toc H in cooperation with the army authorities. The hostel acted as a transit and leave hostel for all Allied servicemen, including the Merchant Navy, who were on leave or passing through the city to and from battle stations. Toc H conducted similar ventures in Australian capital cities, but this was the first in Far North Queensland. The hostel provided accommodation and three meals a day for 75 servicemen.</p> <p>Toc H is an international movement instigated by the Queensland born Army Chaplain, the Reverend P.B. (Tubby) Clayton during the First World War. He opened a Soldiers Club in a building called Talbot House in the small Belgian town of Poperinghe just 11 kilometres west of Ypres. It was a sort of rest house where those returning from the front line could find some relief from the traumas of war and over 50,000 young men visited between 1915 and 1918. Clayton did not want it to be a traditional church club and instead set it up as an 'Everyman's House'. After the First World War, the Toc H Movement was established to perpetuate the Fellowship developed in Talbot House. Toc H members seek to ease the burdens of others through acts of service and the movement has been responsible for starting or collaborating in some of the most innovative forms of social service. Toc H was the Army signallers code word for Talbot House. At the start of the Second World War, many of Toc H's members were called to fight, but those who were left turned their attentions to helping the war effort by starting Service Clubs for men and women. The Grand Hotel's temporary renaming as 'Talbot House' during the Second World War commemorated the origins of the movement near Ypres, and is possibly unique within the movement.</p> <p>In 1968, the hotel was sold to the Carlton United Brewery. In 1986, a new undercover drive-in section was added to the hotel.</p>


Description	
Physical Description	<p>A two-storey concrete building with a double-storey verandah wrapping around the two principal elevations to Shields and McLeod Streets. The hipped roof is clad with corrugated iron, but this is largely concealed by a prominent parapet. The splayed corner of the building is emphasised by a round arched head to the parapet, flanked by piers and containing a central decorative motif of a stylised flower. This architectural treatment is repeated above the central bays of the verandah on both principal elevations. Elsewhere the parapet is simply squared off and contains the rendered letters 'GRAND HOTEL'.</p> <p>At the splayed corner and the two central bays, the timber-framed verandah with a skillion roof features paired posts, an arched valance and a decorative central panel to the balustrade at first floor level. Elsewhere, the verandah has a simple balustrade of vertical timber balusters and single verandah posts. Aluminium lacework has been recently added to the verandah at ground floor level.</p> <p>From the rear of the building it becomes evident that the building has a U-shaped plan and a similar double-storey, timber-framed verandah lines the service courtyard. At ground floor level, the principal facades have retained some multi-paned, timber-framed casement windows, which appear original. The windows to the side (east) elevation appear to have originally been timber-framed, double-hung windows. At first floor level, French doors with highlights open on to the verandahs.</p>
Images	

Table SC6.13.3.7.an– Statement of cultural significance – The Railway Hotel

Site Details	
Site Name	The Railway Hotel
Alternative Name	
Location	
Address	36-38 McLeod Street, Cairns City
Lot/Plan	Lot 1 on RP709475
Coordinates	Easting 369301.4 Northing: 8128439.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	<p>The place has local historical significance as a long-term hotel site and for its role in the commercial development of Cairns. A hotel named the 'Railway Hotel' has stood on this site since 1886. The current building was constructed in 1937.</p> <p>The building contributes to the streetscape of Cairns by its size and form and like a number of other hotels in Cairns, takes up a prominent corner of the city grid.</p> <p>There is a great commonality between these central hotels being as they are all concrete, designed by just a small number of architects, and all of much the same scale and form. By their commonality they come to define the hotel architecture of North Queensland and the Cairns region in particular.</p>

History

Historical Context

In 1886, the following notice was placed in the Cairns Post:

"I, William Brake, residing at the corner of Shields Street and McLeod Street, Cairns, storekeeper, hereby give notice that I intend to apply at the next Quarterly Meeting of the Licensing Authority for a Licensed Victualler's License for the sale of fermented and spirituous liquors in the house and appurtenances there to belonging, situated at the corner of Shields Street and McLeod Street, Cairns, to be called "The Railway Hotel," containing six bedrooms and three sittingrooms (exclusive of those required by myself and family), one bar, and four-stalled stable, which premises I rent from Thomas Richard Seppings Hook, commission agent, Cairns, and are occupied by me as his tenant, which premises are not licensed, nor has any provisional certificate been granted for them, and which I intend to keep as an Inn or Public House."

The license was granted in July 1886 and by August the Railway Hotel was advertised as providing "First class accommodation for travellers, best wines and spirits, good stabling and secure paddocks."

A c.1887 photograph of the Railway Hotel shows it as a two-storey timber building, with exposed studs and a double storey verandah wrapping around the two street frontages.

In 1896, a Railway Hotel was identified in Cairns in Pugh's Almanac and the publican was G. Bardon. By 1904, the publican was M. Tyrell and in 1910 the publican was identified as L Blundell; however a photograph dated 1916 identified the building as 'Tyrell's Railway Hotel'. By 1917 M Brown was publican of the Railway Hotel and in 1921 and 1926, the publican was identified as Mrs Kate Brown. From the early 1920s to the mid 1930s, the hotel was known as Brown's Railway Hotel and Kate Brown ran a boarding house for workers on the Cairns / Mulgrave Tramway.

The hotel was rebuilt on its original site in 1937. The existing foundation stone states the following:

'This stone was laid on behalf of P.J. Doyle Pty Ltd by Mrs A Maesmore-Morris on 27 October 1937. Builders T.B. O'Meara and Sons. Architect: E.R. Orchard Esq.'

Orchard was an established Sydney North Shore architect who is credited with designing the earliest Californian Bungalow-influenced houses in New South Wales between 1913 and 1915. He relocated to Mareeba during the Depression and was involved in the tobacco industry until 1933, when he established an architectural practice in Cairns.

He registered with the Queensland Chapter of the Royal Society of Architects in 1936. Orchard's other projects in the Cairns region included St David's Anglican Church at Mossman, motor showrooms and a hotel in Atherton, the Tinaroo Dam lookout shelter, the Great Northern Hotel at Mareeba, the remodelling of the Courthouse Hotel, Cairns, the Railway Hotel, Cairns and the Australian Hotel in Mackay. Much of his north Queensland work was influenced by the work of Dutch-born modernist architect Willem Marinus Dudok, whose use of dramatic massing, asymmetry, and overhanging eaves achieved international recognition and influence in the 1920s and 1930s. Orchard returned to live in Sydney in 1963 and died within a week aged 72.

Between 1939 and 1950, a number of indentures for the hotel were prepared and the common party in the documents was the Northern Australian Breweries.

The hotel became well known for establishing the 'five o'clock pot', when every customer was served a full pint of beer for sixpence.

Sometime after 2010 the hotels appearance was transformed by the removal of the unusual upper level gablets over the verandah and the replacement of the fibro sheeting to the verandahs.

This made the building appear somewhat similar to the other hotels in the area and in doing so has removed some of its own identity.


Description	
Physical Description	<p>A two-storey concrete building with a double-storey verandah wrapping around both street frontages. The timber-framed verandah has square timber posts with concrete bases and a simple balustrade at first floor level comprising square vertical balusters. The building has limited ornamentation, but this includes a simple rendered parapet with raised name panels reading 'RAILWAY HOTEL' on both frontages and a rendered dado moulding extending across both facades at ground floor level.</p> <p>On the McLeod Street elevation at ground floor level, the majority of original doors and windows have been retained and comprise timber-framed casements with highlights and pairs of glazed doors all featuring decorative diamond-shaped panes and dimpled glass. The window and door openings to the Shields Street elevation at ground floor level have been modified and enlarged and include a large recess at the eastern end for an ATM. At first floor level, the building has retained original French doors with highlights opening on to the verandah. Timber-framed casement windows with hoods have also been retained on the rear elevation.</p> <p>Sometime in the recent past (post January 2010) a lot of original features have been removed from the upper level of the building including tall gablets over the verandah roof, the material of the verandah roof and what appeared to be fibro infill's on the verandah as well as paired posts and verandah brackets.</p>
Images	

Table SC6.13.3.7.ao– Statement of cultural significance – Former Federal Hotel

Site Details	
Site Name	Former Federal Hotel
Alternative Name	
Location	
Address	42-44 Spence Street, Cairns City
Lot/Plan	Lot 8 on SP109765
Coordinates	Easting 369631.6 Northing: 8128385.7
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	<p>The former Federal Hotel is of local significance as a hotel of the 1930s in the manner of a number of new hotels erected from the mid 1920s in concrete. The building contributes to the streetscape of Cairns by its size and form and like a number of other hotels in Cairns, takes up a prominent corner in the city grid.</p> <p>There is a great commonality between these central hotels being as they are all concrete, designed by just a small number of architects, and all of much the same scale and form. By their commonality they come to define the hotel architecture of North Queensland and the Cairns region in particular.</p>

History

Historical Context

It is believed that the current building is built on the site of an earlier timber Federal Hotel. The Federal Hotel was a double-storey building on the corner of Spence and Grafton Streets, which was referred to in Pugh's Almanac of 1904.

This timber building was partially wrecked by a cyclone in 1927 and then destroyed by a fire on 4th November 1935.

The current concrete building was designed by architects Hill and Taylor and tenders were called on 4 February 1936 as "hotel and shops" to replace the earlier Hotel. The building was constructed for F & J Mellick. The new structure was known as O'Briens Federal Hotel. By the 1950s it was not identified on tourist maps as a hotel.

A photograph dated 1950 shows the existing building with signage reading 'ARCADIA RESIDENTIAL' across the first floor balustrade and 'FURNITURE DEALERS AND COMMISSION AGENTS' at ground floor level. A note on the photograph says it was renamed the Heatherview Boarding House.

In 1977, it was referred to as 'Shangri-La Shops.' A photograph of the building in 1986 showed a faded, painted sign on the first floor verandah balustrade reading 'SHANGRI-LA'. At ground floor level, the corner shop was a 'BARGAIN CENTRE' next to this on the Grafton Street frontage was a 'LAUNDROMAT' and next to this was 'SCHWARZWALD INN'.

The majority of the building is currently occupied by an Asian style restaurant known as 'BANANA LEAF' within the corner shop, flanked by a hairdresser on the Grafton Street frontage and a recruitment agency.

Description

Physical Description

A two storey concrete hotel building with wide verandahs over the footpath, with a skillion upper roof to the verandah which contained four roof gablets expressed at the verandah roof edge but which are now no longer part of the roofscape.

The paired support posts also once had decorative bracing but by the 1980s this was also absent.

Much of the upper level is intact as is the parapet line.

The upper verandah panels and valance (possibly originally filled with fibro) has been redecorated with Victorian period cast panels and on the valance; with lattice work.

The lower windows have also been transformed to large areas of glass and the footpath has been lifted outside the building although it is unclear why this was necessary.

Images






Table SC6.13.3.7.ap– Statement of cultural significance – Tribal Backpacker

Site Details	
Site Name	Tribal Backpacker
Alternative Name	
Location	
Address	20 Shields Street, Cairns City
Lot/Plan	Lot 2 on RP707370
Coordinates	Easting 369640.1 Northing: 8128711.7
Heritage Boundary	All of the building and the title land
Cultural Heritage Significance	
Criterion A	The building, constructed as commercial premises in c.1930, is of local historic significance for its contribution to the historic streetscape of Shields Street. The building is one of many complete in reinforced concrete as required via the building by-laws of 1926.
History	
Historical Context	<p>These commercial premises were constructed by 1934, when it was advertised that Nolan's Radio Service was located at 20 Shields Street.</p> <p>By 1946, Bruce Small Pty Ltd, who sold bicycles, had premises at this address. The same company was still in residence in 1952 when they advertised as agents for Vespa scooters.</p>
Description	
Physical Description	Two storey rendered - concrete building built to footpath alignment now in a pedestrian area.
Images	

Table SC6.13.3.7.aq– Statement of cultural significance – Victor Mellick’s Menswear

Site Details	
Site Name	Victor Mellick’s Menswear
Alternative Name	
Location	
Address	105-105A Abbott Street, Cairns City
Lot/Plan	Lot 5 on RP709877
Coordinates	Easting 369742.8 Northing: 8128666.7
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building is of historic significance at the local level as a relatively intact commercial building from the mid 1920s which contributes to the historic streetscape of Abbott Street. While its art deco appearance is somewhat underplayed, it never the less is part of a small number (but never the less apparent group) of such buildings to be found in the commercial areas of inner Cairns.
Criterion H	The building is of interest for its connections with the Mellick Family, originally from Lebanon, who were prominent in the commercial development of Cairns, Innisfail and other North Queensland towns in the early to mid twentieth century.
History	
Historical Context	<p>Alec Mellick established Mellick’s clothing shop (originally referred to as a mercers) in Mossman in 1924. He relocated the business to Cairns in the 1930s. Alec’s son Victor took over the business, which specialises in men’s clothing, in the 1960s.</p> <p>Another shop at 28-30 Abbott Street still has the painted name 'Ben Mellick' on the shopfront and appears to date from the early twentieth century. N & A Mellick, drapers, milliners and fancy goods was located on Abbott Street opposite the Cairns Post building in 1909. It is unknown if these Mellick’s were related to Alec Mellick. Other prominent Mellick’s in the Cairns business community include Frederick Mellick and his brother James who came to Cairns from Mt Lebanon in 1921. They began cane growing in Innisfail, then carried on the business of drapers in Mossman and Tully. The brothers then settled in Cairns and owned a number of hotels in North Queensland. There are other Mellick stores still to be found in Innisfail.</p> <p>The first building was built for Mr S Mellick and a tender notice for shops and a dwelling in reinforced concrete was taken out in the Cairns Post on 22nd January 1925 by architects Lawrence and Lordan. Subsequently the land was purchased by R. H. Kelly in the mid 1930s who set about modernising the shops and engaged architects Hill and Taylor to design a new building in mid 1937. The works were completed and the new store opened in December 1938. A newspaper article identified the store as being ventilated by passive means through the central clerestory visible on the roof today. The interior was to have 5000 square feet at ground level and 2500 sq ft at the upper level.</p> <p>In the period since, the upper floor has been closed off and two shops have been operating independently at ground level. The shop fronts have been modernised to have larger shop windows, doing away with what would have been metal framed windows with tiled stall boards. The present day shop fronts are similar but of a lesser quality than would have been found in the original shopfront.</p>
Description	
Physical Description	A two storey building in reinforced concrete with an Art Deco styling to the façade. The body of the building is simply one long rectangle of floor space enclosed by reinforced concrete walls stretching to the rear of the site. The roof is one long hipped roof arrangement with a central hipped clerestory section acting as a ventilator.



	<p>The façade has a stepped parapet with stepped pilasters and metal windows in vertical format fitted between the pilasters such that the whole composition is simple arrangement of vertical and horizontal components.</p> <p>A ground level there are two shops, each having been modernised probably in the 1970s or 1980s. Both shop fronts are identical although one has had the timber trimming painted black.</p>
<p>Images</p>	

SC6.13.3.8 Cairns North

Table SC6.13.3.8.a– Statement of cultural significance – Castle Holiday Flats


Site Details	
Site Name	Castle Holiday Flats
Alternative Name	
Location	
Address	209 Lake Street, Cairns North
Lot/Plan	Lot 55 on C1987
Coordinates	Easting 368904.2 Northing: 8129458.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The building is of historic significance at the local level as flats built c.late 1940 - 50s, probably to take advantage of growing tourism boom in Cairns in the post war years as the population of Baby Boomer families started to put pressure on housing and tourism infrastructure.
History	
Historical Context	<p>An advertisement in the 'To Let and Wanted' column of the Cairns Post in 1936 read:</p> <p>'Exclusively furnished flat, ideal position, cool and private, 209 Lake Street.'</p> <p>The building was most likely purpose-built as flats in the 1930-40s.</p> <p>The crenellated parapets were probably added at a much later date, giving the building a castle-like appearance and an easily identifiable image for promoting the building as holiday flats.</p>
Description	
Physical Description	<p>A two storey block of 4 apartments (2 up 2 down) in something of a late appearance Art deco style. The building is symmetrical in two prominent block form fronts with a flat (concrete) roof over the frontage and a larger single form hipped roof section over the body of the building.</p> <p>The formal entries are in the area between the flanking blocks are approached by a concrete central stair which waterfalls to the street frontage. The flanking blocks are edged by concrete cast blocks giving the building an appearance of being quoined along the parapets of the frontage.</p> <p>(French) Doors and windows are in glazed squares.</p> <p>The interior has been broken down into a number of varied sized flats.</p>
Images	

Table SC6.13.3.8.b– Statement of cultural significance – Cracker Box Palace


Site Details	
Site Name	Cracker Box Palace
Alternative Name	
Location	
Address	228 Sheridan Street, Cairns North
Lot/Plan	Lot 6 on RP701236
Coordinates	Easting 368311.3 Northing: 8129864.9
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion E	The building is of aesthetic significance at the local level as a stand-alone Art Deco style building built as a shop with residence above and one which is reasonably intact in its architectural intent.
History	
Historical Context	Built c. mid 1930s, originally Martyn's general store (see vertical letters on façade), with residence on the first floor. A restaurant later opened in the building (the Avocado) before it was acquired by the current owners, who sell second hand furniture/bric-a-brac and clothing etc on the ground floor and live in the residence above.
Description	
Physical Description	<p>A two storey timber frame building built to the footpath alignment with an awning over the footpath.</p> <p>Symmetrical 1930s façade, it probably had a pair of symmetrically arranged shop windows with leaded glasswork and a central entry. This has been replaced by a timber framed multi-paned glass screen with a slightly offset entry.</p> <p>The building is two storeys with a timber frame and overlaid with fibro cement.</p>
Images	

Table SC6.13.3.8.c– Statement of cultural significance – House – 261-263 Esplanade, Cairns North

Site Details	
Site Name	House
Alternative Name	
Location	
Address	261-263 Esplanade, Cairns North
Lot/Plan	Lot 1–3 on RP709535
Coordinates	Easting 368311.6 Northing: 8130343.9
Heritage Boundary	The house and its title land
Cultural Heritage Significance	
Criterion E	The place has aesthetic significance at the local level as a competently architect-designed house employing Queensland building traditions. The house is centrally located on a particularly wide lot and the space around the building and its intact front fence contributes to its aesthetic significance.
History	
Historical Context	<p>It is has been proposed that this house was designed by the architect Eddie Orchard in the late 1930s and if it is a house by Orchard it would not be earlier than 1933. According to a monograph by Sydney architect Ian Stapleton, the house was designed for a person named Conroy although the land title carries the name of Mrs M Draper.</p> <p>Orchard was an established Sydney North Shore architect who is credited with designing the earliest Californian Bungalow-influenced houses in New South Wales between 1913 and 1915. He relocated to Mareeba during the Depression and was involved in the tobacco industry until 1933, when he established an architectural practice in Cairns. He advertised in the Cairns Post on 1933 stating over 20 years experience in Sydney and that he was a 'Specialist in Modern Flats and Homes.'</p> <p>In October 1938, tenders were invited by Orchard for 'the erection of large residence in concrete and timber on the Esplanade, Cairns.' This tender notice may have been for this house, or it could have been for the house known as 'Floriana' at 183 The Esplanade, which was designed by Orchard and built in 1939.</p> <p>Orchard registered with the Queensland Chapter of the Royal Society of Architects in 1936. Orchard's other projects in the Cairns region included St David's Anglican Church at Mossman, motor showrooms and a hotel in Atherton, the Tinaroo Dam lookout shelter, the Great Northern Hotel at Mareeba, the remodelling of the Courthouse Hotel, Cairns, the Railway Hotel, Cairns and the Australian Hotel in Mackay. Much of his north Queensland work was influenced by the work of Dutch-born modernist architect Willem Marinus Dudok, whose use of dramatic massing, asymmetry, and overhanging eaves achieved international recognition and influence in the 1920s and 1930s. Orchard returned to live in Sydney in 1963 and died within a week aged 72.</p>
Description	
Physical Description	<p>A large single-storey concrete house with a hipped roof featuring half-timbered and ventilating gables. Deep verandah's wrap around the front of the house and feature timber balustrades with Art Nouveau-style cut-outs. Timber louver's and lattice doors enclose the remainder of the verandah's. Timber-framed casement windows with horizontal hoods are located on the side elevations.</p> <p>The place includes a concrete and metal fence which appears to date from the same period as the house.</p>



Table SC6.13.3.8.d– Statement of cultural significance – Floriana Flats – 187-189 Esplanade, Cairns North

Site Details	
Site Name	Floriana Flats
Alternative Name	
Location	
Address	187-189 Esplanade, Cairns North
Lot/Plan	SP196698
Coordinates	Easting 368675.4 Northing: 8129923.9
Heritage Boundary	All of the Spanish style building and title land.
Cultural Heritage Significance	
Criterion A	<p>Floriana, a two-storey purpose built set of flats in the Spanish Mission style, is of local architectural and aesthetic significance as a near intact composition by well known Cairns architect Edwin Orchard. Buildings in the Spanish style are a rarity in the surviving building stock of the region, and made more unusual by the use of concrete as a primary construction material.</p> <p>Completed around October 1934, the flats were immediately taken up by tenants. The design was praised in the Cairns Post as being part of the modernisation of the Cairns building stock and much sought after as contemporary accommodation by the Cairns public.</p>
Criterion B	<p>The construction of the Floriana Flats was undertaken as an early commission for Maltese migrant Paul Zammit and his family. The Zammit's were one of the most successful migrant families in the region and their work extended beyond their immediate business dealings which continued to be successful but also into other works which assisted their countrymen to migrate to Australia and into charitable works for the Catholic Church. This even included the establishment of a small church for the community in Bartle Frere, a locality south of Babinda. Paul was recognized for his work with the Church by an award of the Bene Merenti Medal by Pope Pius XXII in 1948, the year after the church in Bartle Frere opened.</p> <p>Paul Zammit died in 1959 by which time he had financed several properties and</p>

	<p>constructed several tourist hotels in Cairns as well as assisted migrants and even sponsored Father John Camilleri to study in Italy in the 1950s before he returned to Cairns to serve the church for the next forty years.</p>
<p>History</p>	
<p>Historical Context</p>	<p>Floriana Flats at 187-189 The Esplanade, Cairns was designed for and owned by Maltese migrants Paul and Paulina Zammit and their family. The two-storey concrete structure was constructed in 1934 as a set of Spanish Mission-style flats by the Cairns architect, Edwin Orchard.</p> <p>Paul Zammit migrated to Australia in 1912 ahead of his wife. He arrived in Melbourne in April and travelled on to Sydney before heading to north Queensland, where he worked in the Chillagoe mines and then cutting cane near the coast, before settling in Moolaba near Bartle Frere around 1919. Paulina Zammit had arrived in Queensland by December 1913, with the couple's first child. Over the following 20 years they had nine more children, all born in Queensland. The Post Office Directories list the Zammit's as farmers at Moolaba (later known as Pawgilly) from 1919, and nearby Bartle Frere from 1927. Once established in Queensland Zammit used his growing prosperity to support numerous migrants from Italy and Malta, either through sponsorship or provision of various forms of assistance. From 1919 to 1929 just over 3000 Maltese men immigrated to Australia.</p> <p>In the 1930s Paul Zammit had begun investing in residential property in Cairns, although the family was still resident on their Bartle Frere cane farm. In December 1932 two parcels of land at 183 and 185 The Esplanade (which included the site of the later Floriana house) were transferred to Paulina Zammit. These blocks were located on one of Cairns' premier streets, overlooking Trinity Inlet.</p> <p>In 1934 they had Floriana Flats constructed. In mid-1935 they acquired 67 The Esplanade (later the site of the Continental Hotel, which Zammit also built). They also acquired another block of flats on The Esplanade in about 1935 (later known as Hayles Flats but no longer extant). In October 1938 Orchard completed plans for a city residence for the Zammit family, which was to be built at 183 The Esplanade, adjacent to the c1934 flats. Orchard was an established Sydney North Shore architect who is credited with designing the earliest Californian Bungalow-influenced houses in New South Wales between 1913 and 1915 (three of his Sydney designs have been entered in the New South Wales Heritage Register).</p> <p>He registered with the Queensland Chapter of the Royal Society of Architects in 1936. Orchard's other projects in the Cairns region included: Tobruk Memorial Pool (in partnership with Jack McElroy), St David's Anglican Church at Mossman, motor showrooms and a hotel in Atherton, the Tinaroo Dam lookout shelter, the Great Northern Hotel at Mareeba, the remodelling of the Courthouse Hotel in Cairns, and the Australian Hotel in Mackay. Much of his north Queensland work was influenced by the work of Dutch-born modernist architect Willem Marinus Dudok, whose use of dramatic massing, asymmetry, and overhanging eaves achieved international recognition and influence in the 1920s and 1930s. Orchard returned to live in Sydney in 1963 and died within a week aged 72.</p> <p>Paul Zammit died in 1959, family sources attesting to the fact that he had achieved great success in business and engaged in much community work while being unable to write or read English and being only a tentative speaker of it. Ten years later Paulina transferred Floriana (their house) and the adjacent Spanish Mission flats to their son Salvatore and his wife Jean. She died in December 1979. Salvatore Zammit and his family lived in Floriana until 1981. In March 1982 the house and the adjacent flats passed out of the Zammit family and were converted into the Floriana Guesthouse and Hotel, offering a total of 24 guest rooms. In December 2006 an expensive and extensive renovation was completed, transforming the former Spanish Mission flats from a budget hotel to an upmarket Mediterranean-style complex with one and two bedroom villas and a pool, which were marketed as Floriana Villas. The original Floriana, known as Floriana Guesthouse, retains the early 1980s layout and currently comprises 10 ensuite rooms and self-contained bed sits.</p>


Description	
Physical Description	<p>Located on the Cairns Esplanade facing east towards parkland and ocean views stands Floriana Flats adjacent to the house known as Floriana, a large, double-storey former family house of the interwar period. Both buildings have been converted into multiple-residency holiday accommodation.</p> <p>The house is constructed in the "Spanish" style with an arcading and stepped parapet although in reality these are cursory inclusions of the Spanish style. The central and somewhat steep steps are of the period and also relevant to the style. The present roof is all metal whereas the style would normally have a tiled roof and the change may be a result of the cyclonic climes of the area.</p> <p>Without original drawings or photographs it is difficult to determine what original elements have been removed or altered. The doors on the upper balconies do not appear to be original and the lower flats with corrugated iron canopies on the front façade also appear to be changes made in more recent years.</p> <p>The front fence is of recent construction and is not considered significant.</p>
Images	

Table SC6.13.3.8.e – Statement of cultural significance – Tobruk Pool

Site Details	
Site Name	Tobruk Pool
Alternative Name	
Location	
Address	358-368 Sheridan Street, Cairns North
Lot/Plan	Lot 317 on NR7749
Coordinates	Easting 367748.3 Northing: 8130839.2
Heritage Boundary	All of the original entry building and the land of the original pool complex west of the original tennis court line
Cultural Heritage Significance	
Criterion D	The Tobruk Pool is significant at the local level as a swimming pool complex built between 1960 and 1962, commemorating the contribution of the Rats of Tobruk during WWII and recognising increasing public interest in recreational and competitive swimming following the 1956 Melbourne Olympics.
Criterion E	The Tobruk Pool is a well-resolved and attractive complex of structures designed by the architects Edwin Orchard and Jack McElroy.
History	
Historical Context	In 1956, the Rats of Tobruk Association wrote a letter to the Cairns Council advising that they wanted to assist in the construction of an Olympic-sized swimming pool to perpetuate the memory of those who fell in the siege of Tobruk.

During the World War Two, Tobruk was one of only two major ports on the African coast between Tripoli and Alexandria. The Australian 6th Division captured the Italian garrison at Tobruk in January 1941. The Australian 9th Division, who were newly arrived and only partly trained, were then instructed to defend the captured territory. German troops arrived in Libya to reinforce their Italian allies and launched an offensive on the Commonwealth forces, who began to retreat towards Egypt. The defence of Tobruk was critical to deny its port facilities to the Germans, and delay their advance on the Egyptian front. In April 1941, the Germans encircled the Libyan port, beginning "the siege of Tobruk". The 9th Division successfully repelled two major German attacks, until they were eventually relieved by British, Polish and Czechoslovakian troops in September and October 1941. The defence of Tobruk resulted in 749 Australian deaths, and another 604 became prisoners of war.

In response to the letter from the Rats of Tobruk Association, the Council formed a committee to organise a public appeal for the swimming pool and work commenced in 1960. The pool cost £85,000, with £3,000 contributed by the Rats of Tobruk Association. The pool was officially opened by Mayor Chataway on 24 March 1962. Before the opening ceremony, the St Andrews Pipe Band and the Cairns Municipal Band marched 35 veterans of the Siege of Tobruk on to the pool grounds. The foundation stone does not identify an architect, but does acknowledge the City Engineer as G.A. Haussmann.

Edwin Orchard and Jack McElroy have been identified as the architects responsible for the design of the Tobruk Pool.

Orchard was an established Sydney North Shore architect who is credited with designing the earliest Californian Bungalow-influenced houses in New South Wales between 1913 and 1915. He relocated to Mareeba during the Depression and was involved in the tobacco industry until 1933, when he established an architectural practice in Cairns.

He registered with the Queensland Chapter of the Royal Society of Architects in 1936. Orchard's other projects in the Cairns region included St David's Anglican Church at Mossman, motor showrooms and a hotel in Atherton, the Tinaroo Dam lookout shelter, the Great Northern Hotel at Mareeba, the remodelling of the Courthouse Hotel, Cairns, the Railway Hotel, Cairns and the Australian Hotel in Mackay. Much of his north Queensland work was influenced by the work of Dutch-born modernist architect Willem Marinus Dudok, whose use of dramatic massing, asymmetry, and overhanging eaves achieved international recognition and influence in the 1920s and 1930s. Orchard returned to live in Sydney in 1963 and died within a week aged 72.

The original complex of the Tobruk Pool comprised the main 50 metre pool (165 x 60 ft), a children's pool (60 x 30 ft) and a circular wading pool (30 ft diameter). The laying out of the grounds allowed a diving pool and a managers residence to be added when finances became available. The Cairns Amateur Swimming Club offered £3-4,000 for the construction of an office and seating accommodation, which were proposed for construction in 1962-63.

The construction of the swimming pool reflects the increased interest in recreational and competitive swimming following the 1956 Melbourne Olympics, and is evident in the provision of an Olympic-sized pool. The swimming pool also provided a safer venue than local rivers and the ocean, particularly when stingers and jellyfish threaten swimmers.

The swimming pool is also an example of a functional war memorial. In contrast with the purely symbolic war memorials which followed World War One, war memorials which were combined with a use, commonly public buildings, were more prevalent after the Second World War. Another Tobruk Memorial Pool was built in Townsville in 1951. The Siege of Tobruk symbolised the brave and vital role played by the Australians in North Africa during World War Two. The naming of the Tobruk Memorial Pool both remembers those who fell and pays tribute to the Australian spirit.


Description	
Physical Description	<p>The swimming pool complex comprises the entrance building, the 50m pool, a later grandstand some children's pools and a number of sheds and trees.</p> <p>The focus of the significance of the site is the entry building and while the 50m pool is of some significance as part of the original complex, it is typical of the pools erected in Australia to Olympic standards following the Melbourne 1956 Olympics.</p> <p>The entry building is an interesting composition one would expect of 1950s futurist modern architecture although erected in 1962. It features a composition of building blocks roughly equivalent to functions, completed in brickwork with face variations. A coloured concrete tower section (in vertical black and white stripes) adjacent to the entry both marks it out and acts as a clock tower albeit with a rather ordinary clock rather than a purpose made one. The whole is in a composition reminiscent of the Dutch modernists such as Dudok in the 1930s.</p> <p>To the rear is the 50m swimming pool and a grandstand with cantilever roof.</p>
Images	

Table SC6.13.3.8.f– Statement of cultural significance – Visitor Information Centre and Book Office – 100 Abbott Street, Cairns

Site Details	
Site Name	Visitor Information Centre and Booking Office
Alternative Name	
Location	
Address	100 Abbott Street, Cairns City
Lot/Plan	Lot 1 on CP198158
Coordinates	Easting 369471.3 Northing: 8129116.3
Heritage Boundary	All of the building and title land.
Cultural Heritage Significance	
Criterion A	The building is of historical significance at the local level as a residence from the post war period which has been adapted for new uses as the character of this section of Abbott Street has changed from residential to commercial, demonstrating the growth and development of Cairns.
Criterion B	The building is of aesthetic interest as a well-resolved architect designed corner residence dated to 1951 and which features in a number of booklets from the 1950s-60s as an "up to date residence" in Cairns.
Criterion C	The building is of interest as a former residence of Fred Mellick a member of the Mellick Family, originally from Lebanon, who were prominent in the commercial development of Cairns in the early to mid twentieth century.

History

Historical Context

The tender notice for the erection of this house was in the Cairns Post of March 1951. Edwin Orchard was the architect and the advertisement identified the client as Mr. F. Mellick, the project as "a brick house" and the location as Abbott Street. In 1954, the funeral notice for Fuad Selim (Frederick) Mellick advised that he and his wife Alma had resided at 100 Abbott Street. Frederick Mellick was a well known member of the Cairns business community. He came to Cairns with his brother James from Mt Lebanon in 1921. They began cane growing in Innisfail, then carried on the business of drapers in Mossman and Tully. The brothers then settled in Cairns and owned a number of hotels in North Queensland.

The building also appeared in a booklet of 1954 celebrating the achievements of the Shire of Mulgrave, noting it as an up to date house in Cairns. At that time the under-house area was open and not filled in as it is today. Stylistically the buildings of the 1950s not the 1930s although it incorporates some of the 1930s Mediterranean styling.

The building is now a visitor information centre and booking office for tourist activities.

Description

Physical Description

The basement or undercroft has been infilled at a later date with aluminium-framed sliding doors and windows and brick. Canvas awnings have been added to the Abbott Street frontage in recent years, along with a low-set single-storey addition with a metal skillion roof on the east (rear) elevation.

A high-set red brick house with a terracotta-tiled roof. The undercroft of the house has been infilled at a later date, effectively making it a two-storey building. The main entrance to the house is on the Abbott Street frontage, and is accessed via a set of brick and concrete stairs with a decorative steel balustrade up to an arched porch, recessed within the front elevation. To the right of the porch is a slightly projecting bay window with a pair of timber-framed casements and a horizontal hood. The gabled roof above features deep eaves. A central projecting bay on the Florence Street frontage has an intersecting gabled roof with similar eaves. This bay features a balcony recessed behind three round-arched openings. A steel balustrade extends in front of the arches and similar security grills infill the arches.

Two less visible bays on the southern elevation of the house are covered with hipped roofs and the windows are generally timber-framed casements. An unusual fence, which may also date from the 1930s, extends in front of parts of the Florence and Abbott Street frontages and features round concrete piers with spherical caps. Steel pipe and mesh extends between the piers.


Images



SC6.13.3.9 Caravonica

Table SC6.13.3.9.a– Statement of cultural significance – Marino Barracks

Site Details	
Site Name	Marino Barracks
Alternative Name	
Location	
Address	Brinsmead - Kamerunga Road, Caravonica
Lot/Plan	Lot 57 on C157314
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	All of the building and a distance of 10m around it as a buffer zone
Cultural Heritage Significance	
Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic.</p> <p>Accommodation was placed close to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p>
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up</p>

	<p>their own small-holdings.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Set back approximately 50 metres from the Cairns Western Arterial Road, near a tramline and the old Smithfield town site which is west at the end of Redford Road.</p> <p>The barracks are L-shaped and comprise five bedrooms. The building is clad with corrugated iron, including a balustrade to the verandah. A skillion addition contains a bathroom and laundry. The building also has a thin concrete slab, which was poured over the original dirt floor after the construction of the timber-framed building.</p>
<p>Images</p>	

SC6.13.3.10 Edmonton

Table SC6.13.3.10.a– Statement of cultural significance – B Block Hambledon State School

Site Details	
Site Name	B Block, Hambledon State School
Alternative Name	
Location	
Address	77-81 Stokes Street, Edmonton
Lot/Plan	Lot 230 on CP886735
Coordinates	Easting 365516.2 Northing: 8117535.0
Cultural Heritage Significance	
Criterion A	The buildings long history and evolution from small single room school to its present incorporation into a double storey building with two class rooms and attached office is of historical significance in relating the growing and changing needs of what was simply a locality through a period when the township started to evolve into what is now part of a larger conurbation spreading along the coast south from Cairns. The fact that the building is now an almost outmoded part of the present day school is of interest in that it portrays how the education needs of the community have evolved from a simple one room into a complex of buildings and shaded play areas.
History	
Historical Context	<p>The Hambledon State School was formerly the Blackfellow's Creek School. It was established as a provisional school on the northern side of Blackfellow's Creek in 1887 for the children of cedar cutters, gold miners and people working on the sugar plantation and at the Hambledon Sugar Mill established by Tom Swallow in 1881. In 1889, the average school attendance was 20 pupils and this included children of European, Chinese, Melanesian, Javanese and Japanese descent.</p> <p>This school building was built in 1903 by Campbell Brothers at a cost of £647. Financial assistance was provided by CSR, who had purchased the Hambledon Plantation in 1897. A residence for the school teacher was also built. The Cairns Morning Post reported in February 1903:</p> <p>"Campbell Bros. will start work as soon as the site of the new building has been decided upon. At present they are in a quandary owing to the receipt of the following brilliant letter from the Works Department: "You can proceed at once to place all your materials on the site pending the decision as to where the site will be fixed."</p> <p>The c.1902 architectural drawing for the building shows it as comprising one school room measuring 18 x 28 feet, with an 8 foot wide verandah extending along one long side. A flight of six steps provided access up to this verandah. A photograph from 1905 shows how the rear of the school room was sheltered by the gabled roof to provide a shaded external area at ground level (also referred to as a deep awning).</p> <p>In April 1909 the Department of Public Instruction informed the Cairns Shire Council that the Minister had approved the removal of the State School at Blackfellow's Creek to a site midway between Hambledon Mill and Hambledon Junction.</p> <p>The school was relocated in 1910 to land donated by CSR. The name of the school was changed to Hambledon State School at the same time.</p> <p>In 1917, an increase in population required the schoolroom, verandah and awning to be extended by 21 feet, making the total length of the building 49 feet. The front steps were shifted to the new central location at this time and a note on the Public Works drawing includes the following note:</p> <p>"Gable wall, including verandah boarding and awning spandrel to be taken down from position A and re-erected at B."</p>


	<p>A photograph of the building after the 1956 cyclone, showing how much of the roof sheeting had been removed, also shows that the current office addition, with a hipped roof and casement windows covered by timber-framed awnings, had been added to the original building by this time.</p> <p>In 1995, the Education Department proposed the demolition or removal of the school building from its site. The Friends of the Blackfellow's Creek School was formed to try and save the building. In January 1996, it was reported that: "An understanding has been given that the building will be handed over to the community, provided that it is moved at no cost to the Education Department and that it is relocated by the beginning of the 1996 school year."</p> <p>The Friends of the Blackfellow's Creek School successfully raised sufficient funds to relocate the school building to its present site, which is still on school grounds but separate from the current classrooms. The 1903 school building is currently used for after school care and community activities.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A high-set timber-framed building, raised on steel columns and clad with weatherboards. The main gabled roof is clad with painted corrugated iron, as is the hipped roof over an office addition and roofs over the verandah's and stairs. The verandah along the north-eastern (long) side of the building is covered by the main roof and includes later metal cladding to the balustrade, timber slats above and louvered windows at the northern end. The verandah along the south eastern (short) side of the building has a hipped roof extending from the gabled end of the main building and a timber balustrade. Two external steel-framed stairs provide access to each of these verandah's.</p> <p>The windows to the office addition are timber-framed casements with high lights and shaded by timber-framed awnings clad with corrugated iron. Louvered windows separate the classrooms from the verandah's and the windows to the rear (south-western) elevation are timber-framed with high level louvres.</p>
<p>Images</p>	

Table SC6.13.3.10.b – Statement of cultural significance – Bentley Park House

<p>Site Details</p>	
<p>Site Name</p>	<p>Bentley Park House</p>
<p>Alternative Name</p>	
<p>Location</p>	
<p>Address</p>	<p>Bruce Highway, Edmonton</p>
<p>Lot/Plan</p>	<p>Lot 1 on RP711173</p>
<p>Coordinates</p>	<p>Easting 366420.2 Northing: 8118733.7</p>
<p>Heritage Boundary</p>	<p>All of the house its immediate surrounds within the current chain mesh fence</p>


Cultural Heritage Significance	
Criterion A	<p>The two storey Bentley Park house is of local significance as a long standing site associated with the development of the area. Originally owned by Isaac Hartill, the house became home to a number of well to do families and increasingly became the centre of social activities in the area of the developing township of Edmonton (nee Hambledon). The house was at one time owned by a Cairns Councillor Mr. Charles Butler and occupied during the Second World War by General Macarthur during stays in Cairns. The house as seen today is just a small portion of what was once "Bentley Park Farm".</p>
History	
Historical Context	<p>Isaac Abraham Hartill came to the Cairns region from the Hodgkinson Gold fields and eventually took up land in the Hambledon area in the later part of the 1880's. He named the property 'Bentley Park' after his family's property, 'Bentley Hall' in England. The original house has not survived. The present house was built in 1913 for Isaac Hartill's sister Mary Ann Butler.</p> <p>From 1896, when the train came through, Isaac Hartill took advantage of his location and placed a large sign in front of his house which said 'Butcher, Dairyman and Grocer'. He would greet the train dressed according to the goods he was selling - wearing a butcher's apron or displaying a large wicker basket filled with mangoes and citrus fruits or displaying a pail of milk and ladle. Hartill Street in Edmonton was named after Isaac Hartill.</p> <p>The earliest newspaper mention found of "Bentley Park Farm" is in 1918 related to the return of Mrs. C Butler's brother from the First World War. After this there are further and slightly more frequent mentions of the Farm as the site of various horse sales, social functions and meetings of committees. In the 1920s the house is mentioned in connection with Councillor Mr. Charles Butler and a number of related functions are noted in the social columns of the paper. In the 1930s the house was owned by Mr. A.L McHardie, but Mr. McHardie sells up in late May 1940 when the contents of the house are sold off by A.J. Draper auctioneer.</p> <p>During the Second World War the house was used by Gen Douglas Macarthur during his stays in Cairns.</p> <p>It is speculative but likely that the house was designed by Harvey Draper, one of the most prolific architects of the fledgling town of Cairns who travelled to Gordonvale and Babinda in pursuit of a number of commissions.</p>
Description	
Physical Description	<p>A two storey timber house with a shallow hipped roof in corrugated metal and north and east facing verandah's on each level. An extension is present to the east of the house.</p> <p>The verandah's are post supported with dowel balusters and no overt detailing.</p> <p>Note this site is difficult to view as it is seen side on from the Bruce Highway.</p>
Images	

Table SC6.13.3.10.c– Statement of cultural significance – Former Edmonton QATC Sub-Centre

Site Details	
Site Name	Former Edmonton QATB Sub-Centre
Alternative Name	
Location	
Address	32 Hartill Street, Edmonton
Lot/Plan	Lot 1 on RP714021
Coordinates	Easting 365985.7 Northing: 8117851.1
Heritage Boundary	All of the building excluding the rear garage and all of the title land and low masonry fence
Cultural Heritage Significance	
Criterion A	The ambulance centre is one of a series of buildings showing the evolution of ambulance buildings in the Cairns Region. One of the oldest is in Cairns, two of roughly the same era can be found in Gordonvale and Edmonton while the most recent is found in Babinda. Between them they give an understanding of the evolution of these buildings architecturally and this building at Edmonton is locally significant as a well designed building and part of an evolution of buildings for the ambulance brigade. This sub-branch was controlled from Cairns.
History	
Historical Context	<p>The foundation stone states that the Edmonton QATB Sub-Centre was opened on the 8 September 1951, the builder was T.B. O'Meara & Sons, and the architect was SG Barnes.</p> <p>Sidney George Barnes was born in New Zealand in 1899 and trained at the Seddon Memorial Technical College. He worked in various Auckland architects' offices before moving to Australia in 1929. He initially worked in Moree, NSW, but was working as an architect in Cairns by 1931. Barnes also designed the Gordonvale Nurses' Quarters (c.1947) and the Babinda Nurses' Quarters (1951-52). From 1953 he was in partnership with E.H. Oribin. Barnes remained in Cairns until his death in 1959.</p> <p>The Edmonton Ambulance Sub-centre was controlled by the Cairns Ambulance centre and Hospital Board.</p>
Description	
Physical Description	<p>The Ambulance Station is a double-storey red brick building with a hipped corrugated iron roof. The front of the building addresses Hartill Street, while the side of the building aligns with Mill Road. The building accommodates ambulance bays, administration and temporary residential accommodation for ambulance officers. Simple gardens with lawn and a low red brick fence surround the building.</p> <p>The asymmetrical front elevation comprises a parapeted gable with decorative brickwork over the section of the building which houses the vehicle openings into the ambulance bays. A painted concrete horizontal band extends across the building at first floor level (above the vehicle bays) and features raised concrete letters spelling out: 'EDMONTON SUBCENTRE.'</p> <p>A projecting vertical brick band extends above the centre of the vehicle bays and supports the raised concrete letters: 'QATB' surmounted by a Maltese cross.</p> <p>Half-glazed, timber-boarded double doors, located on the left hand side of the ambulance bays, form the main entrance into the building. These doors are flanked by narrow louvered windows. Elsewhere, windows were originally multipaned, timber-framed casements or double-hung, with painted concrete sills and lintels, but some of the windows have been modified to take window-mounted air conditioners,</p>

	<p>and later aluminium-framed sliding windows have also been added. Metal roller doors have been installed within the ambulance bay openings, probably replacing earlier timber doors.</p> <p>Other features of the building include horizontal concrete hoods over two first floor windows on the front elevation and a corrugated iron hood over ground floor windows and a side door on the south elevation. A small Juliette balcony with French doors and a metal balustrade is located on the north (side) elevation, while an external timber and metal stair provides access to the first floor of the building from the rear.</p>
<p>Images</p>	

Table SC6.13.3.10.d– Statement of cultural significance – Grafton Hotel

Site Details	
Site Name	Grafton Hotel
Alternative Name	
Location	
Address	139-149 Bruce Highway, Edmonton
Lot/Plan	Lot 2 on RP704063
Coordinates	Easting 366310.8 Northing: 8117991.4
Heritage Boundary	The whole of the hotel and title land
Cultural Heritage Significance	
Criterion A	<p>The hotel is an early building in what was Hambleton Junction (now Edmonton) and one of the earliest surviving hotels in the area. As such it is of local significance due to its contribution to the development of the town and for supplying accommodation for passing travellers on the road from the south in a time when travel was still by horse and buggy.</p>


History	
Historical Context	<p>The town of Edmonton was first called Hambleton Junction, because of its proximity to the Hambleton plantation and mill. The property known as Hambleton was established in 1881 by Thomas H. Swallow. It eventually expanded to a 6000 acre plantation; mainly sugarcane, but also bananas, pineapples and citrus. The town's name was changed to Edmonton in 1911.</p> <p>The Grafton Hotel was built in 1910 by the McLeod family with its opening in October 1910. The hotel was apparently referred to as the 'bottom pub', and it is possible that the nearby Hambleton Hotel across Stokes Street was the 'top pub'. The Grafton Hotel was damaged by a cyclone in 1927, but later repaired.</p>
Description	
Physical Description	<p>A double storey, timber-framed building with hipped corrugated iron roof and a double-storey verandah. The hotel still has early weatherboards and windows on the north (side elevation), but has been substantially altered elsewhere, including corrugated iron cladding to the front, ground floor façade, later metal balustrade to the first floor verandah and a new entrance feature on the south (side) elevation.</p> <p>Photographs of the building in mid 1995 show the building with more of its timber detailing including posts with decorative brackets and the upper verandah filled with a solid verandah and louvres where it was formerly an open verandah.</p>
Images	

Table SC6.13.3.10.e– Statement of cultural significance – House 44, Queen Street

Site Details	
Site Name	House, 44 Queen Street
Alternative Name	
Location	
Address	44 Queen Street, Edmonton
Lot/Plan	Lot 4 on RP719221
Coordinates	Easting 0.0 Northing: 0.0
Cultural Heritage Significance	
Criterion A	<p>The house is significant as one of a group of three houses which are part of the early settlement of Edmonton. A subdivision of this street was advertised as a suitable location for mill workers at the nearby Hambleton Mill. This group of three are probably the earliest houses in this street and stylistically appear to be of the early Interwar period.</p>
History	
Historical Context	<p>The land of which this was but one parcel of a subdivision, had been sold as parcels with 66ft frontages on 8 August 1924 by A.J. Draper auctioneer.</p> <p>A parcel of land was set aside for a church and residence midway down the blocks available on Queen St.</p>


	<p>At the time of subdivision, the Cairns Post carried an advertisement proclaiming that this would be an opportunity for mill and sugar workers to purchase land that was convenient to transport and in proximity of the mill. The upset price was £20.</p> <p>There is no evidence that there were already houses on the land, but nothing precludes houses being shifted to the site.</p>
Description	
Physical Description	<p>A single storey timber house set low to the ground with a corrugated iron hipped roof and a forward gable. The verandah on the lhs of the gable section has been enclosed.</p> <p>Overall the appearance appears to be early Interwar.</p>
Images	

Table SC6.13.3.10.f – Statement of cultural significance – House, 46 Queen Street

Site Details	
Site Name	House, 46 Queen Street
Alternative Name	
Location	
Address	46 Queen Street, Edmonton
Lot/Plan	Lot 3 on RP719221
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	All of the house and its title land
Cultural Heritage Significance	
Criterion A	The house is significant as one of a group of three houses which are part of the early settlement of Edmonton. A subdivision of this street was advertised as a suitable location for mill workers at the nearby Hambledon Mill. This group of three are probably the earliest houses in this street and stylistically appear to be of the early Interwar period.
History	
Historical Context	<p>The land of which this was but one parcel of a subdivision, had been sold as parcels with 66ft frontages on 8 August 1924 by A.J. Draper auctioneer.</p> <p>A parcel of land was set aside for a church and residence midway down the blocks available on Queen St.</p> <p>At the time of subdivision, the Cairns Post carried an advertisement proclaiming that this would be an opportunity for mill and sugar workers to purchase land that was convenient to transport and in proximity of the mill. The upset price was £20.</p> <p>There is no evidence that there were already houses on the land, but nothing precludes houses being shifted to the site.</p>


Description	
Physical Description	<p>A single storey timber house set low to the ground with a corrugated iron hipped roof and a forward gable. The verandah under the gable section has been enclosed.</p> <p>Overall the appearance appears to be early Interwar even possibly as early as 1910 but the central gable appears to be of more recent origin.</p>
Images	

Table SC6.13.3.10.g – Statement of cultural significance – House, 48 Queen Street

Site Details	
Site Name	House, 48 Queen Street
Alternative Name	
Location	
Address	48 Queen Street, Edmonton
Lot/Plan	Lot 2 on RP719221
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	All of the house and its title land
Cultural Heritage Significance	
Criterion A	The house is significant as one of a group of three houses which are part of the early settlement of Edmonton. A subdivision of this street was advertised as a suitable location for mill workers at the nearby Hambleton Mill. This group of three are probably the earliest houses in this street and stylistically appear to be of the early Interwar period.
History	
Historical Context	<p>The land of which this was but one parcel of a subdivision, had been sold as parcels with 66ft frontages on 8 August 1924 by A.J. Draper auctioneer.</p> <p>A parcel of land was set aside for a church and residence midway down the blocks available on Queen St. At the time of subdivision, the Cairns Post carried an advertisement proclaiming that this would be an opportunity for mill and sugar workers to purchase land that was convenient to transport and in proximity of the mill. The upset price was £20.</p> <p>There is no evidence that there were already houses on the land, but nothing precludes houses being shifted to the site.</p>
Description	
Physical Description	A single storey timber house set low to the ground with a corrugated iron hipped roof and a forward gable. The verandah on the lhs of the gable section has been enclosed. Overall the appearance appears to be early Interwar.



Table SC6.13.3.10.h– Statement of cultural significance – St Francis Church, Edmonton - Former

Site Details	
Site Name	St Francis Church, Edmonton – Former
Alternative Name	
Location	
Address	32 Queen Street, Edmonton
Lot/Plan	Lot 12 on RP704099
Coordinates	Easting 0.0 Northing: 0.0
Heritage Boundary	The church building (now residence) and title land
Cultural Heritage Significance	
Criterion A	<p>The building is significant as a small parish church built for the Anglicans in the newly developing township of Edmonton which had been primarily a locality for sugar cane and the Hambledon Mill. The subdivision from which the land was purchased was one of the earliest for closer settlement and placed within easy proximity of the railway stop opposite from which the City of Cairns could easily be reached.</p>
History	
Historical Context	<p>Built as an Anglican Church and opened for service on Christmas morning 1924.</p> <p>The land of which this was but one parcel of a subdivision, had been sold as parcels with 66ft frontages on 8 August 1924 by A.J. Draper auctioneer.</p> <p>A parcel of land was set aside for a church and residence midway down the blocks available on Queen St. The residence was the adjacent block on the south but this is now a modern house.</p> <p>At the time of subdivision, the Cairns Post carried an advertisement proclaiming that this would be an opportunity for mill and sugar workers to purchase land that was convenient to transport and in proximity of the mill. The upset price was £20.</p> <p>In September 1924 the plans for the church were tendered and were available at the Harbour Board office, Mrs C. Butler of Bentley Park, Edmonton and through the Church of England Gordonvale.</p> <p>The design is likely to have been drawn up by an employee of the Harbour Board Mr Harold Hawthorne Hawes who was also a resident of Edmonton at the time. (ref Mulgrave Historical Society).</p> <p>When it was opened it was named St Francis Anglican Church. The date of closure has not been researched.</p>



Description	
Physical Description	<p>A small timber church in the form of a nave and side aisles fronted by a simple gable (i.e. a basilican form). There is a medium height metal bell tower adjacent to the building on the RHS with no bell.</p> <p>The church was established in late 1924 after the area was subdivided alongside and to the east of what was then the Edmonton railway station. At that same time as this church was being tendered for construction, St Johns Church in Cairns was also being tendered along a similar but more substantial layout, being in concrete and with ancillary buildings.</p> <p>The street became Queen St and was a more open area than it is today due to the removal of the station and the widening of the Bruce Highway. The church was opposite the bottom end of the railway station and Townsend Street. A number of early houses were opposite the railway station but the church itself was further to the south.</p>
Images	


Table SC6.13.3.10.i– Statement of cultural significance – The Historic Hambledon Hotel

Site Details	
Site Name	The Historic Hambledon Hotel
Alternative Name	
Location	
Address	127-133 Bruce Highway, Edmonton
Lot/Plan	Lot 15 on SP117280
Coordinates	Easting 366359.3 Northing: 8117849.6
Heritage Boundary	The whole of the hotel building but excluding the bottle shop and all of its title land
Cultural Heritage Significance	
Criterion A	The Hambledon Hotel is of local significance as a long standing structure in what was a fledgling locality of Hambledon Junction when it was erected in 1907. Fire in 1918 led to its repair and rebuilding in 1919. The original building predates the other hotel in this locality (the Grafton Hotel) by half a decade and is of significance as an early place of travellers accommodation on the road from the south in the days of horse and buggy travel.
History	
Historical Context	Edmonton was originally established as a sugar-milling town, being close to sugar plantations and the port facilities at Cairns. The town was first called Hambledon Junction, because of its proximity to the Hambledon plantation and mill, but the Queensland Railways Department changed it to Edmonton in 1911. The property known as Hambledon, was established in 1881 by Thomas H. Swallow. It eventually expanded to a 6000 acre plantation; mainly sugarcane, but also bananas, pineapples and citrus.

	<p>The present Hambledon Hotel was relocated from Cooktown, probably shipped down the coast on a barge. It was the 'Queens Hotel', which had been on the corner of Charlotte and Furneaux Streets (photographed between 1895 and 1900). The building was re-erected in Hambledon Junction by the Maroney family in 1907. It suffered fire damage in 1919, but was repaired or rebuilt before being demolished in 1930 and again rebuilt. The hotel was extensively renovated by the owner Lou Piccone between 1994 and 1999 to include a gaming area, improved bar area, restaurant, TAB facilities, new toilets and a children's play area.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A double-storey, timber-framed building, clad with timber weatherboards and fibrous cement sheets. The hipped, corrugated iron roof extends over the double-storey verandah, which wraps around two sides of the building. The building has a combination of casement and double-hung, timber-framed windows. The 1956 cyclone damaged the building and the balustrade on the verandahs was not replaced and the verandah were subsequently enclosed with fibro and timber louvres. The front timber louvres were replaced by sliding glass windows in the 1970s. Further alterations have been undertaken along the Stokes Street frontage. A large proportion of the ground floor has been altered (possibly several times).</p>
<p>Images</p>	

SC6.13.3.11 Edge Hill

Table SC6.13.3.11.a– Statement of cultural significance – Whitfield Edge Hill Progress Association

Site Details	
Site Name	Whitfield and Edge Hill Progress Association
Alternative Name	
Location	
Address	406 Mayers Street, Edge Hill
Lot/Plan	Lot 5 on RP701462
Coordinates	Easting 366304.0 Northing: 8131117.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The community hall is one of a number of small community centres in Cairns' outlying townships and suburbs each constructed by local community groups for use by the community particularly small user groups which would not afford a larger venue.
Criterion G	The hall has been in use in this format since the 1920s. It is used by the local community for a variety of functions such as childcare and dance. It has been in constant use since construction.
History	
Historical Context	<p>A small plaque on the front of the hall indicates that the building was established in 1923. It is assumed that it was specifically built to house the Whitfield and Edge Hill Progress Association.</p> <p>Progress Associations were commonly formed to provide a united voice for local residents to voice their concerns or aspirations and launch campaigns, sometimes in opposition to the policies, actions or inaction of local councils. It is believed that Australia's first progress association was established in Ballarat in 1904.</p> <p>The building was also taken over for military use during World War Two.</p>
Description	
Physical Description	A timber-framed hall building with a high gabled roof over the main hall and hipped and skillion roofs over an enclosed verandah/additions to the front and north side. All roofs are clad with corrugated iron, while the main gable is clad with ripple iron and the additions are clad with weatherboards. A small timber plaque on the main gable reads 'EST 1923', and below this is a large metal louvred vent most probably associated with a recent air conditioning system. The main entrance into the hall is off-centre and windows are timber-framed casements.
Images	

SC6.13.3.12 Freshwater

Table SC6.13.3.12.a– Statement of cultural significance – Catholic Church

Site Details	
Site Name	Catholic Church
Alternative Name	
Location	
Address	15 Duffy Street, Freshwater
Lot/Plan	Lot 5 on RP747659
Coordinates	Easting 362557.4 Northing: 8132851.6
Heritage Boundary	All of the building and land
Cultural Heritage Significance	
Criterion A	<p>The building is of local significance as a small scale community church built in an interwar but somewhat eclectic style combining stepped parapets with Romanesque style round headed windows in the façade and a timber rear section all to the design of architect V.M. Brown in 1938.</p> <p>The church through its location shows something of the aspirations of the church organisation whereby the building has been set up on the nearest hill side within reach of the town centre.</p>
Criterion E	<p>The building is of aesthetic importance as a simple but architecturally styled building with a masonry frontage and a timber clad rear hall set to advantage up a slope of a small knoll and creating a greater presence through the use of projecting masonry walled forecourts landing at the footpath alignment. Overall the massing and location give the impression of a larger scale masonry church, an impression also assisted by the ascension to the entry door by the long flight of front stairs.</p>
History	
Historical Context	<p>The church was built in 1938, largely as a result of the commitment of Reverend Father Hogan and his parish who raised the bulk of the necessary funds. Prior to this, Catholic Services had been held in private homes. The church was built by T.B. O'Meara & Sons and officially opened and blessed by the Most Reverend John Heavey, Bishop of Cairns.</p> <p>Tenders for the building were called by the Architect V.M. Brown for a 'reinforced concrete and timber church' in the Cairns Post on the 9th April 1938.</p>
Description	
Physical Description	<p>The building gains much of its presence through the masonry frontage sitting back above two high walled forecourts with a set of stairs ascending up to the church symmetrically between the forecourts.</p> <p>The frontage is reinforced concrete but the whole body of the church is timber weatherboard on timber frame with casement windows containing diamond quarries of glass in leadwork.</p> <p>The roof is corrugated iron although the original may have been corrugated iron (or tiles). (The buildings appearance suggests that the roof should be covered in Marseilles Tile).</p> <p>The architecture of the building might be described as Mission Style (although not Spanish Mission).</p>




Table SC6.13.3.12.b – Statement of cultural significance – Freshwater Uniting Church

Site Details	
Site Name	Freshwater Uniting Church
Alternative Name	
Location	
Address	23-25 Vallely Street, Freshwater
Lot/Plan	Lot 1 on RP710076
Coordinates	Easting 362800.5 Northing: 8133107.0
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The Freshwater Uniting Church is of local significance as a small scale community church in an interwar Old English idiom translated to Queensland building traditions. Built in 1937 to serve the local Methodist community and financed by the Mason family, the building fell out of use in 1977 and is now used occasionally for weddings and special events.
History	
Historical Context	The Uniting Church was previously the Mason Memorial Methodist Church. It was built in 1937 on land donated by the Mason family. The church hall next door was built in the early 1960s. When the Methodist Church of Australasia, the Presbyterian Church of Australia and the Congregational Union of Australia merged to become the Uniting Church in 1977, services lapsed and the building was under threat of demolition. But the local community rallied and held a special service in July 1981 which packed the church. Services recommenced and continued for some years. The church is now used occasionally for wedding and special events.
Description	
Physical Description	<p>A very small church in something of an Old English style (half timbering and the arch headed windows).</p> <p>The building has a low gable roof clad in corrugated iron, the walls are in weatherboard and the windows timber framed and arch headed giving the impression of pairs of lancet windows.</p> <p>The structure sits on concrete stumps approximately 750 above ground.</p>

	The structure is also buttressed by rendered masonry buttresses at each corner of the building. These are finished in dashed render.
Images	


Table SC6.13.3.12.c – Statement of cultural significance – Moule Cottage

Site Details	
Site Name	Moule Cottage
Alternative Name	
Location	
Address	233 Kamerunga Road, Freshwater
Lot/Plan	Lot 4 on RP706805
Coordinates	Easting 362785.7 Northing: 8133216.9
Heritage Boundary	All of the building and land
Cultural Heritage Significance	
Criterion A	The house is of historic significance at the local level as a residence built in 1919 which demonstrates the settlement of towns which developed in the outlying areas of the Cairns region.
History	
Historical Context	The cottage was built by George Moule in 1919. The land was owned by Minnie Le Grand, who was the Freshwater Railway and Post Mistress from 1915-55. George Moule was married to Minnie Le Grand's sister Ethel. George and Ethel Moule, their eight children and Minnie Le Grand all lived in the cottage for many years.
Description	
Physical Description	<p>A timber cottage with a low gabled roof in corrugated iron. The building was set about 750 off the ground. Features included the verandah timber louvers, the timber framed windows and the bracketed rain hoods over the windows.</p> <p>The verandah appears to have been made up of vertical dowels later covered in fibro sheet at lower level and then weatherboards and now with glass infill.</p>
Images	

SC6.13.3.13 Goldsborough

Table SC6.13.3.13.a– Statement of cultural significance – Catholic Church

Site Details	
Site Name	Remains of Pyramid Mill
Alternative Name	
Location	
Address	Downing Road, Goldsborough
Lot/Plan	Lot 2 on RP726595
Coordinates	Easting 367310.6 Northing: 8104254.6
Heritage Boundary	The wooded land running approximately 450m from at the west end Pete's Bridge to north of the intersection of Downing Road and Goldsborough Road.
Cultural Heritage Significance	
Criterion C	The site is of archaeological significance at the local level. It contains remnants (footings) of the first mill in this area of 1884-85 and one which ultimately failed. Its importance lies partly in its establishment and partly in the circumstances of its failure during the time of initial attempts to establish a sugar industry in North Queensland. The failure allowed some understanding of the level of financing and labour required to make a sugar mill a financial success. One of the outcomes of failures such as this was the establishment of cooperative mills where the start up finances were backed by the Government treasury.
Archaeological Potential	The site is a ruin of mainly heavy concrete footing much of which is now being undermined by the river course scouring the south side embankment.
History	
Historical Context	<p>The town of Gordonvale is situated at the base of the landmark Djarragun Mountain, also known simply as the Pyramid or Walsh's Pyramid.</p> <p>William Alley and his family took up the first land on the Mulgrave River in 1879 comprising 640 acres which they named 'Riverstone'. The river flats in the area were used for growing maize, bananas and sugar, while the town began to develop in the 1880s as a re-provisioning point for mule teams carrying goods over the range to the tin and gold fields of Herberton.</p> <p>One of the earliest cane farms in the area was the Pyramid Plantation, established in 1882 by Jean-Baptiste Loridan on the banks of the Mulgrave River, about 6 km upstream from Gordonvale. It was a substantial endeavour, employing up to 250 Melanesians and Chinese workers. The mill machinery for crushing the sugar cane was manufactured in Nottingham and shipped to Cairns on a barque in 1884. The tedious task of transporting the machinery from Alley's Landing at Redbank to the plantation required a bullock team and tramway rails.</p> <p>In January 1885, a fire destroyed some of the buildings associated with the sugar mill and it was reported that "it was expected to have had the mill going in time for crushing this season but unavoidable circumstances arose to prevent it, and had this accident not occurred the mill would have been complete and thoroughly prepared for starting to crush next season." By November 1885, Loridan had sold the plantation and mill and boarded a steamer for Melbourne. In the season of 1886, the Pyramid Mill produced a very disappointing yield of only 550 tons of sugar, and the new owners decided to appoint a more experienced manager - William Langdon.</p> <p>In 1888, 'The Maitland Mercury and Hunter River General Advertiser' reported: "Queensland sugar is now coming to hand. Messrs. Gibbs Bright and Co have received the first shipment of this season's sugar from Cairns, from the pyramid mill, and the market from this time on is likely to receive steady supplies. We hear of the sale of a further parcel to arrive at £24." But the Pyramid Mill could not be made profitable and it had ceased by 1890.</p>

	<p>The following account of the Pyramid Mill's decline was described in 'The Queenslander' in 1892:</p> <p>"The Pyramid plantation was on a much larger scale [than the Hop Wah plantation], and the owners loss is set down at anything over £100,000 - all Melbourne money. It ceased to become profitable partly because it was badly managed; partly because the extent of good land on the plantation was not sufficiently large; but chiefly because of transit difficulties, the mill being built upon the wrong side of the Mulgrave River, and supplies and product having to be carried ten miles from and to the navigable water of Trinity Inlet. The plantation is now in the hands of the Bank of Australasia. Its area is 8840 acres, about 1200 cleared for cane, 1800 scrub more or less suitable for cane, and the remainder hilly country. The mill and machinery cost £40,000, £32,000 being paid for imported machinery and the rest for machinery and fittings obtained from Maryborough. The machinery has been taken care of, and is in excellent order, though some of the external fittings have been disposed of. It is estimated that for £12,000 the Pyramid mill could be purchased and re-erected across the river, to serve as a central mill for the Mulgrave farmers, since the bank is willing to sell at a tenth of the original cost."</p> <p>Local settlers made efforts to form a sugar mill co-operative and they held a meeting in 1890 about "forming a deputation to wait on the Premier to ask him if the Government would be in favour of finding the money for purchasing the Pyramid Sugar Mill and plant and erecting the same upon a suitable site on the north side of the Mulgrave River, providing the settlers would guarantee to grow sufficient cane to keep the mill going."</p> <p>But this idea of utilising the Pyramid Mill equipment failed and instead the Mulgrave Central Mill Company was formed in 1893. A new mill was constructed at Gordonvale and commenced crushing in 1895. The opening of the Cairns to Mulgrave tramway in 1897 assured the success of this mill.</p> <p>It took another six years for the Bank of Australasian to sell the Pyramid Mill machinery, when it was reported in 1898 that: "The Colonial Sugar Refining Company have purchased all the old Pyramid plantation mill machinery from the Bank of Australasian, and propose increasing the crushing capacity of the Hambleton mill for the coming season."</p>
<p>Description</p>	
<p>Physical Description</p>	<p>On the south side of the Mulgrave River via Peet's Bridge then proceed some 450m on the bitumen Road. The remains are along the wooded section of the south bank of the river and closest to the intersection of Goldsborough Road and Downing Road.</p> <p>The Archaeological remnants are described in the report by Jan Wegner dated 1992. Since that report the surrounding area has become overgrown and the remnants are difficult to locate.</p> <p>The remnants are essentially pits and concrete blocks and slabs for engines and machines and often with stand up bolts where these had been bolted in.</p> <p>The site is being identified as a 10m circle northward in the vicinity of South 17 degree 08.558, East 145 degree 45.293.</p>
<p>Images</p>	

SC6.13.3.14 Gordonvale

Table SC6.13.3.14.a– Statement of cultural significance – All Saints Anglican Church

Site Details	
Site Name	All Saints Anglican Church
Alternative Name	
Location	
Address	5-7 Church Street, Gordonvale
Lot/Plan	Lot 604 on G4782
Coordinates	Easting 370945.5 Northing: 8109550.9
Heritage Boundary	The church building only
Cultural Heritage Significance	
Criterion E	The place is of significance at the local level as a new church developed in a post WWII style albeit following a very conservative format. A number of new Anglican churches were developed primarily in the expanding suburbs of Cairns in the post war period.
Criterion G	The place is of significance at the local level as a place of worship to the Anglican Community at Gordonvale.
History	
Historical Context	<p>The land for the church had initially been owned by A.J. Torlach. The land was subsequently obtained by the church which moved from its earlier premises on allot 6 Sect XI.</p> <p>A plaque attached to the exterior wall in the entry lobby indicates the building was consecrated on 14th June 1963 by Ian (?) of Cairns and Hugh (?) of Sydney. The church was designed by Cairns architects S.G. Barnes & Edwin Oribin (Job 06/63/01.) although it is clear that Barnes was the lead architect as it shows little of the styling that Oribin brought to his buildings. The east end of the building had two side rooms (vestry and entry) expressed on the exterior with their roofs hidden by parapets but these have since been altered with single skillion cover-all roofs installed. This has changed the appearance of the original work at the east end.</p> <p>The other major alteration has been the removal of the louvred windows of the Church's nave and their replacement with aluminium framed hoppers.</p> <p>At one time it was intended to create a porte-cochere drop off on the vacant land at the west end of the building and this involved creating new large set of paired doors in the west end of the façade but subsequently the whole idea was dropped.</p> <p>Some other internal changes were undertaken at the eastern end but none of this was of great consequence. The skillion roofs over the east end side rooms also covered over smaller windows lighting this east apsidal end.</p> <p>Apart from these changes the church has had little alteration.</p>
Description	
Physical Description	<p>A complex of buildings including the church, garages and the hall at the rear with the church parallel. The sanctuary area is at the east end of the building.</p> <p>There is no street fence. Also on the same allotment is a house to the west separated by a fence.</p> <p>A substantial modernist high volume church (with overtones of Gothic Survival Style) with the nave space running eastwest and a large scale timber framed original window at the west end. Windows on both sides of the nave which were louvres in timber frames are now aluminium framed hoppers.</p>


	<p>The entry path is marked by a tall two sided tower and bell topped by an off-centre concrete slab built as a roof and all surmounted by a cross.</p> <p>The entry is marked by a pull-out canopy built in concrete with an underside of shallow coffers (almost in the form of a waffle slab).</p> <p>The enclosed portico was shown in the original plans although it appears to have had later changes with besser block added where there had once been glass.</p> <p>The upper portions of the screen are now louvres with the intermediate timber mullions removed.</p> <p>The hall is a long low masonry building with a medium pitched gabled roof and corrugated metal roof.</p> <p>The adjacent house on the same title is setback from the streetline along which there is a weldmesh mesh fence. The house is besser block concrete, the building is set on the ground and the roof is a shallow pitched hip in corrugated metal.</p>
<p>Images</p>	

Table SC6.13.3.14.b – Statement of cultural significance – Community Centre

Site Details	
Site Name	Community Centre
Alternative Name	
Location	
Address	17-19 Cannon Street, Gordonvale
Lot/Plan	Lot 10 on G47827
Coordinates	Easting 370806.8 Northing: 8109738.9
Heritage Boundary	All of the hall and the reserve
Cultural Heritage Significance	
Criterion G	The Community Centre is socially significant at the local level, being the primary social hall for the Gordonvale Area and having been constructed with community funds for multi-functional community activities.


History	
Historical Context	<p>The Community hall was erected on part of the School of Arts Reserve (now part occupied by the Library).</p> <p>It had originally been mooted by the Council that the "Community Chest" a subsidiary of Council be given the School of Arts Land behind the new library. The Department of Lands Administration denied this approach and required that the Community Chest lease the rear of the School of Arts Reserve.</p> <p>Subsequently the timber hall which contains a stage and auxiliary rooms, was constructed.</p>
Description	
Physical Description	<p>Single storey timber building set in from the street alignment.</p> <p>A simple oblong box with side additions on the rear containing kitchen, toilets, storage and change areas.</p> <p>The main hall contains a stage at the west end.</p> <p>The exterior is timber chamferboard with a broad corrugated iron roof and wide overhang.</p> <p>The overhang on the street façade side acts as a weather awning enhanced by the indent in the building footprint.</p>
Images	

Table SC6.13.3.14.c– Statement of cultural significance – Gordonvale Ambulance Service

Site Details	
Site Name	Gordonvale Ambulance Station
Alternative Name	
Location	
Address	1 Cannon Street, Gordonvale
Lot/Plan	Lot 4 on G47810
Coordinates	Easting 370965.7 Northing: 8109697.0
Heritage Boundary	All of the building and fences to street boundaries
Cultural Heritage Significance	
Criterion A	The place has local historical significance for representing an important service provided to the local community over several decades. Since 1914, the land was reserved as an ambulance centre and the current building was built in 1946
Criterion E	The building is of architectural significance at a local level and is a striking example of the architectural design work of Cairns architect Sidney Barnes.

History

Historical Context

The City Ambulance Transport Brigade (CATB) was formed at a meeting of concerned citizens in Brisbane in September 1892, following the unsatisfactory management of an accident at a horse racing meeting. It was established that the principal object of the Brigade was to render first aid to the wounded and transport the sick and injured to hospital. Public use of the ambulance service steadily increased and voluntary subscriptions proved insufficient to meet associated outlays. In 1895, the CATB secured supplementary funding from the Queensland State Government. The first purpose-built ambulance building for Queensland was constructed in 1897 in Wharf Street, Brisbane.

During the late 1890s and early 1900s the ambulance service expanded establishing a number of centres throughout Queensland including Charters Towers (1900), Townsville (1900), Rockhampton (1901), Warwick (1901), Ipswich (1901), Toowoomba (1902), Mackay (1903), Ravenswood (1904), Cairns (1904) and Bundaberg (1907). In 1902 the Brigade was restructured to better manage the rapidly expanding operations and to recognise the importance and contribution of regional ambulance centres. The reorganised entity became known as the Queensland Ambulance Transport Brigade (QATB). (The Queensland Ambulance Service, as it exists today, was only formed in 1991.)

In 1910, the Cairns Post advertised a "public meeting of all sympathisers and supporters of the formation of a subcentre at the Cairns Ambulance Brigade at Nelson. The brigade should be well supported at Nelson and its splendid work needs no comment."

Discussions were held in 1913 for a strip of land to house an ambulance centre and this became a reality in 1914 when land was Reserved as R461 by GG1914.1.1677.

The first ambulance centre in Gordonvale was designed by the architect Mr. Waters and built on the present site in 1914.

In 1917 further land was sought and granted on the east side and the whole of allotment 4 was granted as a reserve R926 GG 1918.1.127 on 12 January 1918.

The additional land was required for horses, a fumigation shed, benzene sheds and for the keeping of a motor vehicle. The land was originally half the current size (at 1 rood 2 perches) but doubled in size after the requests from the ambulance brigade to allow for turning of vehicles and construction of buildings which had to include a fuel store.

The current building was designed by the architect S.G. Barnes and built by T.B. O'Leary & Sons between 1945 and 1946 for £4,750. A marble foundation stone states that the building was opened on 27 October 1946. Sidney Barnes went on to design further ambulance centres at Edmonton and Atherton 1951 and 1955 respectively.

There are a number of similarities between the Gordonvale building and the Ambulance Stations at Winnow and Atherton. The Bynum Ambulance Station, listed on the Queensland Heritage Register, is the oldest of this group and appears to have set a standard. The drawings for the Bynum Ambulance Station were prepared by the Department of Public Works and the design is attributed to Leonard Tempter. Tempter was employed in the architectural office of the Department of Public Works (Queensland) from 1911 to 1946. He also designed the Childers QATB station in 1924. The Bynum Ambulance Station is a two-storied building with the superintendent's residence occupying the upper level, while the lower level houses the ambulance plant room, office, committee room, bearers' dayroom and bedroom, casualty room and bathroom.

The former Atherton Ambulance Station has been substantially altered and is currently a pet shop on Kennedy Highway.

All three ambulance stations are two-storied masonry buildings with symmetrical facades featuring a central bay projecting slightly forward from the main building, and a parapet surmounting this bay extends above the simple hipped roof. The stepped or squared parapets feature the initials 'QATB' and/or the Maltese cross. All three buildings feature two central ambulance bays. They also feature prominent


	<p>round-arched window openings. The Gordonvale and Atherton also feature shallow balconies with metal balustrades. The Wynnum and Gordonvale buildings, and possibly the Atherton building, include external stairs up to the first floor residence, on the right hand side elevation.</p> <p>These similarities indicate that the Gordonvale Ambulance Station was most likely based by Sidney Barnes on designs produced by the Queensland Department of Public Works.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A brick two-storey building with a dominant hipped roof clad with corrugated iron and featuring battened and ventilated eaves. The building is essentially rectangular in plan with a central breakfront on the north elevation and single and two storey additions to the south elevation. The breakfront features a parapet extending above the eaves of the main roof and contains the ambulance waiting bays at ground floor level.</p> <p>The symmetrical Cannon Street elevation is built of brown and red bricks. The colour variation is subtle, but is used for decorative effect around the window and door openings.</p> <p>The breakfront includes two vehicle openings for the ambulances with roller doors at ground floor level and, above, a central pair of French doors with top and side lights within a round-arched opening. The French doors are flanked by round arched window openings containing timber-framed casements with top and side lights. All windows are glazed with dimpled and obscured glass. A shallow balcony with concrete floor and a metal balustrade formed by circles and vertical twisted balusters extends in front of these three openings and a simple, skillion metal awning extends over them. At the top of the parapet, two rectangular recesses have been formed in the brick wall to house the raised concrete letters 'QA' in the first recess and 'TB' in the second (Queensland Ambulance Transport Brigade.) A Maltese cross in raised concrete has also been built into the central pier between the vehicle openings.</p> <p>The main building is treated in a more modern manner than the breakfront. At ground floor level, horizontal concrete hoods extend above pairs of timber-framed casement windows. A top light of louvered windows is located above each hood and surmounted by another horizontal concrete hood. At first floor level, a brick string course at sill level extends below sets of timber-framed casement windows. The first floor windows on the north and west elevations are covered by louvered metal sun screens.</p> <p>A multi-paned, half-glazed and boarded door is located slightly off-centre of the east elevation and is covered by a corrugated iron hood supported on decorative timber brackets. A timber and steel external stair extends up to a similar multi-paned, half-glazed and boarded door at first floor level, which is sheltered by a metal awning.</p> <p>The original fence comprises a low brown brick wall with two pipe sections extending between brown brick piers surmounted by pyramidal concrete caps. A metal vehicle gate featuring a diagonal, geometric design, is located at the western end of the Cannon Street frontage. A very similar design is applied to a central pedestrian gate on the Mill Street frontage.</p>
<p>Images</p>	



Table SC6.13.3.14.d – Statement of cultural significance – Gordonvale Boy Scout

Site Details	
Site Name	Gordonvale Boy Scouts
Alternative Name	
Location	
Address	George Street, Gordonvale
Lot/Plan	Lot 164 on NR4596
Coordinates	Easting 370675.8 Northing: 8109647.8
Heritage Boundary	All of the building only
Cultural Heritage Significance	
Criterion B	<p>The building is locally significant as a Scout Hall, few of which survive from this very early period of scouting.</p> <p>There are also few early period purpose built buildings such as this one which was financed substantially from local fund-raising.</p>
History	
Historical Context	<p>The Boy Scout movement was introduced to Australia in 1908 and spread rapidly throughout Queensland in the following two years. The 'League of Baden-Powell Scouts, Queensland Section' were formally gazetted by the Boy Scout Headquarters in London in July 1910. A formal constitution was then adopted and printed in the same year, providing regulations for the conduct of scouts, their uniforms and the qualifications of the scoutmasters. In 1912, Lord Baden Powell the founder himself visited Brisbane.</p> <p>Even in the early years a scout uniform had evolved and was worn by scouts and included a felt peaked hat, shirt with pockets, short trousers, socks, dark shoes and a bush staff of approximately 1.5m high. A standard belt was worn along with other clothing accessories which indicated which troop the scout belonged to. Much of scouting's lore was based on Baden Powell's experiences and time in the British Army defeating the Boer at Mafeking.</p> <p>The Gordonvale Scout Hall was built for this site in 1922 and was a simple rectangular building of 22 feet x 40 feet with a lean to at the back and two latticed verandah's. It was intended that the building face Church Street with an exposed stud frame which is evident today underneath the current vinyl cladding. Finances came from moneys raised by the Scouts as well as three main donors. The work commenced in early 1922 and the hall was opened on 1st June that year at 8 pm.</p> <p>The skin of the building is a chamferboard and the current cladding is a polystyrene based plastic board. By 1937 the building had at least one extension (on the south end) and this can be ascertained in an aerial photograph of that date.</p>

Description	
Physical Description	<p>A single storey building in part of the recreation reserve at the corner of George and Church Streets set back a short distance from the street alignments.</p> <p>A basic oblong with a gable ended roof at the south and hipped at the north.</p> <p>Currently clad in a Styrofoam base material, the appearance was originally exposed stud frame and chamferboard.</p> <p>There are few windows and there are several extensions on the south (storage) and along the west (toilets).</p> <p>A kitchenette is located in the north east corner.</p> <p>The building is set approximately 750mm above the ground</p>
Images	

Table SC6.13.3.14.e – Statement of cultural significance – Gordonvale Cemetery

Site Details	
Site Name	Gordonvale Cemetery
Alternative Name	
Location	
Address	27-51 Highleigh Road, Gordonvale
Lot/Plan	Lot 225 on NR838281
Coordinates	Easting 370764.8 Northing: 8110793.2
Heritage Boundary	The cemetery reserve including shelter and concrete block fence
Cultural Heritage Significance	
Criterion G	The Gordonvale cemetery is a place of local historical significance and has social and spiritual associations with the community of Gordonvale and surrounding settlement areas. The cemetery has a continuing role as a place of burial for the district.
Criterion C	The Gordonvale cemetery is a place of local historical significance which has the potential to yield information on the pioneers of the district and their descendants. Information gathered from their grave stones allows some understanding of those involved in early settlement, their place of origin and their connections to current community of Gordonvale.
History	
Historical Context	The cemetery was first surveyed as a 10 acre parcel in Feb 1897 and then reserved by Gov Gazette in April 1907 as R222. Since that date not all of the cemetery has occupied the reserve. Land along the northern edge was leased for sugar farming in the 1950s and later rescinded with a drainage reserve being put in place in 1993 along the north boundary.


Site Details	
	<p>Not all of the cemetery has been used for burial and a portion of it still remains unused.</p> <p>The cemetery contains burials from some of the areas earliest residents.</p>
Description	
Physical Description	<p>Set aside as a reserve along Highleigh Road to the extent of the area fronted by the concrete block fence which follows the alignment of the property.</p> <p>A public cemetery with a low solid cast concrete block fence along Highleigh Rd which previously had car gates and a pedestrian turnstile. There is a recent planting of vegetation between the fence and the first row of graves.</p> <p>The car drive loop path in the cemetery processes past purposefully planted palm trees, spreading Poinciana trees and a waiting shelter constructed from timber with a ceramic and concrete pipe supports. The shelter has timber screens on the sides and valances at the ends. Its form is a gabled shed with a corrugated iron roof and timber bench seats.</p> <p>There are no denominational compartments within the cemetery and the oldest graves (substantially post 1900) are found in the south east corner of the site.</p> <p>Here the graves have cast and wrought metal grave surrounds and a number of the tomb markers are in carved marble supplied by firms such as Melrose and Fenwick of Townsville and later of Cairns. These memorials are all stock items found in monumental masons' catalogues of the time. These stock marble carvings of obelisks, flowers, angels, clasped hands, cherubs and the like were available almost off the shelf in the larger cities. Often times they may have been shipped from the major cities via rail or boat and the whole prepared and assembled by the local masons.</p> <p>More recent graves are all low set and generally in the character of the cemetery overall. The cemetery has a low number of graves in comparisons to the overall acreage of the site. An annex to the original cemetery has been established adjacent at the site's north end.</p>
Images	

Table SC6.13.3.14.f – Statement of cultural significance – Gordonvale Fire Station

Site Details	
Site Name	Gordonvale Fire Station
Alternative Name	
Location	
Address	105 Norman Street, Gordonvale
Lot/Plan	Lot 5 on G47834
Coordinates	Easting 370871.7 Northing: 8109609.2


Heritage Boundary	The whole of the building and reserve land
Cultural Heritage Significance	
Criterion D	<p>The Gordonvale Fire Station is local significance as part of the developing infrastructure of this rural town.</p> <p>Many towns did not have brigades established for decades and suffered the ravages of fires that would take hold in one premises and burn out adjacent businesses. This was alleviated somewhat by the building bylaws requiring fire proof construction and in the centre of Gordonvale few fires occurred after many buildings were redeveloped in concrete.</p> <p>The establishment of the Brigade's permanent station in 1950 marks a point when the town was considered to be of a size to warrant such infrastructure spending.</p>
History	
Historical Context	<p>The brigade were seeking land in Gordonvale prior to 1947 and the land Ranger for the area presented a report by way of internal memo to the Lands Commissioner in Aug 1947 recommending that land at the south end of the police reserve be annexed for the purpose. The report weighed up the pros and cons of annexing adjacent railway land but decided that the police reserve was a better option and the report identified some concrete posts and sawn fences being on the land but nothing of value.</p> <p>The building was subsequently constructed in 1950 as a two storey brick structure with timber framed casements and louvres.</p> <p>The foundation stone records that the building was opened on 25 November 1950, that the architect was S.G. Barnes ARAIA and the builder was T.B. O'Meara & Sons.</p> <p>The original form of the roof was altered from a hipped roof with its north west and south west corners terminating behind parapets leaving a central portion of the hipped roof to overhang the brigade garage entrances.</p> <p>The reserve was first gazetted in 1949(?) as R959 of 32 perches (last gazetted GG1965.2.924 when adjustments were made to the police reserve and fire brigade reserve).</p>
Description	
Physical Description	<p>A two storey brick building with the station on the lower floor and the residential accommodation for fire officers above.</p> <p>Oddly asymmetrical with a gable and parapets on the western portion of the elevation and a faux tower on the south west end with arch headed windows and rendered architraves the whole composition is oddly eclectic. This description comes about due to some alterations made to the roof form which had originally been designed as hipped and ending behind two small brick parapets one on the north west corner, one on the south east corner. The roof form was changed to gabled and the north west parapet removed. The central portion of the parapet below the roof on the west bears the date 1950. Windows are sets of multi-pane timber casement windows. Bricks are The fence is a low cast concrete block with a pipe rail between end piers.</p>
Images	

Table SC6.13.3.14.g – Statement of cultural significance – Gordonvale Girl Guides

Site Details	
Site Name	Gordonvale Girl Guides
Alternative Name	
Location	
Address	Church Street, Gordonvale
Lot/Plan	Lot 165 on NR4596
Coordinates	Easting 370635.4 Northing: 8109645.2
Heritage Boundary	All of the hall only
Cultural Heritage Significance	
Criterion B	The building is locally significant as a Girl Guides Hall, few of which survive anywhere in Queensland and particularly North Queensland.
Criterion G	The building is of local significance as a meeting place of Girl Guides, an organisation based along the same lines as the Boy Scouts established by Lord Baden Powell at the end of the 1910s.
History	
Historical Context	<p>The building is the former Masonic hall from Gordon St, originally located opposite the Mill. This was most likely the Gordonvale Highleigh Masonic Lodge No 343, which was constituted and consecrated in 1926.</p> <p>The building was sold after the new Swan St Masonic Hall opened in 1961 and it subsequently moved to its current site on the Racecourse and Showground Reserve of 1914 (GG1914).</p> <p>The first meeting of the Girl Guides Association of Australia Incorporated was held in Melbourne in 1926. The formation of this national body came over a decade after the first guides group was formed in Tasmania, the Girl Peace Scouts. Other states quickly followed and by the time a national body was established, all states in Australia had guides groups.</p> <p>The Association celebrated their seventy-fifth birthday in 1985 and at that time had approximately 100,000 members.</p>
Description	
Physical Description	A low-set, rectangular hall building on concrete stumps. The front (east) and side (south) elevations are clad with AC sheets, while the other side (north) elevation is clad with metal decking. Additions to the rear (west) of the building are constructed of concrete block. The building has a gabled roof over the hall and skillion roofs over an enclosed verandah to the front and the additions to the rear. All roofs are clad with corrugated iron. A central porch, comprising a metal awning, is located over steel and timber stairs leading up to double, aluminium-framed glazed doors on the front elevation. Another half-glazed and boarded timber door on the south elevation is accessed from concrete and steel steps. Two steel roller-doors are located on the rear elevation. Most of the windows are louvred, while the rear additions have aluminium-framed sliding windows. All windows and doors are protected by security screens.

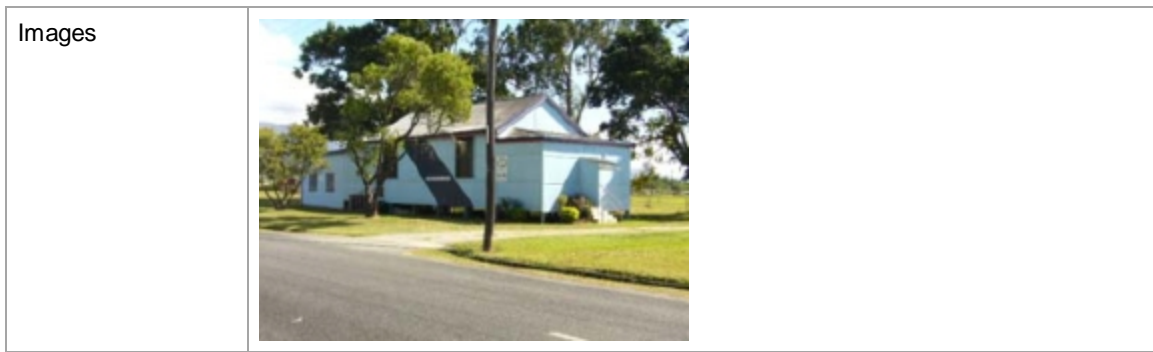


Table SC6.13.3.14.h– Statement of cultural significance – Gordonvale Library

Site Details	
Site Name	Gordonvale Library
Alternative Name	
Location	
Address	88 Norman Street, Gordonvale
Lot/Plan	Lot 4 on G47827
Coordinates	Easting 370831.8 Northing: 8109736.2
Heritage Boundary	The building and reserve land
Cultural Heritage Significance	
Criterion G	The Gordonvale Library is of local significance as a community facility developed in the 1960s and still in use for its original purpose half a century later. The building was architect designed and constructed to allow expansion front and rearward from a core area. Along with the adjacent community centre and the CWA Hall, the buildings form part of a larger group of Gordonvale's community facilities which are open to all and gathered around the south side of Norman Park.
History	
Historical Context	<p>This site was previously occupied by the School of Arts (timber) building on land set aside as a School of Arts Reserve in 1900. The Arts Reserve was 2 roods in size but some of this land was subsequently given over to other facilities – the Qld Country Women's Association on the south side and a at first a tennis court on the west. The tennis court was subsequently replaced by the Community Hall funded from the Community Chest (a subsidiary arrangement of Council). The timber Arts building predated the reserve gazettal.</p> <p>In the 1960s the School of Arts building was demolished and a new library constructed in brick with timber detailing.</p> <p>As built, the structure allowed for further expansion and as seen today the library has filled out the expansion areas and on the street façade has gone beyond the original's façade adding a new rearrangement on the street face.</p>
Description	
Physical Description	<p>A low set brick building on the corner of Canon and Norman Streets, set just in from the street alignments with small colourful planting and shrubbery in front.</p> <p>The present building is an agglomerate, being the original skeleton of a building extended both front and rearward. Some of the rearward works have filled expansion areas set aside in the original design while the forward expansion has broken through the original frontage.</p> <p>The original building had more prominent timber screens in the main elevations and</p>



	these have been moved to the small garage area as the library expanded forward toward Norman Street.
Images	

Table SC6.13.3.14.i– Statement of cultural significance – Pie-fection Bakery

Site Details	
Site Name	Pie-fection Bakery
Alternative Name	
Location	
Address	78-80 Norman Street, Gordonvale
Lot/Plan	Lot 2 on RP716086
Coordinates	Easting 370826.0 Northing: 8109801.3
Heritage Boundary	The building and title land.
Cultural Heritage Significance	
Criterion A	A two storey building that was initially to replace the former Nelson Hall but in more recent years (possibly the 1960s) the building was converted to a series of squash courts with a residence. The building has a somewhat classically inspired appearance (albeit in a 1920s mode) but this has been changed by the insertion of the metal framed windows on the upper level.
Criterion B	In good condition although altered out of its originally intended arrangement (with the introduction of the residence and squash courts). The lower level maintains its symmetrical arrangement of shops and centre entry to what would have been the hall behind.
History	
Historical Context	The building replaced the Nelson Hall after it was burnt down in April 1929. As a result of building regulations the building (like the adjacent hotel) had to be built in reinforced concrete. The works to the hotel started in the 1930s and it was anticipated that the hall would be rebuilt not long after the hotel had been rebuilt but a newspaper article identifying its completion has not been found. The building's central entry and flanking façade shops indicate that the rebirth of the Hall may have occurred but later alterations have removed the interior for squash courts. The date of conversion to courts is unknown.
Description	
Physical Description	A two storey building that was initially to replace the former Nelson Hall but in more recent years (possibly the 1960s) the building was converted to a series of squash courts with a residence. The building has a somewhat classically inspired

	appearance (albeit in a 1920s mode) but this has been changed by the insertion of the metal framed windows on the upper level.
Images	

Table SC6.13.3.14.j– Statement of cultural significance – Gordonvale Police Station

Site Details	
Site Name	Gordonvale Police Station
Alternative Name	
Location	
Address	95 Norman Street, Gordonvale
Lot/Plan	Lot 2 on G47826
Coordinates	Easting 370887.3 Northing: 8109680.0
Heritage Boundary	All of the court house building and the police residence
Cultural Heritage Significance	
Criterion A	The Gordonvale police station is of local historic significance as an early and permanent occupation of this reserve which was established for this use. The station comprises the Courthouse, the police residence (itself the former police station) and two police houses for married men. These are the second generation of buildings on this site, the first buildings being established very early in the settlement of Gordonvale and then being replaced by this substantial group of timber buildings which have now been on the site for approximately 100 years (in particular the residence and courthouse) and are amongst the oldest surviving public buildings in Gordonvale.
Criterion B	The site has heritage significance in containing a group of buildings which both collectively and individually contain characteristics of similar police complexes established in rural Queensland. In the Cairns Regional area, this group is comparable to those at Babinda and have a similar historical and architectural development with their layouts determined by the character of their sites. The layout of the Gordonvale Police complex is as originally planned whereas a road widening has affected the layout of the Babinda buildings.
History	
Historical Context	<p>Shown as reserved for Police Purposes R362 and recorded in the Gov Gazette 1908.2.616. The earliest buildings on the site appear to have been a verandah building and a stables on the east boundary and these were temporary until the Public Works Department drew up a substantial residence and police office for the site.</p> <p>Originally the Police reserve had been allocated to the area now known as Norman Park but a mix up was discovered when the police commenced construction on that site in 1907. A re-gazettal was undertaken in 1908 and the Police were allocated a 2 acre reserve on Norman and Cannon Streets. The earliest documented building was the police residence and office followed by the Court House and morgue (1915). Two married men's residences documented by the Public Works Department in 1932 were constructed on Norman Street in 1936-37.</p>


	<p>Also on site were a lock up building (undated) and a concrete bomb shelter designed for use as an Air Raid Precautions Centre (1942) and this was proposed to be converted to a garage after the war. The Air Raid Precautions (ARP) controlled the air raid wardens and received information from the Air Raid Warden's Posts on the bombing threat.</p> <p>The 1915 police morgue established on the grounds was moved to the Hospital site in 1926 where it remains today.</p> <p>Around 1949 some land to the south was annexed off the Police Reserve for Fire Brigade purposes. As of 1965 the police reserve site was 1 acre, 2 roods 25.5 perches.</p>
Description	
Physical Description	<p>The land has a number of timber buildings on Cannon and Norman Streets including three police residences (1 at the corner of Norman and Cannon Streets and two on Norman Street) and Court House (now station) on Cannon Street. All buildings are weatherboard and set some distance back from the street alignment.</p> <p>A reserve containing a T shaped courthouse now used as a police station, the original police residence and office at the corner of Norman and Cannon Streets, and two residences on Norman Street.</p> <p>All buildings are in timber and all are the first generation of the buildings established on this site. All buildings have hipped corrugated iron roofs and timber joinery to windows and doors.</p> <p>The residences are set at low to medium height above the ground (i.e. circa 1500) and there are reasonable setbacks (circa 4m) between buildings and alignments and between the buildings. To the rear of the courthouse is a small timber building (possibly lock up).</p>
Images	

Table SC6.13.3.14.k– Statement of cultural significance – Gordonvale Post Office

Site Details	
Site Name	Gordonvale Post Office
Alternative Name	
Location	
Address	9 Cannon Street, Gordonvale
Lot/Plan	Lot 1 on RP732402
Coordinates	Easting 370933.5 Northing: 8109719.8
Heritage Boundary	The Post Office building and residence without reference to other buildings on the reserve


Cultural Heritage Significance	
Criterion A	The building contributes to the historic townscape centred around Norman Park. The building also represents the long term provision of postal services, which have contributed to the development of the town.
Criterion D	The building is a good and relatively intact example of a type T17 post office designed by the State Department of Works, before this responsibility was assumed by the Queensland Branch of the Commonwealth Department of Works in 1920.
History	
Historical Context	<p>This site is shown as reserved for Post and Telegraph purposes in the name of the Commonwealth of Australia (Reference R415). The building dates from 1911 or 1912. In a typology study of Post Offices the building is identified as a Type T 17 - Twin Porch, Gable and Lantern.</p> <p>The Commonwealth Postmaster General's Department was created in 1901, but the State Department of Works continued to design and construct post offices on behalf of the Commonwealth Government until 1920, when the responsibility was assumed by the Queensland Branch of the Commonwealth Department of Works.</p>
Description	
Physical Description	<p>Single storey timber building with its frontage on the street alignment.</p> <p>Described as a Type T 17 Post Office - Twin Porch, Gable and Lantern.</p> <p>The timber-framed building is clad with weatherboards and has a gabled roof clad with corrugated iron. The office functions are located at the front, while quarters were provided to the rear. The design features a central projecting bay with a timber gable screen and a central set of four timber-framed casement windows shaded by a timber and corrugated iron hood. Timber-framed porches, each accessed by a central flight of timber stairs, flank the central bay. A timber lantern is located above the central section of the roof.</p>
Images	

Table SC6.13.3.14.I– Statement of cultural significance – Gordonvale Railway Station

Site Details	
Site Name	Gordonvale Railway Station
Alternative Name	
Location	
Address	Mill Street, Gordonvale
Lot/Plan	Lot 211 on SP109355
Coordinates	Easting 371017.1 Northing: 8109492.7
Heritage Boundary	The rail station and platform canopy
Cultural Heritage Significance	
Criterion A	The Railway Station is significant in demonstrating the development of the railways in North Queensland and, in particular, its relationship with the sugar industry. The site of the rail station was determined years previous by the development of the Cairns Mulgrave Tramway which assisted the establishment of the mill by bringing cane to the mill and delivering its raw sugar product to the Cairns wharves.
Criterion B	The Railway Station is one of only a few surviving timber stations built by the Queensland Government Railways as it completed the rail link between Brisbane and Cairns.
History	
Historical Context	<p>The Gordonvale Railway Station was built in c.1914 as a standard B4 (Northern) design. It was constructed by the Queensland Government Railways as part of the rail link between Brisbane and Cairns. However, an earlier station was constructed on the site in c.1897 as part of the Mulgrave Tramway from Cairns, built by the Cairns Divisional Board, which serviced the adjacent Mulgrave Central Sugar Mill. The Queensland Government Railways purchased the Mulgrave Tramway in 1911.</p> <p>By 1924, when the last section of the North Coast Railway from Townsville to Cairns was opened, a refreshment room was operating at the Gordonvale Station. In c.1936, a new 2-lever frame signal platform was installed. In 1961, the railway station complex also comprised a store, toilet, goods shed, loading bank, 10,000 gallon water tank and Station Master's house. By 1969, the water tank was sold and the goods shed removed.</p> <p>In 2003, the train platform was renovated and raised to meet disability standards.</p>
Description	
Physical Description	<p>Single platform station on the west side of the one track line. It is in close proximity to both the Mulgrave Central Sugar Mill and Norman Park.</p> <p>The station complex comprises the Passenger Station and Store, signal platform and loading bank. The station is a low set timber-framed building with a corrugated iron, half-gabled roof and walls clad with weatherboards. The barrelvaulted shade structure over the platform, which is clad with corrugated iron, comprises 13 bays supported on timber posts and attached to the eastern end of the station. The store is also a timber building and a covered breezeway between the store and the station forms a waiting area for passengers.</p>



Table SC6.13.3.14.m – Statement of cultural significance – Gordonvale Veterinary Surgery (former Beattie’s Theatre)

Site Details	
Site Name	Gordonvale Veterinary Surgery (former Beattie’s Theatre)
Alternative Name	
Location	
Address	28-32 Norman Street, Gordonvale
Lot/Plan	Lot 3 on G4782
Coordinates	Easting 370850.8 Northing: 8110039.2
Heritage Boundary	All of the theatre building and title land
Cultural Heritage Significance	
Criterion D	The place is locally significant as a picture theatre dating to the late 1920s, typical of country towns and one of two surviving cinema buildings in Gordonvale, this being the most recognizable architecturally. Its architectural facing in concrete block is an unusual and large composition using this patent form of construction which had been mostly used at domestic and smaller scales.
History	
Historical Context	<p>The cinema was most likely the one designed by architects Hill and Taylor and advertised for tender during April 1927. The building was a speculative venture by client A. L. Walker and Hill and Taylor also advertised for tenders for the lease of the building which was to boast two modern shops at the front, a dance hall floor and seating for approximately 350 people.</p> <p>Within a month of this tender closing the Federal Hall which was being leased by Beattie’s Pictures was burnt to the ground on 25th May 1927. Within days of this fire, the cinema being run by Sutcliffe’s Pictures Ltd in Gordon Street was partly damaged by another fire, the third in just one week. Beattie must have acted quickly in securing a lease on the proposed new cinema as he subsequently opened at this address in Norman Street and no doubt would have influenced the final building plan.</p> <p>By the time Beattie’s closed as a cinema in 1943-44 it had seating for 450 people.</p> <p>The CWA had a ‘picture benefit’ at Beattie’s Theatre, Gordonvale, in 1929.</p> <p>In 1930, the Brisbane Courier reported on boxing events taking place at the theatre. The local boxer, Bert Healy, wrote that he trained at a gym at Beattie’s Theatre between 1944 and 1946. Mrs H Beattie was recorded as the owner or lessee between 1938 and 1942. Northern Theatres bought the theatre in c.1942 and it closed shortly afterwards and appears to have become a gym.</p> <p>In the 1990s, the building was being used by Hodge’s Garage and the majority of the interior was a tractor showroom.</p>


	The building was adapted for use as a veterinary surgery sometime after 2001.
Description	
Physical Description	<p>A two storey theatre building with a central entry at street level (now aluminium framed glass doors) flanked by bay windows and these in turn are flanked by stair entries to the balcony area within the theatre. The bay windows are fixed closed as are the flanking entries to the balcony areas.</p> <p>The main construction material is solid cast concrete block manufactured to give an ashlar appearance. Some blocks have a faux reticulated facing and these are used as door, arch and window architraves.</p> <p>The footpath is protected by a post supported skillion awning. The timber support posts are paired.</p> <p>Above the awning the façade continues up past a timber framed casement window and finishes in a parapet with a central arch. Mouldings and much other detailing is in concrete.</p> <p>The roof is a long gabled corrugated iron structure with an overhang to provide protection for the ventilation area below the eaves. This area is now filled with lattice although this area was at one time timber vents.</p> <p>The rear section (i.e. the long sides) are also in cast concrete. At the rear of the building is a two storey brick extension running rearward from the location of the stage area and taking up the shape of the building . Either side of the building is vacant yardage used for car parking.</p>
Images	

Table SC6.13.3.14.n– Statement of cultural significance – Great Northern Hotel (formerly Queens Hotel)

Site Details	
Site Name	Great Northern Hotel (former Queens Hotel)
Alternative Name	
Location	
Address	100-106 Gordon Street, Gordonvale
Lot/Plan	Lot 2 on RP717315
Coordinates	Easting 370901.4 Northing: 8109947.9
Heritage Boundary	The whole of the original building as modified but excluding the blockwork bottle shop extension on the east and all of the title land.
Cultural Heritage Significance	
Criterion A	The Great Northern hotel is locally significant as an early Gordonvale Hotel, with many of the other early hotels being destroyed by fire, and being rebuilt or decommissioned and altered for another purpose. This architect designed building has survived although with a number of alterations made since its original

	<p>construction in circa 1912. This hotel is of significance as one of the earliest buildings in the town and an almost continuous provider of accommodation for travellers and itinerant mill workers.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The hotel is recognisable with its current roof form in a photograph of Gordonvale dated c.1916. This photograph shows the letters 'Q _ _ ' or 'O _ _ ' over 'H _ _ ' painted on the roof. Pugh's Almanac of 1916 listed 5 hotels in Gordonvale and Queen's Hotel was the only one starting with an O or Q. The following article was published in the Cairns Post in January 1912:</p> <p>"NELSON'S NEW HOSTELERY. In our business column today, Mrs ES Baird makes the first announcement to the public concerning the Queens Hotel, Nelson... Were it not that the town of Nelson is in the heart of a prosperous and fast growing sugar district one might fancy the building too costly for the town. The bulk of the business done since the opening, however, amply justifies the enterprise of the owners and the lessee. The building is of brick and two storied. Baths and parlours are to be found upstairs and down. The brick walls throughout are fitted with venita patent ventilators. The floors are covered with bright patterned carpet and linoleum which with the superior ventilation and a pleasing French grey tint of the walls make the place an ideal tropical resort, delightfully cool and bright. Being under the patronage of the Commercial Travellers Association, a set of generous sized and bright sample rooms are added. Cuisine and catering are quite in keeping with all the appurtenances of the place which are those of a first class modern hostelry."</p> <p>In 1913, the architect Harvey Draper called for tenders for the construction of an additional wing in brick to the Queens Hotel, Nelson, for Mrs Moller. This wing contained 10 bedrooms and additional balconies.</p> <p>The hotel continued to trade under the name of the Queens Hotel until approximately 1949, when a meeting of the Gordonvale Amateur Fishing Club and other sporting clubs advertised their meetings were to be held at the Great Northern Hotel.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A two storey hotel partly in brick with render (at ground level) and painted brick above. Some external sections of the building have chamferboard some have exposed brickwork and this may be related to the transition from the earlier building to the structure as seen today.</p> <p>The post supported verandah has been replaced with tubular columns but 3 original timber posts remain on the upper level and they are worked in a manner reminiscent of the 1910s. The imitation timber brackets on the building are similar to the original form but lack the visual strength and size of the originals.</p> <p>Other original elements included the upper level joinery (timber) of the windows, louvre shutters and French doors to the verandah as well as timber brackets to window hoods.</p> <p>On the ground level the timber framed windows and doors have been replaced by aluminium sections.</p> <p>The roof is a large corrugated iron hip with the verandah roof a continuation of the upper hip roof.</p>



Table SC6.13.3.14.o– Statement of cultural significance – Hospital and Nurses Block, Doctors House

Site Details	
Site Name	Hospital and Nurses Block, Doctors House
Alternative Name	
Location	
Address	1-11 Highleigh Road, Gordonvale
Lot/Plan	Lot 85 on NR3079
Coordinates	Easting 370849.2 Northing: 8110375.8
Heritage Boundary	The Nurses quarters and 1915 Morgue only
Cultural Heritage Significance	
Criterion B	The Morgue is significant at the local level as a rare building type, having been built on the police site in 1915 and relocated to the hospital in 1926.
Criterion E	The Nurses Block has architectural significance at the local level as a striking design in a modern style by the Cairns architect S.G. Barnes.
History	
Historical Context	<p>A committee was established in 1920 to erect a hospital in Gordonvale 'to the memory of those who gave the supreme sacrifice in the war.' The Soldiers Memorial Hospital was subsequently opened by the Governor General in 1926 with the unveiling of memorial entrance gates. The initial hospital comprised three buildings connected by covered ways – a general ward block, a maternity ward and a nurses quarters. None of these three original buildings or the memorial entrance gates are extant.</p> <p>The Morgue was formerly the Gordonvale Police Morgue built by the Department of Public Works in 1915. It was relocated to its current site at the hospital in 1926.</p> <p>New Nurses Quarters were designed by the architect S.G. Barnes and built in c.1947. Sidney George Barnes was born in New Zealand in 1899 and trained at the Seddon Memorial Technical College. He worked in various Auckland architects' offices before moving to Australia in 1929. He initially worked in Moree, NSW, but was working as an architect in Cairns by 1931. Barnes also designed the Babinda Nurses' Quarters (1951-52) and the Edmonton Ambulance Station (1951). From 1953 he was in partnership with E.H. Oribin. Barnes remained in Cairns until his death in 1959.</p> <p>The central hospital building (formerly a replacement Maternity Block) was designed by the Government Architect J.R. Wray and built in 1958. Recent additions have made its original design impossible to recognise. Further hospital extensions have been carried out in the 2008-2010 period.</p>


Description	
Physical Description	<p>Set on a triangle of land bound by Highleigh, Blackwell and Alley Streets. Hospital block set back 10m from Highleigh Street. Nurses Block set approximately 2m behind Alley St alignment. The Morgue is closest to Blackwell Street.</p> <p>Recent works at the site have made the central maternity building of brick unrecognisable although two buildings remain in near intact condition being the two-storey brick Nurses Block and the 1915 timber Morgue.</p> <p>The central building (former maternity wing) was constructed in 1958 to the design of Government architect JR Wray and was primarily an oblong gabled brick building but the recent additions have made its architecture now impossible to recognise. Further hospital extensions have been carried out in the 2008-2010 period.</p> <p>The Nurses Block is a double-storey brown brick building with a hipped roof clad with corrugated green Colorbond. A parapeted brick porch comprising a round-arched opening with a decorative keystone brick feature, is centrally located on the front elevation. A hipped awning, also clad with green Colorbond, extends over the timber-framed casement windows at ground floor level. A single-storey, semi-circular bay extends from the east side elevation and has a first floor balcony with a solid brick balustrade above.</p> <p>A later steel-framed ramp provides access to a door on the west side elevation.</p> <p>The Morgue is a small, rectangular building of one room. It is timber-framed, clad with weatherboards and covered by a gabled corrugated iron roof.</p>
Images	 <p>The images consist of three photographs. The top-left photo shows a two-story brick building with a green hipped roof and a central arched entrance. The top-right photo shows a similar view of the same building from a slightly different angle. The bottom-left photo shows a small, single-story timber building with a corrugated iron roof, identified as the Morgue.</p>

Table SC6.13.3.14.p – Statement of cultural significance – House, Alley Street

Site Details	
Site Name	House, Alley Street
Alternative Name	
Location	
Address	16 Alley Street, Gordonvale
Lot/Plan	Lot 27 on G47820
Coordinates	Easting 370765.2 Northing: 8110373.9


Heritage Boundary	The house and title land
Cultural Heritage Significance	
Criterion B	The building is of local significance as a rare house form, being a (very) small house and possibly the smallest house in the Cairns Regional area.
Criterion C	The building has local significance as a place that has the potential to reveal information about Queensland's history particularly its use and construction as a workers cottage and the industry or site it was associated with.
History	
Historical Context	<p>The history of this building is not known.</p> <p>The building was possibly built prior to 1920 (based on its style appearance), but may have been relocated to its present location.</p> <p>Note: Around 1948 Frank Gorriss photographed a house of similar size being relocated from the south of town to the north. This house may not be the same one as it appears to be wider than the house at 16 Alley Street.</p>
Description	
Physical Description	<p>A simple low-set timber house with a transverse gabled corrugated iron roof. The sides of the house are clad with weatherboards, while the front verandah is enclosed with timber louvres, asbestos cement and corrugated iron cladding. The house is very small and probably only comprises one or two rooms plus sleepout. There are skillion extensions at the rear.</p> <p>Other small houses are found along Lily Creek in Cairns, with this house being comparable in scale to the smallest in that area.</p>
Images	

Table SC6.13.3.14.q – Statement of cultural significance – Living Waters ATSI Corporation

Site Details	
Site Name	Living Waters ATSI Corporation
Alternative Name	
Location	
Address	76-86 Gordon Street, Gordonvale
Lot/Plan	Lot 2 on RP700342
Coordinates	Easting 370993.7 Northing: 8109943.4
Heritage Boundary	All of the shops and their title land.
Cultural Heritage Significance	
Criterion A	This set of architect designed shops is of local significance as one group of




	buildings that were completed early in the development of the township and predating the requirement to build in fireproof materials. They are the second largest single group and possibly the oldest of any shops established in the town. The other area of shops is along Norman Street but these were redeveloped or burnt down. The Bryce group of stores were to become the largest but these were not developed for another decade.
History	
Historical Context	This row of shops is clearly evident in a c.1916 photograph of Gordonvale. In September 1915, the Cairns-based architect Harvey Draper advertised an invitation for tenders for the construction of five brick shops at Gordonvale and these shops are highly likely to be those advertised, being in brick and a row of identical shops.
Description	
Physical Description	<p>A series of six shop buildings united by a common façade parapet. The frontage of the shops appears to have been modernised at various times even as late as 2010.</p> <p>The building is identifiable in a photograph dated circa 1916, including ball finials on the parapet, a skillion verandah with simple timber posts and brick parapet to the side elevation. The verandah appears to be original and has a soffit lining and battens in a proto Art Deco layout indicating it may have been completed after the building.</p>
Images	

Table SC6.13.3.14.r – Statement of cultural significance – Norman Park

Site Details	
Site Name	Norman Park
Alternative Name	
Location	
Address	67-71 Gordon Street, Gordonvale
Lot/Plan	Lot 8 on G47831
Coordinates	Easting 370938.8 Northing: 8109834.5
Heritage Boundary	All of the Park reserve, the WWI monument, the Howe Monument, Water Tower, and Trees
Cultural Heritage Significance	
Criterion A	<p>Norman Park is the centre of a precinct considered to be of historical importance.</p> <p>Gordonvale was established in what was a sugar cane farming locality known as Mulgrave in the late 1880s. By the early 1890s some settlement had occurred at Swan Street just off the road from Cairns to the south. In circa 1897 a layout plan was devised by the Lands Administration Board for the new township of Nelson and at its heart was a park reserve surrounded on three sides by the civic centre of the town and on the fourth side the Mulgrave Mill and its tramway stop, later to become</p>

	<p>the railway station.</p> <p>The town layout included a Government precinct on the south side of the parkland (Police, Courthouse, Post and Telegraph Office and Ambulance Centre). On the west and north sides freehold land allowed the establishment of hotels and shops. Building regulations by the Shire Council were the cause of the commercial buildings being completed in brick and concrete after the original timber buildings were destroyed or the sites redeveloped.</p>
<p>Criterion B</p>	<p>Norman Park is the centre of a precinct considered to be uncommon as a cultural landscape. Norman Park, along with the surrounding commercial and government buildings face directly onto the Mulgrave Sugar Mill, the reason behind the establishment of the town. The mill is a visually and physically dominant element of the townscape and for six months of the year it is actively producing smoke and steam which drifts across the town from its high chimney stack. Added to this, the noise of the Mill's operation makes the relationship between town and mill quite apparent. The mill is the beating heart of the districts economy and the town is orientated toward it in a manner that appears to have been the deliberate intention of the town's designer in the 1890s. The park, the surrounding shops, the Government buildings and the railway station as well as the Mulgrave Mill are all considered to be integral parts of this (cultural landscape) precinct.</p> <p>The intentional integration of a township around a parkland in an apparent concession to the Garden City movement of the late 19th century, and incorporating the towns main industrial structure, is possibly unique in township development in Queensland.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The earliest plan discovered of what is now the Gordonvale township shows the present day town site as vacant land and the police holding a horse paddock on the north side of the bend in the Cairns - Mulgrave tramway. That plan also showed a 5 acre section of land held as an un-gazetted police reserve in the present location of Norman Park. The plan is undated but post 1895 as it also shows the Mulgrave Mill. On this plan the town of Nelson (the present day Gordonvale) is shown as being just one street (Swan) just above the present day Bruce Highway. The next available plan is the (undated) Lands Department "Layout Plan" for the enlarged township of Nelson. Norman Park is shown set aside as a Municipal reserve with a Police reserve of two acres to its south at the corner of Norman Street and Cannon Street. The land forming Norman Park was subsequently set aside as a gazetted Police Reserve in 1899 (GG1899.2.626) but this inconsistency with the approved Government layout plan which had Norman Park as a Municipal Reserve was not picked up until 1907 when approval was given by the Cairns Shire Council for the construction of Police Buildings which duly proceeded. A flurry of telegrams between Cairns and Brisbane followed and the Council attempted to call a halt to the works. It is clear from these telegrams that there had been a mix up in identifying the reserves for Recreation purposes and Police purposes. The police subsequently halted the works and new Gazetted Notices were issued for the park as reserve R105 of 5 acres (GG 1908.2.616) and a new police reserve of 2 acres to the south as R362. The police buildings constructed in Norman Park were then moved to the new police reserve.</p> <p>The site was subsequently cleared and then appears in early photographs as a flat piece of ground with just a small number of periphery trees and a surrounding wire fence on regularly placed timber posts. In photographs of the site (1916 and late 1930s) there are football goal posts on the north and south ends of the park with little in the way of other structures visible (apart from the water-tower in the late 1930s).</p> <p>The most dramatic change to the site was the construction of the water tower in the south-east corner of the Park. The Cairns Council which was the then municipal authority for the town commenced planning a reticulated town water supply during 1931 with planning progressing to the stage of calling tenders for supply of steel and pipe work by mid 1933. Under the Water Authorities Act (1891) and by an Order in Council the Gordonvale Water Authority, a subsidiary committee of Council, was established to deal with supply, rates and by-laws associated with the reticulated supply and disposal of town water. The GWA commenced on 1 October 1933 and was terminated on 9th December 1942 when the authority for water</p>

supply was returned to the Municipal Council. By that date the water tower had been completed (1935) and rates imposed on the supply of water. No contractor was employed to complete the tower, rather the project used day labour during this (depression) period. According to Cummins & Campbell's Monthly Magazine of 1936, the water tower had a capacity of 60,000 gallons (272,000 litres) and the water was raised from the Mulgrave River by an electrically driven pumping plant.

In 1942 a reinforced concrete public air raid shelter was constructed on the centre line of the Norman Street frontage and this was later cut down to function as an interpretation structure. During World War Two, every State Government was made responsible for civil defence and following the Queensland Civil Defence Order no 1 (GG 23.12.1941) Local Authorities were required to construct public air raid shelters.

In 1943 a further change was made to the park by the removal of a strip of land on the east to create the continuation of Mill Street (GG notice of 27 Nov 1943) thus causing a re-gazettal of the park as a smaller piece of land of 4 acres 1 rood 6.8 perch.

Similarly a further two strips of land were to be removed from the north along Gordon Street, and along the west on Norman Street to allow angled parking. This created some public debate about the appropriateness of such a move and this would have brought the land to 3 acres 3 roods 0 perches. Prior to undertaking this reduction the District Land Ranger for Crown Lands reported on the contents of the Park in a memo of May 1948 indicating that the bomb shelter was being used as a Men's Toilets, another building nearby was being used as a Women's Toilets, and there was a store and four tennis courts where the US Army's 503 Regiment Parachute Packing Shed had been. These sheds were tall corrugated iron structures supplied with electricity from power poles set along the middle of the park.

The base of the Water Tower was noted as being used as a 'bandstand' in the Land Ranger's report. The rough sketch the land ranger completed indicated trees in rows toward the south west corner of the park and this appears to indicate a change of use of the park from predominantly an open playing ground to a more passive recreation site.

In 1949 a 10 year lease was given lease to tennis club and these courts were sited on top of the concrete base of the Parachute Packing sheds. The lease was subsequently extended and continues to 2010. Similarly a lease to the Gordonvale and Districts Children's Playground allowed the creation of playground in the south west corner of the site .

Other items found in the park include the First World War memorial which was moved from intersection of Cannon and Norman Streets in the late 1960s, and the granite obelisk monument to William Seymour Howe erected after his death in 1929.

The last gazettal of the Park was in 1961 (GG 1961.2.260) and this shows the reduction in the park area allowing the long proposed parking on Gordon and Norman Streets thus bringing the land area to 3 acres 3 roods 35.9 perches.

The 'Cane Toad Wall' and playground in the south-western corner of the park was opened in 2001 and followed by the 'Cane Toad Mosaic Story' in 2003 (information from plaques).

The streets which surround the park were at first home to tents until timber buildings were constructed. Amongst the earliest were the Nelson Hotel, then the Post Office and Police Sergeants house and Court House. Others included a butcher shop on Thumm and Gordon Streets (now demolished) but the first masonry building appears to be the set of six shops along Gordon Street constructed in brick with a rendered façade. These were designed by the Cairns architect Harvey Draper in 1915.

Other buildings in the precinct which were timber (such as the Nelson Theatre) survived until they were burnt down by fires and were replaced by concrete buildings, many being completed in the latter half of the 1920s. The largest of these being the Nelson Hotel (now Ye Olde Gordonvale of 1929), Butler's buildings and


	<p>the extensive Bryce stores complex. Two early theatres (the Nelson on Norman Street and another occupied by Sutcliffe Pictures in Gordon Street) were damaged by fires with Beattie's Pictures moving from the Nelson to a new concrete building further along Norman Street. On Gordon Street a new theatre opened in 1934 (The Lyric) only to be closed during the Second World War and then reused as the Return Services League club. Newer buildings in the precinct include the Community Centre, the Gordonvale Library and a former Commonwealth Bank building on Norman Street. The predominant construction period of buildings in the precinct lies in the years between 1912 and 1940.</p>
Description	
Physical Description	<p>The park is a Municipal Reserve bounded by Norman, Cannon, Mill and Gordon Streets and contains mature trees, statues and monuments, buildings and recreational facilities. The park is essentially a squarish area of flat land surrounded by civic buildings, many of two storey concrete construction (hotels) and facing onto the Mulgrave Central Mill on the east. The landscape is essentially trees in the western half and tennis courts in the eastern half of the park. There are a number of monuments - the WWI soldiers' monument on the north and the Howe Monument on the south plus a cane-cutter sculptural monument on the west central alignment as well as an interpretive piece to the earlier settlers and a road grader on the north east corner. Symmetrically arranged on the west are the remnant third of the public bomb shelter, two toilet blocks and a longish faux Federation bandstand. The largest structure is the concrete water tower erected by the Water Board in 1935.</p> <p>Beyond the bandstand are the tennis courts and in the south east corner the dominant reinforced concrete water tower.</p> <p>There are an assortment of other objects found in the park including seating benches (some decayed), picnic tables and chairs, a recently erected notice board, tubular metal gates, power poles, canopy poles, a Bofors gun and a ships anchor (part of the soldiers memorial) and a mounding of earth to form a berm.</p>
Images	

Table SC6.13.3.14.s – Statement of cultural significance – Parkview Hotel (formerly Central hotel)

Site Details	
Site Name	Parkview Hotel (former Central Hotel)
Alternative Name	
Location	
Address	88-92 Gordon Street, Gordonvale
Lot/Plan	Lot 1 on RP734133
Coordinates	Easting 370957.5 Northing: 8109967.5
Heritage Boundary	The whole of the hotel building without reference to outbuildings and all of the title land.


Cultural Heritage Significance	
Criterion A	The Parkview Hotel is of local significance as a longstanding site of accommodation and refreshment in Gordonvale. Originally on the site of a previous hotel (The Central), the Parkview dates from around 1927 when it was rebuilt after a fire that destroyed the original. The building was used in the Second World War as a Red Cross Canteen for the US 503 Parachute Regiment.
History	
Historical Context	<p>The hotel was formerly known as the Central Hotel. The date of construction has not been confirmed, but the Central Hotel was included in Pugh's Almanac of 1910 when the publican was S. Thomas. In January 1927, when the hotel was owned by WN Thomas, the building was completely destroyed by fire. A newspaper report from that time noted that there had been no town water supply, which may have saved the building. The building had been insured for £2,400. Sometime between 1927 and 1931 the hotel was rebuilt by Susannah Thomas at a cost of £9,603. In 1936, permission was granted for alterations and additions to the building.</p> <p>In 1942, the American 503rd Parachute Regiment commandeered the Central Hotel and an American Red Cross canteen was established in the building. A photograph from this period shows the painted sign 'AMERICAN RED CROSS SERVICE CLUB' across the valance of the verandah at ground floor level. The 503rd Regiment trained in Gordonvale before parachuting into New Guinea to help repel the Japanese invasion.</p> <p>The 1940s photograph shows that the building has not changed substantially since that time, but it does show an earlier tiled dado across the ground floor façade, wider slatted balusters to the first floor verandah and casement windows with decorative toplights.</p>
Description	
Physical Description	<p>A two storey hotel with a masonry frontage and unlike other hotels only has a forward verandah and single frontage facing Gordon Street (rather than a two sided verandah like most other hotels on a street corner).</p> <p>The frontage on the lower floor has a dado of tiles and on the upper level door openings and above is a classical cornice.</p> <p>The verandah arrangement has been altered and presumably it was once all timber with timber palings, posts and bracket details. The rear body of the building is exposed as brick and this would make it one of the few brick buildings (as opposed to reinforced concrete) used as a hotel.</p>
Images	

Table SC6.13.3.14.t – Statement of cultural significance – Popular Newsagency

Site Details	
Site Name	Popular Newsagency
Alternative Name	



Location	
Address	50-52 Norman Street, Gordonvale
Lot/Plan	Lot 2 on RP714481
Coordinates	Easting 370845.4 Northing: 8109912.7
Heritage Boundary	The whole of the concrete building and its title land.
Cultural Heritage Significance	
Criterion A	The building is local significance as one of a group of buildings completed in the town of around the mid 1920s when a number of premises were redeveloped after cyclones and fires and all in concrete. The building is a contributor and holds the corner position to a line of similar aged buildings that make up the west side of what is the civic precinct of Gordonvale.
History	
Historical Context	Little is known of the construction of this building but is likely to be mid 1920s.
Description	
Physical Description	<p>Known as Carey's Corner this single storey building is finished in concrete with a metal roof running behind the parapet which is finished in an art deco style and this supports a cantilevered verandah which is original and carries a soffit of strap work fibrous plasterboard.</p> <p>The building façade has been altered by changes to the shop-frontage and at the corner there is a section bricked in using concrete block work. On Gordon Street a number of high windows have their original joinery (finished as X shaped framework).</p>
Images	

Table SC6.13.3.14.u – Statement of cultural significance – Presbyterian Community Church and John Gordon Memorial Hall

Site Details	
Site Name	Presbyterian Community Church and John Gordon Memorial Hall
Alternative Name	
Location	
Address	9-11 Norman Street, Gordonvale
Lot/Plan	Lot 15 on G4788
Coordinates	Easting 370929.7 Northing: 8110165.0
Heritage Boundary	The church and church hall and all the title land

Cultural Heritage Significance	
Criterion E	The buildings are of architectural significance at a local level as architect designed religious buildings in a simple gothic style and one of the few such styled buildings in the study area.
Criterion G	The place is of significance at the local level as a place of worship to the Presbyterian Community at Gordonvale
History	
Historical Context	<p>The concrete Presbyterian church was designed by the architect Richard Hill, who was based in Cairns, and built in 1924. Tenders were called in April 1924 and the building works would have been after this date.</p> <p>The Cairns Post in 1935 advised: "Tenders are being called for the erection of a reinforced concrete hall for the Presbyterian Church, Gordonvale. This has been made possible by a legacy from the late John Gordon. The hall when completed will be of modern design and a decided asset to the town. Tenders close with Rev. Ernest Johnson on Monday, December 16." The porch has a marble stone stating that the hall was opened on 10 June 1936.</p> <p>A photograph dated 1925 shows a gabled weatherboard building with a porch, addressing Sheppard's Street, at the rear of the present church building. The caption to the photograph states that the timber building was the 'Old Church'.</p>
Description	
Physical Description	<p>Both the Church and adjacent Hall are single-storey, gabled concrete buildings addressing Norman Street. However, the Church is more dominant, set back approximately 4 metres from the street, while the similarly scaled Hall is set back approximately 8 metres.</p> <p>PRESBYTERIAN COMMUNITY CHURCH The church is a simple austere Gothic style building of reinforced concrete with a nave, covered by a metal roof. The walls have expressed concrete buttresses and gothic style pointed arch windows giving it the (appropriate) appearance of a church building. There is a small portico on the street façade with a gable roof and pointed arch openings a shape repeated for the timber entry doors.</p> <p>JOHN GORDON HALL A gabled and parapeted building with a central gabled and parapeted porch. A concrete cornice caps both parapets and both gables feature unusually shaped tablets at the apex, with the date (1936) inscribed within the tablet to the main building. The raised concrete letters: JOHN GORDON MEMORIAL HALL have been applied to the front elevation above the porch. The porch has a flat-arched opening on each side and a concrete floor. Pairs of timber-framed casement windows with top lights are located either side of the porch and the main double doors within the porch are framed and boarded. Windows to the side elevations are also paired, timber-framed casement windows with top lights and dimpled glass. A further boarded timber door on the side (south) elevation has a metal awning over it.</p> <p>A concrete block toilet and storage building is built at the rear of the church site and has a flat metal roof.</p>
Images	

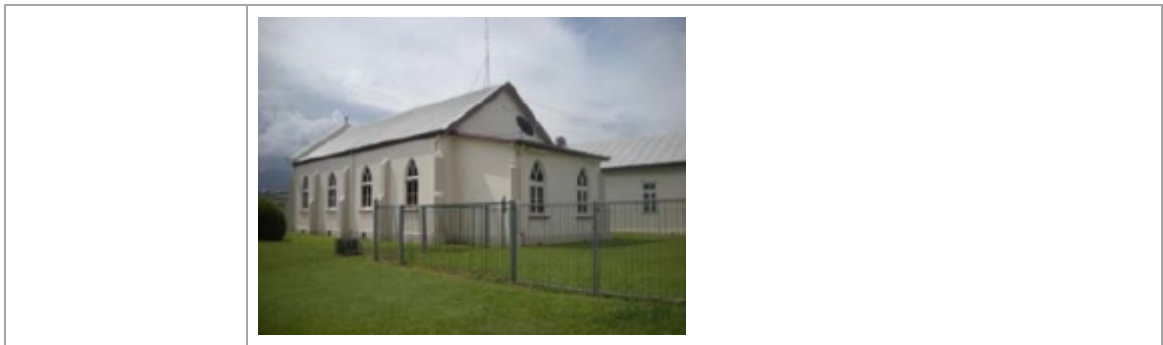


Table SC6.13.3.14.v– Statement of cultural significance – Riverstone Hotel (former Commercial Hotel)

Site Details	
Site Name	Riverstone Hotel (former Commercial Hotel)
Alternative Name	
Location	
Address	64-72 Norman Street, Gordonvale
Lot/Plan	Lot 2 on RP700350
Coordinates	Easting 370830.0 Northing: 8109839.9
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	This building is of local significance as a substantial architect designed and somewhat unusual hotel and function centre and is also one of the larger buildings contributing to the main streetscape making up the civic precinct of Gordonvale. The building possesses an usual aesthetic being somewhat a long squat building with the sheltered jettied balconies
History	
Historical Context	<p>William Alley, with his wife and family, took up the first land on the Mulgrave River in 1879 comprising 640 acres which they named 'Riverstone'. In the following year, Alley built a hotel, known as the Riverstone Hotel on the pack track to Herberton. The hotel burnt down in 1907.</p> <p>The current Riverstone Hotel, which is not sited near the original Riverstone Hotel, was formerly the Commercial Hotel and is located in Butler's Building.</p> <p>The Commercial Hotel opened in 1924 in a building which was previously the City Boarding House, Gordonvale. The licence for the hotel was transferred from the old Mulgrave Hotel. At the time of its opening it was described as 'one of the most up-to-date hotels in the North.'</p> <p>The Commercial Hotel was destroyed by a fire in December 1927. This fire also destroyed the first Butler's Building and other buildings in the town, almost completely destroying the main business portion of Gordonvale.</p> <p>The Commercial Hotel and Butler's Building were rebuilt in 1929 probably to the design of Hill and Taylor who in May 1928 issued tender documents for the "erection of a new Hotel for C. Butler" in Gordonvale. In March 1930, Mr E O'Neil purchased the lease of the Commercial Hotel in Norman Street and it was described at this time as a fine building of concrete with electric lights installed throughout and a septic system.</p> <p>The name change from the Commercial Hotel to the Riverstone Hotel appears to be relatively recent.</p>


Description	
Physical Description	<p>A two storey and long building (approximately 35m) by any standard in a country town, this building is all concrete and is developed with a symmetrical arrangement with long jettied verandah's on the upper level.</p> <p>The section of building which is the hotel contains a large amount of its original detailing including ground floor doors and dado tile work.</p> <p>On the upper level most of the former timber windows have been replaced by metal framed hopper windows.</p> <p>On the left hand half of the building the walls have been removed to ground level and metal framed full length windows have been included. This area may have always been more open with timber framed doors but original drawings or early photographs need to confirm this.</p> <p>The ground level awning has non original post support detail. It is likely that this awning was always cantilevered (i.e. had no posts).</p>
Images	

Table SC6.13.3.14.w – Statement of cultural significance – RSL

Site Details	
Site Name	RSL
Alternative Name	
Location	
Address	94 Gordon Street, Gordonvale
Lot/Plan	Lot 4 on RP714831
Coordinates	Easting 370943.7 Northing: 8109948.6
Heritage Boundary	The hall and its title land.
Cultural Heritage Significance	
Criterion B	<p>The RSL former Lyric Theatre is of local significance as rare form of country building erected specifically as a theatre and multi-function use hall for the town. The building had a dance floor and was used for a variety of purposes such as theatre, card games (on a large scale) and dance. It was subsequently used by the military during WWII as storage and then in the latter part of the war reverted to its original use as an entertainment centre holding dances and showing films.</p>

History	
Historical Context	<p>Originally the Lyric Theatre which officially opened on 24 June 1934, the building was also used as a dance hall and community hall in general. The owners were the English family of Malanda. The theatre programme opened on 30 June with a film called "Kiss me Again" It was purchased by the RSL circa 1952 and the single bay of reworked frontage most probably built.</p> <p>The hall section consists of corrugated iron cladding with timber louvres above.</p> <p>The one reworked section is at the frontage and it consists of an upper level clad in chamferboard, a lower section in block work. The building was used during the Second World War as an entertainment centre.</p> <p>During the war the building was used for storage and there was a high jump tower at the buildings rear. Late in the war the Red Cross (occupying the near adjacent Park View Hotel), organised theatre and dances in the hall.</p>
Description	
Physical Description	<p>A gable ended former cinema and hall building of two storeys with, at the frontage, a section of chamferboard most probably added after 1952 when the RSL took over use of the site.</p> <p>The sides are however corrugated iron and an open ventilated section in the upper segment of the hall wall revealing its origins as a theatre.</p> <p>The roof is corrugated iron.</p>
Images	

Table SC6.13.3.14.x – Statement of cultural significance – Shop 54, Norman Street

Site Details	
Site Name	Shop 54, Norman Street
Alternative Name	
Location	
Address	54 Norman Street, Gordonvale
Lot/Plan	Lot 2 on RP716997
Coordinates	Easting 370844.3 Northing: 8109902.2
Cultural Heritage Significance	
Criterion E	<p>The Bryce stores are of aesthetic importance at the local level. Built of concrete to the designs of Hill and Taylor architects, the three original buildings were symmetrically arranged around the most ornamental structure, the store and residence of two storeys which overlooked the park. Completed in 1928, the whole composition while in concrete was finished in an Art Deco appearance. The aesthetics relate no to one building but to the planned arrangement of the two storey component and the flanking two shops.</p>

Criterion A	The Bryce stores are of historic significance at the local level. T Bryce were a major part of the retail centre of Gordonvale and occupied a central portion of the civic heart. Their three shops and a later fourth took up a long frontage and supplied a lot of the towns needs in terms of hardware, general groceries, drapery and "Manchester".
History	
Historical Context	<p>A notice in the Cairns Post of 1917 indicated that Thomas Bryce would commenced business in a premises occupied by B McCarthy (presumably Norman Street) The existing stores were Constructed in 1928 to the designs of Hill & Taylor architects of Cairns, and consisted of a drapery, hardware and general store.</p> <p>Bryce's closed in 1985.</p> <p>The buildings were most probably constructed as three symmetrically arranged buildings of 1928 with the two storey shop and residence as the central building.</p> <p>The Bryce building at No 56 Norman Street was completed at a later date.</p>
Description	
Physical Description	<p>Part of a series of buildings built for T Bryce retailers on the footpath alignment of Norman Street.</p> <p>The structure is a series of four single storey concrete shops, one with a residence above overlooking the park. The buildings all have gabled parapets which hide the metal roofs behind and carry the words T. Bryce and Gordonvale Stores. The building at No 62 has "& Sons" added under the parapet. The residence is a formalised upstanding stripped classical style element also completed in concrete with a verandah section behind which is a timber wall.</p> <p>The concrete is finished in an Art Deco style (with a touch of stripped classicism) with a dark marble used in the decorative work on the buildings façade.</p> <p>The external wall in from the verandah features all timber joinery. A continuous cantilevered verandah runs across all shops.</p>

Table SC6.13.3.14.y – Statement of cultural significance – Shop/Arcade, 56 Norman Street, Gordonvale

Site Details	
Site Name	Shop/Arcade, 56 Norman Street, Gordonvale
Alternative Name	
Location	
Address	56 Norman Street, Gordonvale
Lot/Plan	Lot 1 on RP732715
Coordinates	Easting 370819.2 Northing: 8109903.8
Cultural Heritage Significance	
Criterion A	The Bryce stores are of historic significance at the local level. T Bryce were a major part of the retail centre of Gordonvale and occupied a central portion of the civic heart. Their three shops and a later fourth took up a long frontage and supplied a lot of the towns needs in terms of hardware, general groceries and drapery and manchester.
Criterion E	The Bryce stores are of aesthetic importance at the local level. Built of concrete to the designs of Hill and Taylor architects, the three original buildings were symmetrically arranged around the most ornamental structure, the store and residence of two storeys which overlooked the park. Completed in 1928, the whole


	<p>composition while in concrete was finished in an Art Deco appearance. The aesthetics relate no to one building but to the planned arrangement of the two storey component and the flanking two shops.</p>
<p>History</p>	
<p>Historical Context</p>	<p>A notice in the Cairns Post of 1917 indicated that Thomas Bryce would commenced business in a premises occupied by B McCarthy (presumably Norman Street) The existing stores were Constructed in 1928 to the designs of Hill & Taylor architects of Cairns, and consisted of a drapery, hardware and general store.</p> <p>Bryce's closed in 1985.</p> <p>The buildings were most probably constructed as three symmetrically arranged buildings of 1928 with the two storey shop and residence as the central building.</p> <p>This Bryce building at No 56 Norman Street was completed at a later date.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Part of a series of shops for T Bryce, the building is completed to the footpath alignment with a awning over the footpath.</p> <p>The structure is a series of four single storey concrete shops, one with a residence above overlooking the park. The buildings all have gabled parapets which hide the metal roofs behind and carry the words T. Bryce and Gordonvale Stores. The building at No 62 has "& Sons" added under the parapet. The residence is a formalised upstanding stripped classical style element also completed in concrete with a verandahed section behind which is a timber wall.</p> <p>The concrete is finished in an Art Deco style (with a touch of stripped classicism) with a dark marble used in the decorative work on the buildings façade.</p> <p>The external wall in from the verandah features all timber joinery.</p> <p>A continuous cantilevered verandah runs across all shops.</p>
<p>Images</p>	

Table SC6.13.3.14.y – Statement of cultural significance – Shop, Marino Moller Lawyers

Site Details	
Site Name	Shop, Marino Moller Lawyers
Alternative Name	
Location	
Address	58-62 Norman Street, Gordonvale
Lot/Plan	Lot 3 on G4783
Coordinates	Easting 370833.4 Northing: 8109873.0
Heritage Boundary	The building and its title land.
Cultural Heritage Significance	
Criterion A	The Bryce stores are of historic significance at the local level. T Bryce were a major part of the retail centre of Gordonvale and occupied a central portion of the civic heart. Their three shops and a later fourth took up a long frontage and supplied a lot of the towns needs in terms of hardware, general groceries and drapery and manchester.
Criterion E	The Bryce stores are of aesthetic importance at the local level. Built of concrete to the designs of Hill and Taylor architects, the three original buildings were symmetrically arranged around the most ornamental structure, the store and residence of two storeys which overlooked the park. Completed in 1928, the whole composition while in concrete was finished in an Art Deco appearance. The aesthetics relate no to one building but to the planned arrangement of the two storey component and the flanking two shops.
History	
Historical Context	<p>A notice in the Cairns Post of 1917 indicated that Thomas Bryce would commenced business in a premises occupied by B McCarthy (presumably Norman Street) The existing stores were Constructed in 1928 to the designs of Hill & Taylor architects of Cairns, and consisted of a drapery, hardware and general store.</p> <p>Bryce's closed in 1985.</p> <p>The buildings were most probably constructed as three symmetrically arranged buildings of 1928 with the two storey shop and residence as the central building.</p> <p>The Bryce building at No 56 Norman Street was completed at a later date.</p>
Description	
Physical Description	<p>This all concrete building (and residence above) was erected to the design of Cairns architects Hill & Taylor. Tenders were called for its erection on 4 January 1928 and it was completed by the end of the year.</p> <p>The structure is a series of four single storey concrete shops, one with a residence above overlooking the park. The buildings all have gabled parapets which hide the metal roofs behind and carry the words T. Bryce and Gordonvale Stores. The building at No 62 has "& Sons" added under the parapet. The residence is a formalised upstanding stripped classical style element also completed in concrete with a verandahed section behind which is a timber wall.</p> <p>The concrete is finished in an Art Deco style (with a touch of stripped classicism) with a dark marble used in the decorative work on the buildings façade.</p> <p>The external wall in from the verandah features all timber joinery.</p> <p>A continuous cantilevered verandah runs across all shops.</p>



Table SC6.13.3.14.z – Statement of cultural significance – Shop, 76 Norman Street

Site Details	
Site Name	Shop, 76 Norman Street
Alternative Name	
Location	
Address	76 Norman Street, Gordonvale
Lot/Plan	Lot 1 on RP716086
Coordinates	Easting 370827.3 Northing: 8109813.8
Heritage Boundary	All of the building and its title land.
Cultural Heritage Significance	
Criterion A	The building is a moderately sized two storey shop house dating to around the 1930s and is part of the evolution of the buildings along Norman Street from timber structures to reinforced concrete. Despite the alterations to the upper verandah in which it was "historicised", the building is never-the-less legible in its architectural intent.
History	
Historical Context	The date of the building is unknown but likely to be the mid 1920s due to its appearance and concrete construction this as a result of changes to the building regulations.
Description	
Physical Description	<p>A two storey shop building with residence above.</p> <p>The lower floor contains two shops and an entry to the upper residence. The shops windows have been framed with metal windows and features leaded glass in a 1920-30s arrangement. The original doors have been replaced by aluminium framed doors.</p> <p>The upper level is surmounted by a pediment, the upper verandah was once with a verandah which had timber detailing to its verandah balcony but this has been</p>

	removed and cast iron lace work inserted. This is probably an aluminium lace and is not of the period of the building.
Images	

Table SC6.13.3.14.aa– Statement of cultural significance – Shops (part of Butler’s Building)

Site Details	
Site Name	Shops (part of Butler's Building)
Alternative Name	
Location	
Address	74 Norman Street, Gordonvale
Lot/Plan	Lot 1 on RP700350
Coordinates	Easting 370827.9 Northing: 8109819.9
Heritage Boundary	The whole of the shop building and its title land and this is part of the larger Butlers Building.
Cultural Heritage Significance	
Criterion A	This building is of local significance as a substantial architect designed and somewhat unusual hotel and function centre and is also one of the larger buildings contributing to the main streetscape making up the civic precinct of Gordonvale. The building possesses an usual aesthetic being somewhat a long squat building with the sheltered jettied balconies
History	
Historical Context	<p>William Alley, with his wife and family, took up the first land on the Mulgrave River in 1879 comprising 640 acres which they named 'Riverstone'. In the following year, Alley built a hotel, known as the Riverstone Hotel on the pack track to Herberton. The hotel burnt down in 1907.</p> <p>The current Riverstone Hotel, which is not sited near the original Riverstone Hotel, was formerly the Commercial Hotel and is located in Butler's Building.</p> <p>The Commercial Hotel opened in 1924 in a building which was previously the City Boarding House, Gordonvale. The licence for the hotel was transferred from the old Mulgrave Hotel. At the time of its opening it was described as 'one of the most up-to-date hotels in the North.'</p> <p>The Commercial Hotel was destroyed by a fire in December 1927. This fire also destroyed the first Butler's Building and other buildings in the town, almost completely destroying the main business portion of Gordonvale.</p> <p>The Commercial Hotel and Butler's Building were rebuilt in 1929 probably to the design of Hill and Taylor who in May 1928 issued tender documents for the "erection of a new Hotel for C. Butler" in Gordonvale. In March 1930, Mr E O'Neil purchased the lease of the Commercial Hotel in Norman Street and it was described at this time as a fine building of concrete with electric lights installed</p>


	<p>throughout and a septic system.</p> <p>The name change from the Commercial Hotel to the Riverstone Hotel appears to be relatively recent.</p>
Description	
Physical Description	<p>Part of the Butlers building (this having separate title).</p> <p>A two storey and long building (approximately 35m) by any standard in a country town, this building is all concrete and is developed with a symmetrical arrangement with long jettied verandah's on the upper level.</p> <p>The section of building which is the hotel contains a large amount of its original detailing including ground floor doors and dado tile work.</p> <p>On the upper level most of the former timber windows have been replaced by metal framed hopper windows.</p> <p>On the left hand half of the building the walls have been removed to ground level and metal framed full length windows have been included. This area may have always been more open with timber framed doors but original drawings or early photographs need to confirm this.</p> <p>The ground level awning has non original post support detail. It is likely that this awning was always cantilevered (i.e. had no posts).</p>
Images	

Table SC6.13.3.14.ab– Statement of cultural significance – St Michaels Catholic Church

Site Details	
Site Name	St Michaels Catholic Church
Alternative Name	
Location	
Address	58-64 Mill Street, Gordonvale
Lot/Plan	Lot 601 on SP233215
Coordinates	Easting 370932.9 Northing: 8109431.1
Heritage Boundary	The church, convent school building and presbytery.
Cultural Heritage Significance	
Criterion E	The buildings are of architectural significance at the local level as a group of both architect and non architect designed concrete structures with the most dominant in an Interwar Romanesque style.
Criterion G	The place is of significance at the local level as a place of worship and school to the Catholic Community at Gordonvale. The earliest building dates from 1922 (the convent school), 1934 (the church and circa 1936 the Presbytery).

History

Historical Context

The CHURCH
 The foundation stone was laid by Archbishop Berardini on Sunday 15th July 1934 (CP 14 July 1934 p8). The church was built to "have an imposing appearance" and fronting the Mulgrave River. The building was built of reinforced concrete and said at the time to be "Romanesque" in style and " architecturally correct". The church might otherwise be considered as stripped classical with baroque style projecting entry arches supported by squat columns. The roof is corrugated iron.

Provision was made for a main and two side altars. There is a front and two side porches, two large sacristies at the rear, with baptistery and choir gallery in the front. The ceiling and interior are said to have been also "carried out in the Romanesque" style although it is minimally decorated. The overall dimensions are 32m x 13m externally and 30.75 m x 12.2 internally.

According to news reports at the time of opening the design was devised by Rev. Father Phelan and Mr. J. Garvey (a building contractor) of Cairns. At the time of commencement of construction it was expected that the work would take three months and employ local labour. It was also intended to undertake a tree planting programme after the completion of the construction phase.

THE CONVENT SCHOOL
 The foundation stone was laid by Bishop Heavey on Sunday 8th October 1922. The building is two storied reinforced concrete, 15.25m wide x 13.7m to the design of Richard Hill architect of Cairns. The builder was T B O'Meara and the cost £1800. It was intended that the building be completed by the end of 1922. (Ref CP 15 Sept 1922 p4).

The school was opened and blessed in 1923 and placed under the patronage of St Alphonsus, and it was known by this name during its early years of service. The original school was located in Muir Street and has now been converted into a Parish Hall. The present St Michael's school was opened in December 1959. The Sisters of Mercy ran the school from 1923 - 1990.

THE PRESBYTERY
 The presbytery is slightly naïve in its architectural presentation particularly with its ground floor gothic style windows which are not carried through to the upper level and the arrangement of the upper level sitting on the lower section. Whether this was a smaller single storey house with a new section built on top has not been established.

A newspaper report of 1938 indicated that Father Kendrick, the first Parish priest, planned and finished the building himself and this goes some way to understanding its unusual appearance. Kendrick had arrived in Gordonvale in 1934 so the house must date to circa 1936 (+/- 1 year) as Kendrick died just before Christmas 1938 aged 29 years. (CP 23 December 1938 p 7).

Description

Physical Description

The precinct comprises the church, presbytery and the former convent (now a school). All three buildings address Mill Street, but the church is set further forward (approximately 10 metres from the street) and is the most prominent element.

CHURCH
 The church is a Romanesque inspired building with stripped classical features but detailed porch hoods. The architecture might also be thought of as "Interwar Free Classical" The church faces onto the Mulgrave River and is set approximately 10m in from the footpath. The building is sparingly detailed (presumably because of the concrete construction). An arched porch roof projects forward over the entry steps and is supported on somewhat squat columns.

The building rises above in a sheer manner. The windows are primarily lancet shaped with a circular east window above the entry portico. The frontage is broken into three panels and arranged symmetrically.

PRESBYTERY
 Set in from the street corner by some 20m and addressing Mill Rd and the Mulgrave



	<p>River the house is provided with space for a cottage garden in front although there is no fence against which to conclude the composition of garden and house. The house had been planned by Father Kendrick and no doubt further work may have been proposed by Kendrick for the house frontage and yard but his life was cut short after only 4 years in Gordonvale.</p> <p>The house is two storey concrete with a roof of corrugated iron which takes up a number of shapes covering various areas of the house. The main roof is a transverse gable with two sections pulled forward as gabled sections. On the upper level the windows are timber casements and on the lower level there is a pair of gothic style windows. The lower level also appears as if it once had an open verandah on the east and south side of the house but now filled in.</p> <p>FORMER CONVENT (NOW A PART OF THE SCHOOL) A double-storey concrete building in a loosely Gothic style, covered by a hipped corrugated iron roof with side gablets and ventilated, battened eaves. A gabled roof extends over a projecting central entrance bay and a concrete, Celtic style crucifix is mounted above the apex of each side gablet. A double-storey, concrete-framed verandah wraps around the front and sides of the building, but has been largely enclosed with only the front ground floor section left open. The verandah has solid concrete balustrades and, at ground floor level, an ogee and stepped concrete head to each bay.</p> <p>The building is set approximately 15m in from the footpath The entrance bay comprises a flat-arched opening at ground floor level with a raised rectangular panel featuring simplified floral motifs above the opening and with similar panels to the sides. A recent sign: 'St Michael's School' has been fixed over the top panel and a cornice moulding extends above it and across the elevation. At first floor level, a large, central pointed-arched window opening is flanked by two small pointed-arched windows. Timber-framed casements with coloured glass top lights are fitted within each window opening. A raised square panel, similar to those at ground floor level, but smaller, is located in each of the top corners and an open timbered gable extends over the entrance bay.</p> <p>A central, multi-panelled door with leadlight top and side lights provides the main entrance into the building, while ornate half-glazed double doors, with circular coloured glass panels and bolection mouldings, provide access from the entrance porch to the ground floor verandah's. Recent powder-coated windows have been fitted within the verandah openings at ground floor level of the side elevations and have replaced original windows elsewhere at ground floor level. Sets of timber-framed casement windows, glazed with obscure glass, enclose the verandah at first floor level.</p> <p>Double-storey alterations to the rear of the building provide links with the modern, adjacent school building.</p> <p>A fence around the former convent comprises a low concrete base and two rows of pipe between concrete piers with pyramidal caps. The central pedestrian entrance is a splayed ingo with missing gate.</p>
<p>Images</p>	



Table SC6.13.3.14.ac– Statement of cultural significance – Ye Olde Gordonvale Pub (Gordonvale Hotel)

Site Details	
Site Name	Ye Olde Gordonvale Pub (Gordonvale Hotel)
Alternative Name	
Location	
Address	82-84 Norman Street, Gordonvale
Lot/Plan	Lot 2 on RP718709
Coordinates	Easting 370834.2 Northing: 8109784.2
Heritage Boundary	The whole of the hotel and its title land. Adjacent components include the hotels former garage (now a rural supply store) on Cannon St at the rear and the Hotels Theatre room on Norman St adjacent at No. 78-80.
Cultural Heritage Significance	
Criterion D	<p>The Gordonvale Hotel is of local significance as a large corner Hotel of traditional Queensland design which has been associated with the development of the town and marks the corner of the civic portion of the town.</p> <p>Built in 1929-30 after a fire, the hotel's re-establishment quickly refilled an important corner of the town.</p>
Criterion E	Gordonvale Hotel is of aesthetic importance as a large and competent design (most probably by Ed Ordhard architect) in what has come to be seen as a Queensland Style hotel of the 1920s and 1930s and featuring a wide upper level verandah on two important streets which define the middle of the town.
History	
Historical Context	<p>Painted signage on the verandah proclaims the hotel was established in 1899, this was as the Nelson Hotel. The Nelson Hotel most likely started as a tent or temporary structure and a more permanent timber building was constructed in 1902.</p> <p>The Nelson Hotel was routinely listed in Pugh's Almanac between 1910 and 1926.</p>

	<p>The publicans changed relatively frequently over this period and included Joe Cannon (1910), TH Anderson (1916), A. Ingles (1921) and Mrs LI Simpson (1926).</p> <p>A fire on 7 April 1929 destroyed the building (then named the Carlton Hotel) and the adjacent Nelson Theatre. The fire started in the Theatre and spread to the timber Carlton Hotel destroying both.</p> <p>Reconstruction of the hotel commenced in the second half of 1929 and was completed by mid April 1930. An article in the Cairns Post of 16 April 1930 identified the builder as T.B. O'Meara, the sites owner as A.L. Walker and the licensee as Jack Jones who had the building renamed The Gordonvale Hotel at the licensing court in the latter part of 1929 possibly to dissociate it with the fire. While the architect is unknown it is likely to be Hill and Taylor or (less likely) Lordan and Tills who undertook work in Gordonvale.</p> <p>The garage and showroom on Cannon St and the Theatre building on Norman Street were completed after the Hotel Building.</p> <p>The interiors of the upper rooms were furnished by Messrs A.J. Draper of Cairns.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The hotel is a two storey concrete structure with a post supported verandah stretching over the footpath. The building is near intact with timber sash windows and doors at the street level and timber French doors on the upper level.</p> <p>The verandah mid-level fascia is in AC framed by timber sections and the verandah balcony is similarly constructed. The verandah soffit is finished with ripple iron. The timber posts on the upper verandah carry outrigger brackets which support a secondary verandah roof jettied out over the street . Above the verandah the main roof form is partially hidden by a parapet completed as large panels. The corner panel carries the date 1929.</p> <p>The bar floor is concrete.</p> <p>At street level the exterior has a light coloured tiled dado (a faux stone finish) with black finger tiles and dado moulding and this is carried up to the windows many of which are original vertical timber sashes with windows on Norman St being alterations. Doors and windows to the upper level accommodation all appear to be original.</p> <p>To the rear on Cannon St is the hotels garage now a rural supply store in brick and timber with a corrugated iron roof and large timber doors.</p> <p>On Norman St adjacent is the Hotels Theatre building now a Squash Court, Laundromat and flat. (See datasheet for No 78-80 Norman St).</p>
<p>Images</p>	



SC6.13.3.15 Kamerunga

Table SC6.13.3.15.a– Statement of cultural significance – Cairns Water Kamerunga Treatment Plant

Site Details	
Site Name	Cairns Water Kamerunga Treatment Plant
Alternative Name	
Location	
Address	1-39 Harley Street, Kamerunga
Lot/Plan	Lot 323 on SP254662
Coordinates	Easting 360234.9 Northing: 8133077.8
Cultural Heritage Significance	
Criterion C	<p>The former State Nursery has archaeological significance as a place on which Nursery activities took place and this included the establishment of buildings. The evidence of the layout of the site and plantings and the types and sizes of the buildings is not well documented.</p> <p>The former State Nursery has scientific significance as a place where plantings of the late 19th and early 20th century were established and acclimatized. The extant plantings found on the site today have the potential to provide scientific evidence of the genetic basis of plants imported from other countries, particularly New Guinea and the Pacific basin.</p>
Criterion H	<p>The land which is a portion of the former State Nursery is of local cultural heritage significance for historical, archaeological and scientific reasons.</p> <p>The former State Nursery has historic significance as a Government Nursery established in 1889 to grow and sell plants which had been acclimatized to the conditions of tropical North Queensland. These plants were grown to provide an economic stimulus to industry in North Queensland through the provision of food plants, fibre plants and other 'economic' plant species such as India Rubber plants. A house was built and the first nursery man Mr. Ebenezer Cowley appointed. Upon his death in 1899 Mr. F Newport a coffee growing expert was (initially) appointed as a temporary manager of the nursery.</p> <p>The land was extended several times to cover some 720 acres but in the end the venture proved (ironically) un-economic and was closed by 1916.</p>
Archaeological Potential	High potential for archaeological investigation of the layout of the site, the location of buildings and groups of plantings.
History	
Historical Context	<p>The earliest mention of the establishment of State Nurseries occurred in September 1888 when there is a newspaper report of Mr Peter McLean, the Queensland Under Secretary of Agriculture containing a discussion on the worth of ' test stations' or experimental farms in tropical Northern Queensland.</p> <p>It was reported that he strongly advised against this notion but was favourable to the idea of State Nurseries in Mackay and one further north in a true tropical zone where there was abundant rainfall and particularly in the Cairns region. The purpose of such a nursery would be to grow a variety of economic and fibre plants. (Queenslander, Sept 29 1888) While selectors had offered land for such a purpose, McLean was of the opinion that it would be better to secure land already set aside as Crown Reserve and as such, a site at Kamerunga, 10 miles from Cairns with a rail siding on the Cairns to Herberton line offered a good location allowing plants landed at the Cairns Port to be delivered direct to the nursery. The (Crown) land within the rail reserve was covered with dense scrub and would require clearing.</p> <p>The Queensland Government approved the idea and the Courier Mail of 16 October 1888 reported the surveying of 20 acres of land around Kamerunga for a Nursery</p>

reserve (particularly at the southern end of the township). This reserve would be later added to in 1892 by Extension No 1 (R87) on land formerly under the control of the Railways on the Barron River. In 1895 a second small extension (R88) was made (bringing its size to 308 acres) and then finally a large extension was made of some 720 acres to the west of the original land reserve. This was mostly in steep land and in many ways unsuitable for the required gardens. R87 was cancelled in 1921 and R88 was cancelled in 1931. R170 (consisting of the large extension and the original nursery land) and was cancelled in 1919.

Kamerunga was a newly established town and in just the year prior (1887), the township - on the banks of the Barron River, was still having streets and allotments cleared of scrub and trees and the Lands Department in Brisbane was advertising tenders for this work during mid 1887. In late 1887 various reserves were being set aside for a Post and Telegraph office, recreation and rail line work and then land was subsequently sold for housing and commercial activities.

By mid 1888 the whole of the Cairns - Herberton railway line was ready for opening with a small branch already existing at Kamerunga being on the bottom of the steep climb up the range. In early 1889 the Department of Agriculture was inviting tenders in the Cairns papers for clearing the site for the State Nursery at which it is intended to carry on experimental plantings of useful tropical plants. It was intended that operations would be commenced as soon as the season was favourable. (Brisbane Courier Mail, 26 January 1889).

By March 1889 an area of 20 Acres 3 rood 28 perch was officially set aside as a Reserve for the Nursery near the town and bounded on three sides by Warden St (west), Hythe Street (north) and Harley St (east side). At about the same time tenders were being called by the Department of Agriculture for the erection of overseer's quarters which was a basic four room cottage of the same design as the one planned for Mackay. (Brisbane Courier Mail, 22 March 1889).

The design of the cottage contains a verandah, sitting room, two bedrooms and a kitchen. The plan is held in the State Archives. Notes also held at the archives indicate that A.J. Draper of Cairns had been contracted to clear the site and erect the cottage. This cottage was later augmented by a larger house nearby and this is partially visible in a photograph held by the State Library of Queensland.

The Courier Mail of 9 September 1889 announced the appointment of Ebenezer Cowley as the overseer of the Nursery. Mr. Cowley was active in local social events and in providing advice to the agricultural community particularly in areas of sugar cane, India rubber and coffee growing which resulted from a number of trips he made particularly to New Guinea to collect specimens. Mr Cowley's death was reported in the Brisbane Courier Mail of 9th February 1899. A month later Mr F Newport a coffee expert employed by the Department temporarily took over the running of the Nursery.

The types of Economic Plants grown in the nursery for the 1893-94 period included fruits (citrus, coconuts, bananas, mangoes, custard apple), grasses (sugar canes, millet, red grass, hemp), vegetables (okra, taros and yams), dye plants (indigo, safflower), beverages (cocoa, coffee) as well as a variety of other items such as rubber, perfume plants, sponges and so on. The first one page Departmental published list contained approximately 100 plants under cultivation and the list in subsequent years ran to several pages.

The Nursery made stock in the form of plants, cuttings and seeds available for purchase and these were to induce agricultural investment through fruit trees, stock fodder plants, silkworm plants, broom making millet seeds and many more that had proved to be successful in the tropics. In 1893 this list had twenty items and for the following year it was predicted that a further 25 economic plants would be available for purchase.

During Cowley's occupation it was found that the tropical seasons were insufficient in supplying water to the plants and it was decided that water should be drawn from the Barron River some distance below the site.

After consideration and investigation it was decided to run a supply pipe along the west of the township from the river where there was a rail reserve which could be re-allocated for agricultural use (for a pumping station).


	<p>An engineering investigation determined the size of pipe and pump plant required and tenders called from firms in Brisbane such as Smellie & Co and A. Overend & Co. both of which supplied costs and illustrations of portable steam driven pumping plants in the latter part of 1893. The proposals were for a Cornish Direct Acting Steam Pump and for a separate " Reliable" brand boiler and fixed pump (from Overend).</p> <p>The supply was to be run along Warden Street and then to a high tank on the Nursery site where it was gravity fed to the supply taps, thus requiring the river plant to be run at set times to refill the high tank. The Nursery site was extended westward on two occasions to bring its size to a total of 308 acres before it was closed in approximately late 1915 when it was suggested that the Shire Council could take over the site and run it as a garden.</p> <p>In June 1916 there is a report in the Brisbane Courier Mail in which Mr Lennon MLA, Minister for Agriculture makes mention of Kamerunga State Nursery (by then known as Kamerunga Gardens), being a place that much money was expended on but where the returns did not warrant the investment. Subsequently water was cut off and the supply pipes removed by the Department of Agriculture (also reported in The Brisbane Courier mail 17 October 1918). This gave the council much cause for concern in running such a parkland without the necessary water supply.</p> <p>In subsequent years the Department was condemned by local residents for allowing the purpose of the site as a State Nursery to become rundown.</p> <p>In the 1940s the site was used as a Department of Agriculture and Stock's Plant Industry Division as a test station for the Horticultural Branch. Archival papers relating to the station date to as late as 1989.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A rectangular block of land used as a Council pipe depot bounded on the east by Harley Street and backed by hilly scrubland.</p> <p>Generally an open area which is just a portion of the original reserve containing groves of trees, channels and rock walls all of which appear to be of the 20th Century.</p> <p>There is a house on a high portion of the land which appears to be of the 1970s and a large pipe depot on the lower portion of the land and this includes a large metal shed of circa 1980s.</p> <p>Most of the built structures are 20th C while the trees are likely to date from the latter part of the 19th and early 20th Century.</p>
<p>Images</p>	

Table SC6.13.3.15.b – Statement of cultural significance – Kamerunga Lower Bridge

Site Details	
Site Name	Kamerunga Lower Bridge
Alternative Name	
Location	
Address	Stoney Creek Road, Kamerunga
Lot/Plan	Lot 734 on NR7826
Coordinates	Easting 359570.9 Northing: 8133893.3
Heritage Boundary	All of the bridge and 10m buffer zone and both approach ends of the bridge
Cultural Heritage Significance	
Criterion A	<p>The ferro-concrete Kamerunga lower bridge is of historical significance in the history of the Cairns regional area. Built at the end of 1910, and opened in 1911 to the design of the Cairns Harbour Board engineer Mr C. N. Boulton, the bridge was the first to allow an easier crossing from Cairns to its northern hinterlands and to townships beyond. Although it was not always available due to flooding of the Barron River, it did afford a simple dry crossing for people and carts (and then cars) until a higher crossing was completed in timber at Stratford. This second crossing was partly swept away and eventually a third bridge was completed before a modern bridge was installed east of Stratford in 1977 carrying the current line of the Captain Cook Highway.</p> <p>In 1979-80 a new high level bridge was completed from Kamerunga to Caravonica finally making obsolete the need for the Kamerunga lower bridge by those in the Redlynch, Freshwater, Kamerunga and hinterland areas. The bridge and its approaches were subsequently converted to a passive recreation area.</p>
Criterion F	<p>The Kamerunga lower bridge is of technical significance at a regional level. Although an early use of reinforced concrete (ferro-cement) in Queensland, the structure was unadventurous in form never achieving the scale or drama of other structures such as the 1890 Gairloch bridge at Ingham (longer and wider) the concrete Lamington Bridge at Maryborough of 1896 (substantially larger), or the William Jolley Bridge in Brisbane of the late 1920s being one of the larger, more dramatic and more aesthetic uses of concrete in a bridge structure.</p> <p>The creation of the bridge to withstand constant flooding through the use of concrete has proved to be a wise decision, the structure having withstood countless flooding events and all forms of loadings while this remained the only pathway to Cairns' hinterland. As a bridge of some 100 years old, its fabric is substantially intact and is still useful as a pedestrian crossing although it is no longer associated with the contemporary road network.</p>
History	
Historical Context	<p>Crossing the river from the Cairns area to towns and farms on the north-side of the Barron River was initially best avoided with traffic best placed on coastal shipping to Cooktown or the burgeoning area of Port Douglas which established in late 1877.</p> <p>Otherwise a local crossing could be effected from Cairns to Smithfield via boat or horse back via a ford on the north east edge of the town of Kamerunga, itself not established until 1887. This latter location was hazardous if the water was fast flowing or the river in flood which could often be the case after torrential rains. Even after a bridge was built here in late 1910, it was still hazardous if there was flooding over the bridge and photographs of the crossing show the difficulties encountered with horse and cart being near swept away.</p> <p>The possibility of establishing a punt had been investigated in the Stratford area during early 1910 by Councillor Mason who owned farmland in the area and discussions were had by the Council as to the traffic likely from the north side to the south via either the ford crossing at Kamerunga or Redlynch but traffic appeared to be mostly detouring via the Kamerunga ford when convenient and low river flows</p>



	<p>allowed.</p> <p>In mid 1910 it was decided to proceed with a bridge at Kamerunga and the Cairns Post of 26 July 1910 carried a notice of an application for Government loan funds of £850 with the plans and specification of the new bridge being available for viewing at the Cairns' Council office. This loan was eventually approved by the Queensland Government in October 1910. In September the council moved to immediately release £150 for the driving of the bridge piers prior to the wet season and Mr Boulton the engineer was to be asked to look to commencing the works as soon as practicable.</p> <p>By November 1910 it was reported that five piles had been driven and work was progressing satisfactorily and it was hoped all work would be completed before the wet season. The Post reported on 31 December the "newly completed bridge" had withstood floodwaters five feet over the deck in a satisfactory manner. At the beginning of January 1911 (the 5th) the bridge was due to be opened in an official celebration but this was delayed due to flooding. The completed width was 4m and the bridge stood approximately 1.5m above normal flow height.</p> <p>This ferro-concrete bridge was the first bridge crossing to be completed on the Barron but it still meant a long round trip to Cairns for those farming in the Smithfield area until a higher level timber bridge (known as the Farmer's Bridge) was completed at Stratford in 1921. This timber bridge required the use of the Cairns Harbour Board pile driving equipment to place the 6m piles into the riverbed. The main function of the bridge was to transport sugar cane (although it could be crossed by pedestrians and horses) and eventually a tramway was constructed on its deck.</p> <p>This bridge was partly swept away during a cyclone and the consequent flooding during 1927. It was then determined to renew the missing sections in a more substantial structure. Being timber this renewed bridge continued to suffer damage from flooding and in early 1929 the damage to the bridge required sections to be lifted out and the bridge closed. After 1929 the Cairns Shire Council decided to wait until the Main Roads Commission determined a new route to the northern townships before committing to any repairs. Although some repairs were effected a new bridge was proposed in 1932 which bolstered the local prices of real estate on the basis of "being near the proposed bridge". By August 1932 the bridge was firming as a reality and by October tenders were being invited for its construction.</p> <p>This resulted in the 1933 eighteen span bridge built on concrete piles with a timber superstructure. This brought traffic directly into the commercial heart of Stratford. This bridge lasted a considerable time until an all concrete (prestressed) bridge was completed in 1977 approximately 600m further to the east serving the realigned Cook Highway.</p> <p>A duplicate of this bridge was built alongside in 1988 to carry north bound traffic. Planning for a high level crossing at Kamerunga also commenced in the late 1970s with a tender accepted for construction in February 1979 and opening to traffic in late 1980.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A low concrete bridge crossing the Barron River and running between Stoney Creek Road Kamerunga and Lake Placid Road, Caravonica approximately 1km north west of the Kamerunga township.</p> <p>The bridge is now part of a recreation reserve.</p> <p>A single lane all concrete bridge comprising pairs of square piers supporting a flat car deck. The bridge has upstand kerbing approximately 200mm high on both sides, but the upstream side has been worn down by constant flooding of the river. Similarly upstream piers and the concrete underside have suffered the scouring effects of flooding.</p> <p>The bridge is 4 metres wide, with a crossing length of 38 metres. The longer southern approach across a sandy and rocky deposition of river soils is 51 metres while the north end immediately meets a rising asphalt roadway in the embanked area of the river.</p>

	The bridge concrete is coarsely manufactured and uses 'un-deformed' thick round steel bars.
Images	

Table SC6.13.3.15.c– Statement of cultural significance – McHugh Activities Centre (Kamerunga Scout Camp)

Site Details	
Site Name	McHugh Activities Centre (Kamerunga Scout Camp)
Alternative Name	
Location	
Address	Stoney Creek Road, Kamerunga
Lot/Plan	Lot 406 on NR8027
Coordinates	Easting 359070.4 Northing: 8133703.9
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion G	The Kamerunga Scout Camp was a facility founded and constructed by members of the Cairns and District Local Association of Boy Scouts, for use by all of the scout troupes in the Cairns area. The camp was founded in the late 1950s and used continuously until the late 1990s and although it is no longer in use by the scouts the fabric retains tangible associations with scouting in the Cairns area.
History	
Historical Context	<p>The Kamerunga Scout camp site was secured by the District Local Association of Boy Scouts in August 1954. Financial assistance was provided by the Rotary Club of Cairns and the seventeen acre lease was donated by Messrs. Salathiel Bros. The design of the hall was inspired by the buildings noted by Baden Powell in Mafeking and based on a sketch created by a Scout in 1954.</p> <p>The hall was built between 1955 and 1958 by Cubs and Scouts from the numerous scouting troupes of the Cairns area, as well as parents and friends and members of the Rats of Tobruk. The hall was constructed using mass concrete poured into formwork over stones sourced from the nearby creek. These abutments, of solid construction to possibly mitigate the risk of impact from landslides emanating from the steep slope above, were rough faced concrete both inside and out.</p> <p>A description of the hall at the time of construction detailed the layout as follows: 'The hut measures 40 ft. x 30 ft., with a main room 40 ft. x 15 ft., with a partitioned portion for the use as the Lady Clubmaster's dressing room. It contains 27 bunks for Cubs, a refrigerator, septic, wash basin and shower, and on the verandah, a sink and a stove.'</p> <p>The Kamerunga Scout camp was officially opened in April 1958 by Stan Watkins and William Fulton (Mayor of Cairns). The purpose of the camp was primarily for the use of Cubs, for Pack camps and Pack holidays, secondly as a Headquarters building for Training Courses, and thirdly as a store room for camping equipment for</p>

	<p>troops.</p> <p>Other elements on the site included Akela's Stone, a large stone platform located adjacent to the hall, which was used in Cub Scout Investiture Ceremonies, and the Morris Memorial Gate constructed at the entrance to the site in 1961 in honour of Mr. Morris, who was a former city engineer and District Commissioner of the Boy Scouts. Beyond the immediate environs were also a Rovers' altar built in the early 1960s for the investiture ceremonies of the Kamerunga Rovers, and an open air non-denominational chapel with stone obelisk and timber bench seats, located within the adjacent National Park.</p> <p>Additional bunkhouses, extensions and modifications to the hall, including a toilet block extension and a garage, were built in the 1980s and 1990s. The site was no longer in use as a Scout camp from the late 1990s.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Bushland setting on Stoney Creek Road, with the buildings set some distance from the road. The site and buildings are difficult to see.</p> <p>The main building is a low set hall with a deep verandah extending along one long side and supported on tapered concrete piers. Separate skillion roofs, raking at opposing angles, cover the main building and verandah. Later toilets have been added to the rear. The verandah has been infilled at a later date.</p> <p>The site also contains smaller buildings including a bunkhouse and garage.</p>

SC6.13.3.16 Little Mulgrave

Table SC6.13.3.16.a – Statement of cultural significance – Anderlini (assumed to be Leoni Barracks)

Site Details	
Site Name	Anderlini (assumed to be Leoni Barracks)
Alternative Name	
Location	
Address	Irvin Access, Little Mulgrave
Lot/Plan	Lot 211 on RP838265
Coordinates	Easting 361984.6 Northing: 8104979.8
Heritage Boundary	All of the building and a 5m buffer zone around it
Cultural Heritage Significance	
Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic.</p> <p>Accommodation was placed closed to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p>
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British</p>



	<p>descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Set within a complex of farm buildings and approximately 110m south of the access road and on a small rise above a man made cliff edge.</p> <p>A double-ended barracks building clad with corrugated iron. It comprises five rooms and has a kitchen at either end. A section under the verandah has been clad and it appears as though the verandah was previously enclosed. The building has a sawn timber frame and is set on concrete stumps with a timber floor. Most of the windows are casements, but some are glass louvres with iron hinged covers. The ablution block is separate.</p>
<p>Images</p>	



Table SC6.13.3.16.b – Statement of cultural significance – Mountain View Hotel

Site Details	
Site Name	Mountain View Hotel
Alternative Name	
Location	
Address	Gillies Highway, Little Mulgrave
Lot/Plan	Lot 2 on RP707325
Coordinates	Easting 364174.9 Northing: 8104433.1
Heritage Boundary	To the extent of the 1926 building and the title land
Cultural Heritage Significance	
Criterion D	The Mountain View Hotel is of local historic significance as the first (and only) hotel to be established on the newly completed Gillies Highway from Gordonvale to the top of the Range. The hotel intended to take advantage of the one way system established for motor vehicles whereby cars and their passengers often had to wait at the bottom (or top) for their chance to ascend (or descend) the range according to the times set out for the one way system which had been established because of the narrowness of the roadway and the lack of passing points. Those arriving late could be enticed to lunch or dine at the hotel while they waited for their turn on the road. Tolls were collected on the road until 1945 whereas the one way system was still in place until the late 1950s when the road was finally widened. The building is of importance providing services to the burgeoning tourist trade when erected.
Criterion E	The Mountain View Hotel has aesthetic significance as a two storey timber hotel of the mid 1920s albeit with some removal of original features.
History	
Historical Context	<p>The construction of the Tolga-Johnstone railway (a spur of the Cairns-Atherton line) was commenced in 1907 and supported the European settlement and development of the southern Atherton and Evelyn Tableland areas. The high rainfall, steep grades, and numerous creeks and rivers which required bridging, delayed the completion of the line and it was not until 1921 that it finally reached Millaa Millaa. A rail strike in 1917 revealed the Tablelands dependence on a combination of local roads and the railway to transport produce. Tableland residents lobbied for a road connection with the coast and the Gillies Highway was subsequently surveyed and planned.</p> <p>The route of the Gillies Highway was surveyed in 1922 and the road was opened in 1926. It connected Gordonvale with the Tablelands, via Yungaburra, and also supported tourism to the area. The road initially operated on a one-way system with times specified for ascent and descent. But this system was not always honoured, and gates were subsequently built at the top and bottom in 1930 and a toll imposed. The toll lasted until 1945; but the one way system last much longer with it still being noted on Royal Automobile Club maps into the 1950s. Widening work on the road commenced in 1958, and the two-way Gillies Highway was finally opened in 1959 thereby doing away with the up-down system.</p>

	<p>The Gillies Highway was named after William Neal “Farmer” Gillies, Secretary for Agriculture and Stock (and briefly Premier in 1925), who was instrumental in the passing of the Main Roads Act of 1920. William Reinhold, First Supervising Engineer for the Main Roads Board in North Queensland, determined the route of the Gillies Highway between Gordonvale and Yungaburra.</p> <p>The Mountain View Hotel was built in the latter part of 1925 and completed by the beginning of 1926 and served as a stop-over for those waiting for the opening of the lower gate for up traffic. The building has a dining room, bar and accommodation rooms with more recent extensions to the side and rear. The hotel was constructed by James Patterson for owner Carl Roos and when originally constructed there was a front and east side verandah with half glazed French doors and timber casement windows. The whole building was timber with exposed studwork, metal window hoods and timber louvres to the upper verandah area. The appearance of the building is shown on two photographs held by the Cairns Historical Society and these reveal that the east side has since lost its verandah and had the dining area added.</p> <p>The architect for the building was Richard Hill who had advertised for tenders in October 1925 and then had to extend the date to 28 November 1925 with work commencing immediately.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Set on the north side of the Highway atop a road cutting in a slight sweep of the road as it commences to climb the range.</p> <p>The two-storey timber hotel was built as a fully exposed frame building, although the frame is now exposed only on the ground floor frontage below the verandah. Elsewhere the building is clad in weatherboards and asbestos cement sheet. The roof has a transverse ridge with gablet ventilators but is otherwise a hip structure covered in corrugated iron with the verandah roof formed off the main roof.</p> <p>The verandah retains its unenclosed timbered appearance with posts being simple squared timber running from the ground to the roof. The ground floor is now all concrete including the interior floors set at a step up level from the verandah concrete paving. The ground floor of the hotel is basically one large room (the bar room) with a small lobby for the stairs to first floor and a room to the south west with Dining Room written on the door's fanlight.</p> <p>The extension to the north east is a single storey concrete block structure on a squat squarish plan which contains the dining room and kitchen. The roof is a low angled gable covered with corrugated iron. Beyond the dining room to the north west is an area of decking covered by lightweight shade sails.</p>
<p>Images</p>	

SC6.13.3.17 Manoora

Table SC6.13.3.17.a – Statement of cultural significance – Julia Macalpine Dance Studio (former West Cairns Community Hall)



Site Details	
Site Name	Julia Macalpine Dance Studio (former West Cairns Community Hall)
Alternative Name	
Location	
Address	7 Reservoir Road, Manoora
Lot/Plan	Lot 119 on RP703128
Coordinates	Easting 365731.1 Northing: 8129030.6
Heritage Boundary	The hall and title land
Cultural Heritage Significance	
Criterion A	This hall is one of a number developed by local communities in the outlying areas around Cairns for local community use. This one is an all timber construction in a domestic style.
History	
Historical Context	<p>The West Cairns Ratepayers Association was formed in 1946 by George Metcalfe, George Manning, Bill Selkirk, Bill Woods and Ed Cole. Regular meetings were held and the group raised funds to purchase land in Miles Street, which included a small hut which had been the residence of a Mr Davis or Davies. The initial fundraising activities included bingo nights. Once the land and hut were purchased, the existing building served as a meeting place, storage area and kitchen for various functions. These functions included the continuing bingo nights and carnivals, which were held outside under a flood light and fairy lights.</p> <p>The continuing fundraising activities funded the construction of the current hall, which was most likely completed in the late 1950s and was built by members of the West Cairns Ratepayers Association. It was intended that the building would function as a picture theatre, as well as a community hall. Regular dances and some wedding receptions were held in the hall when it was completed. The building also acted a child welfare clinic, a child minding centre/kindergarten, a church and polling booth. Until 2001, Miss Patsy Fry taught ballet at the hall.</p>
Description	
Physical Description	<p>A low set timber building with a high central gable end hall surrounded by verandah (now enclosed).</p> <p>The building is all timber (with weatherboard overcladding) and features timber multi-pane casement windows.</p>
Images	



Table SC6.13.3.17.b – Statement of cultural significance – Pease Street Pensioners Cottage

Site Details	
Site Name	Pease Street Pensioners Cottage
Alternative Name	
Location	
Address	Pease Street, Manoora
Lot/Plan	Lot 2 on C198239
Coordinates	Easting 365930.3 Northing: 8129221.0
Heritage Boundary	Seven original cottages addressing Little Pease Street
Cultural Heritage Significance	
Criterion A	The seven original cottages are significant at the local level as pensioners' housing built by the Cairns City Council, following the establishment of earlier pensioners' cottages on Grove Street. This is representative of a wider Post-War pattern in Queensland, whereby local governments began to move into the area of social welfare, in addition to their traditional commitments to roads, bridges, reserves etc.
Criterion B	The seven original cottages are rare at the Local level as group housing built specifically for pensioners in the 1950s by local government. While the State catered for low income families through the Housing Commission, there was never a specific program to exclusively house pensioners.
History	
Historical Context	<p>A 'Reserve for Local Government (Pensioners' Homes)' was gazetted on Grove Street in 1948. Eight cottages for pensioners were subsequently built on the site by the Cairns City Council between 1953 and 1954. Treasury subsidised fifty percent of the cost of building the pensioners' cottages.</p> <p>The Australian Pensioners League lobbied the Cairns City Council to build further cottages specifically for women pensioners. In January 1954, the City Engineer (Mr FR Morris) inspected an area of land in Pease Street as a possible site for a new group of pensioners cottages for women. The engineer was to prepare a sketch plan to be submitted to the Lands Administration Board.</p> <p>It is assumed that eight cottages were subsequently built on the site; however, the second most northerly cottage appears to have been replaced by a duplex in recent years.</p> <p>Further housing was built on the site in the late twentieth century and the complex is currently known as 'Cairns City Council Community Housing'.</p>
Description	
Physical Description	The site contains seven near-identical cottages addressing Little Pease Street.



	<p>These cottages are now part of a larger complex of community housing which is bound by Pease Street, Pioneer Street, Little Pease Street and an open reserve to the south. Further buildings on the site include a later duplex within the row of original cottages and five later triplexes set within landscaped surrounds.</p> <p>The cottages appear identical in design, but the plan of the three most southern cottages is mirrored and these cottages are not quite as wide as the northern cottages. All the cottages are set apart with individualised planting around each building, but the cottages are linked by a linear bitumen path at the rear and a picket fence along the front.</p> <p>The timber-framed, single-storey cottages are small in scale and each has minimal facilities. They are set on stumps approximately 500mm above ground and are clad with chamfer boards. Each has a low gable roof clad with colorbond and deep eaves lined with timber boards. A short flight of steps with steel hand rails leads up to each of the entrances. Windows are timber-framed casements. All the cottages are finished in uniform colour schemes and appear to have identical later alterations (see below).</p>
<p>Images</p>	

SC6.13.3.18 Manunda


Table SC6.13.3.18.a – Statement of cultural significance – Cairns War Cemetery

Site Details	
Site Name	Cairns War Cemetery
Alternative Name	
Location	
Address	2-40 Anderson Street, Manunda
Lot/Plan	Lot 115 on NR800836
Coordinates	Easting 367206.8 Northing: 8130021.9
Heritage Boundary	To the extent of the War Graves plot of approximately 930sqm
Cultural Heritage Significance	
Criterion G	The Cairns War Cemetery is a place maintained by the Commonwealth War Graves Commission and is of social and spiritual importance to the people of Cairns as the final resting place of those who died during World War One and World War Two including members of other Allied forces who were killed in local tragedies.
History	
Historical Context	<p>The Cemetery contains a small number of First World War dead with the bulk being allied airmen soldiers and sailors from the Second World War. Also buried are 1 person from the Royal Netherlands Navy and two Women from the WRANS & Army Nursing Service.</p> <p>More recent burials (1989) in a mass grave included the remains of airmen and other personnel from Australia and the Netherlands who were killed in an air crash off the coastline during the war but not recovered until 1989.</p>
Description	
Physical Description	<p>The war cemetery is a sub-section of the main cemetery and set some 560m back from the Anderson Street frontage.</p> <p>The layout of the cemetery was completed by the Commonwealth War Graves commission and maintained by this organization. The layout is essentially an approximately 30m x 31m square of lawn surrounded by a 1m high hedge. The graves are laid out with one large group of 84 graves in what is designated as Plot A along the south and a group of 14 along the north boundary in what is known as Plot B.</p> <p>All graves in the war cemetery have marble markers which are the same worldwide for the Commonwealth Allied Forces whether they were WWI or WWII war dead. The markers are all to World War Two service men and women.</p> <p>World War One dead are in undisclosed locations and have no headstones.</p> <p>There is one group burial on the west to a group of war dead from a plane crash which was ferrying members of the Netherlands East India air force to Cairns.</p>



Table SC6.13.3.18.b – Statement of cultural significance – Cominos House

Site Details	
Site Name	Cominos House
Alternative Name	
Location	
Address	27-29 Greenslopes Street, Manunda
Lot/Plan	Lot 13 on NR843558
Coordinates	Easting 367165.6 Northing: 8130596.2
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The building has local historic significance as a residence built c.1880, albeit moved from its original location and used for community events. The building shows construction detailing and techniques now rarely seen in the Cairns area.
Criterion G	The place has significance for the attachment demonstrated by the local community, who supported the preservation of the building and assisted with its relocation.
History	
Historical Context	<p>Cominos House was originally sited on the corner of Abbott and Florence Streets. The property deed shows that the land was granted to Annie Street in 1877, one year after she and her husband had arrived in Cairns with the first group of settlers. The house was built sometime between 1877 and 1886. Annie's husband, Alfred Street, was a builder and member of the first Cairns Council. It appears as though the Streets never lived in the house but rented it out.</p> <p>Between 1886 and 1888, the first recorded tenant, Mrs Liddle, ran it as a boarding house. Annie Street died in 1921; the block was subdivided and the house was sold to William Forbes. In 1927 the house was sold to George Cominos. The Cominos family ran a café in Abbot Street.</p> <p>The Cominos Café was established in 1906 as a small catering business and grew to a large business employing over 100 people. The café was closed in 1952, due to George Cominos' poor health. He died in 1962. George's wife Bylio continued to live in the house until her death in 1977. The house was left vacant until it was sold in 1986. The house was located on a prime site for redevelopment, one block back from the waterfront. The purchasers of the site, Girvan/Mur, offered the house to the Cairns Council for relocation. The offer was accepted and it was moved to its present site in Greenslopes Street in 1988. The Cominos Family donated \$100,000 towards the re-establishment and maintenance costs of the house, on the condition that it was for the use of community groups. Further funding for the relocation, conservation and adaptation of the building was provided by the Council, State and Federal governments. The local community also contributed time and materials.</p>

	<p>In 1991, the official opening of Cominos House was attended by the State Minister for Environment and Heritage. "Friends of Cominos" was firmly established as the management entity for the house at that time and it has functioned as a community Arts and Environment Centre since then.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A highset house (originally much lower set) with the understorey now built in. Originally set approximately 1.5m above the ground with the verandah's originally un-enclosed.</p> <p>The house has a high pyramidal roof with a lower curved verandah roof. The walls are exposed stud framed, doors are French style.</p> <p>As seen today the house has reinstated original features (apart from the built in area under the house and the infilling of the side verandah).</p>
<p>Images</p>	

SC6.13.3.19 Mirriwinni

Table SC6.13.3.19.a – Statement of cultural significance – BN Ghidella Farming P/L

Site Details	
Site Name	BN Ghidella Farming P/L
Alternative Name	
Location	
Address	Bruce Highway, Mirriwinni
Lot/Plan	Lot 1 on NR3220
Cultural Heritage Significance	
Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic.</p> <p>Accommodation was placed close to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These buildings have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p>
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian. Cane cutting was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in</p>


	<p>the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these cane barracks is unknown. It is currently used as a residence.</p>
Description	
Physical Description	<p>The barracks are on the east side of the Bruce Highway directly adjacent to a cane field and the original Council Tramway route (now the main-rail line).</p> <p>An L-shaped building with some modifications. It is clad with corrugated iron and set on high steps. The verandah is enclosed and there is no separate ablutions block. A skillion-roofed car port has been added to the north side of the building.</p>
Images	

Table SC6.13.3.19.b – Statement of cultural significance – Panebianco (Sciacca Barracks)

Site Details	
Site Name	Panebianco (Sciacca Barracks)
Alternative Name	
Location	
Address	Stager Road, Miriwinni
Lot/Plan	Lot 1 on RL7767
Coordinates	Easting 382367.3 Northing: 8080177.1
Heritage Boundary	All of the building and a 5m buffer zone around it

Cultural Heritage Significance	
Criterion B	The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed closed to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p>


	<p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
Description	
Physical Description	<p>The barracks are located near hills on undulating land and a tramline is in the vicinity. The building is oriented southeast from the verandah.</p> <p>The building is a linear cane barracks comprising three bedrooms and clad in corrugated iron. It has an enclosed verandah and louvred windows.</p> <p>It is currently derelict and somewhat open to the elements with missing windows and sections of the building's cladding.</p>
Images	

Table SC6.13.3.19.c – Statement of cultural significance – RW and A Ghidella

Site Details	
Site Name	RW and A Ghidella
Alternative Name	
Location	
Address	Bruce Highway, Miriwinni
Lot/Plan	Lot 2 on RP712412
Coordinates	Easting 383810.7 Northing: 8074127.4
Cultural Heritage Significance	
Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed closed to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p>

History

Historical Context

In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.

In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The 'Pacific Island Act 1885' stipulated that importation of Pacific Islander labour was to cease in 1890 and the 'Sugar Works Guarantee Act 1893' secured the development of the central milling system.

In 1901, two additional pieces of legislation had a significant impact on Far North Queensland's sugar industry and labour force – the 'Immigration Restriction Act' and the 'Pacific Islanders Labourers Act.' The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.

European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.

Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.

The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.

The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and

	<p>as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
Description	
Physical Description	<p>The barracks are on the west side of the Bruce Highway directly adjacent to a cane field and across from the original Council Tramway route (now the main-rail line).</p> <p>The barracks comprise two bedrooms and are clad with corrugated iron. The building includes a skillion addition, metal window hoods and an enclosed verandah. There are also the remnants of an old earth closet.</p>
Images	

Table SC6.13.3.19.d – Statement of cultural significance – TM Baldi and BE Baldi


Site Details	
Site Name	TM Baldi and BE Baldi
Alternative Name	
Location	
Address	Goldsworthy Road, Miriwinni
Lot/Plan	Lot 1 on SP106008
Coordinates	Easting 389076.4 Northing: 8076558.9
Heritage Boundary	All of the building and a 5m buffer zone around it

Cultural Heritage Significance

Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic. Accommodation was placed closed to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p> <p>As such they often fall into disrepair and are eventually demolished.</p>
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History

Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities.</p> <p>The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation.</p> <p>The ‘Pacific Island Act 1885’ stipulated that importation of Pacific Islander labour was to cease in 1890 and the ‘Sugar Works Guarantee Act 1893’ secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland’s sugar industry and labour force – the ‘Immigration Restriction Act’ and the ‘Pacific Islanders Labourers Act.’ The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p> <p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the ‘Sugar and Shearers’ Accommodation Act 1905’, which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the ‘Workers Accommodation Act 1915’ and subsequently the ‘Workers Accommodation Act 1952’. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that</p>
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	<p>regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>Located near an anabranch of the road which itself is a branch off the Bramston Beach Road. The building appears as if a house with an enclosed verandah and gabled section.</p> <p>The building now appears as a house with verandah and pull out gabled section on the rhs of the façade. The verandah is filled with louvres and the structure sits above the ground by approximately 300mm.</p>
<p>Images</p>	

SC6.13.3.20 Parramatta Park

Table SC6.13.3.20.a – Statement of cultural significance – Cairns Showground and Grandstand

Site Details	
Site Name	Cairns Showground and Grandstand
Alternative Name	
Location	
Address	251-269 Severin Street, Parramatta Park
Lot/Plan	Lot 768 on NR6238
Coordinates	Easting 368484.0 Northing 8128064.7
Heritage Boundary	The whole of the showgrounds as a place but with particular reference to the Grandstand building. All other buildings are to be excluded
Cultural Heritage Significance	
Criterion A	<p>The showgrounds are of local significance as a place that evolved out of a low lying swampy area into a place where agricultural shows were held at the same time as the grounds were starting to be used for sports. The land was transformed through a series of events including decisions to continue the filling of low lying land, local interest in re-establishing an agricultural annual show on this land and the decision to remove sports from Norman Park.</p> <p>The grounds were also used during World War Two as an encampment and was the place of a mob disturbance between itinerants and the towns inhabitants during 1932. The grandstand is also of significance as the earliest surviving structure of this type in the Cairns region.</p>
Criterion D	The Cairns showground is significant at the local level as a place which contains the elements associated with regional agricultural shows including a main rink, grandstand, exhibitors pavilions, stabling areas for animals and areas for the erection of a sideshow alley albeit all on a scale found in provincial cities.
History	
Historical Context	<p>The showgrounds is a reserve set aside for recreational purposes under the control of the Cairns Agricultural, Pastoral and Mining Association. The reserve had been shown as a recreation reserve under the control of the Council of the City of Cairns by Gazette in March 1909. On the side where the Fearnley St drain is, the land was shown as Deep Mud & Mangroves.</p> <p>In 1924 the land was designated for Sports and Showgrounds purposes (GG 6.09.1924) and consisted of 23 Ac 1 Rood 13 perch. In 1932 the land was enlarged to 38 Acres 3 rood 38 perch.</p> <p>The first Cairns Show was presented by the Cairns Agricultural, Pastoral and Mining Association in 1891. It included the display of exhibits and the judging of livestock and was held on a twelve-acre reserve between James and Thomas Streets. In 1899, the Cairns Show relocated to a site on Mulgrave Road, in the approximate location of the current Woree Tavern. Between 1906 and 1915, it appears that no Shows were held, but renewed public interest lead to intermittent shows being held at the Woree Racecourse in 1916, 1922, 1923 and 1924.</p> <p>In 1931, the Cairns Mayor called a public meeting in an attempt to revive the Cairns Show and a committee was subsequently formed. The first show at Parramatta Park was held in the same year and a purpose-built pavilion was constructed.</p> <p>In the following year, a working bee was organised for the showgrounds in an attempt to clean up and make it more presentable for future shows. On the morning of 17 July 1932 members of the public (some 2000 strong) attended a working bee for the show which was to commence in the following week. They were confronted by unemployed itinerants who were in possession of the grounds where they were</p>


	<p>camped out. The itinerants were belligerent in their possession of the grounds and ultimately a riot ensued with members of the public and itinerants seeking medical treatment. The riot was quelled and charges laid, the itinerants were removed and the clean-up eventually proceeded.</p> <p>The Percy Pease Pavilion and the David Headrick Grandstand were constructed in 1936. The Armed Forces took control of the showground in 1941, and no shows were subsequently held until 1946.</p> <p>The De Jarlais Pavilion, built with voluntary labour and opened in 1967, has been subsequently altered and expanded. The Fred Moule Pavilion replaced the Percy Pease and Stillman Trade Pavilions.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The showground is a large area of ground bounded by Scott, Severin streets and Mulgrave Road and the Fearnley St drain on the south. The site has a number of ad-hoc buildings (or perhaps more correctly commercial vernacular buildings).</p> <p>The main access is via the brickwork entry gates on Severin and Mulgrave Road and these were rebuilt and opened in 1998 by then Mayor Tom Pyne. The Headrick Grandstand is the oldest structure on the site and carries a monument to Hon P Pease and J. O'Keefe MLAs who assisted the development of the show. The Grandstand is named after Headricks who was onetime chairman and opened in 1936. The building is an eight bay structure with a concrete base and tiered seating under a metal roofed canopy held up by a series of metal trusses. These are supported on substantial columns which appear to be timber. The base of the building has a series of arched openings on the rear side (closed with timber planked doors). The head of the arch appears to have been filled with glazing but this is now blanked out. Above these doors are timber louvres and above these are panels of timber battens enclosing the upper rear of the seating area.</p>
<p>Images</p>	

Table SC6.13.3.20.b – Statement of cultural significance – Cheryl’s Hairdressers (former Martynvale Post Office)

Site Details	
Site Name	Cheryl’s Hairdressers (former Martynvale Post Office)
Alternative Name	
Location	
Address	72 Martyn Street, Parramatta Park
Lot/Plan	Lot 6 on RP893575
Coordinates	Easting 368447.3 Northing 8128985.8
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	This small suburban post office, opened in 1948, shows the small scale of Cairns’ suburbs in an era prior to the popular use of the motor vehicle which allowed postal facilities to be more centralised further away from residential areas. Today it is expected that a postal facility will be found at a large shopping centre but in the days of few vehicles and largely bicycle use, small postal outlets were found in small suburban areas where post and public telephone facilities were available.
History	
Historical Context	The Martynvale Post Office opened on 16 August 1948. This building continued to function as the Martynvale Post Office up until the mid-1960s.
Description	
Physical Description	A small shop (on Upward Street) set to the footpath alignment with an awning over the footpath. The building has the appearance of being of an earlier age (i.e. pre 1930s) and converted to this use in the late 1940s. Otherwise the structure is a small all timber building with a flat post supported awning stretching across the footpath. The gable ended corrugated iron roof is faced with a stepped timber parapet.
Images	

Table SC6.13.3.20.c – Statement of cultural significance – Draper Street Family Medical


Site Details	
Site Name	Draper Street Family Medical
Alternative Name	
Location	
Address	443 Draper Street, Parramatta Park
Lot/Plan	Lot 2 on RP701436
Coordinates	Easting 367946.5 Northing 8129205.4
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The appearance of the house makes it one of the few pre-1900 constructions within the Cairns area and is an example of regional residential architecture of the late 19th century.
History	
Historical Context	<p>Stylistically, the building appears to have been initially constructed as a residence prior in the late 19th Century. It is said to be a miners cottage relocated from Irvinebank, however the source of this information has not been confirmed. A residence existed at this address by 1938, when the Cairns Post recorded that a Miss E O'Callaghan lived there.</p> <p>The Draper Street Medical Centre was established in the building in 2005.</p>
Description	
Physical Description	<p>A symmetrically arranged house with high pitched hipped roof and verandah under a separated lower skillion roof. The construction is all timber with a timber post supported verandah. Walls have exposed studwork and French doors.</p> <p>The appearance of the building dates it to 1880s-1900</p>
Images	

Table SC6.13.3.20.d – Statement of cultural significance – Grove Street Pensioner Cottages

Site Details	
Site Name	Grove Street Pensioner Cottages
Alternative Name	
Location	
Address	28D Grove Street, Parramatta Park
Lot/Plan	Lot 579 on NR6348
Coordinates	Easting 368140.7 Northing 8129360.1
Heritage Boundary	All cottages in the group facing Grove Street and the land making up reserve R967 but excluding the common laundry building.
Cultural Heritage Significance	
Criterion A	<p>The site is significant as the first pensioners' cottages built by the Cairns City Council and possibly any local government in Queensland. It was inspired by an Old Age Pensioners Camp established at Mareeba in the early 1920s, where land was set aside by the Government for pensioners to build their own accommodation.</p> <p>The cottages are also notable for their aesthetic deployment along a crescent with a landscaped area to the front. The establishment of the Grove Street cottages led to a second group of cottages being built at Pease Street. This is representative of a wider Post-War pattern in Queensland, whereby local governments began to move into the area of social welfare, in addition to their traditional commitments to roads, bridges, reserves etc.</p>
Criterion B	The cottages are rare as group housing built specifically for pensioners in the 1950s by local government. While the State catered for low income families through the Housing Commission, there was never a specific program to exclusively house pensioners. While some of the building materials have been altered, the cottages are largely intact and have retained their external uniformity.
Criterion G	The site is of interest for its associations with the Australian Pensioners' League and the Australian Labour Party (Cairns Branch) who lobbied for its establishment.
History	
Historical Context	<p>A Department of Public Lands' plan of Cairns shows that Reserve R967, was established on 27 July 1948 as a 'Reserve for Local Government (Pensioners' Homes)'. The Government Gazette of the 4 September 1948 confirms that the 'Reserve for Local Government (Pensioners' Homes), under the control of the Council of the City of Cairns, as trustee' was deposited in the Survey Office. The reserve, which was on the north-western side of Grove Street and bound along its north-eastern perimeter by Lily Creek, was approximately seven acres in area. The site had earlier been a railway reserve and then a camping reserve.</p> <p>In early 1950, a deputation of delegates from the Cairns branch of the Australian Labour Party, were introduced to the mayor and aldermen of the Cairns City Council, to present their case for building pensioners cottages. They requested that 10 single cottages and five married couples cottages be built on the pensioners' reserve. The Council responded that the case was a worthy one and that they would consider it when they prepared their budget for the next financial term.</p> <p>In June 1950, the Member for Cook, Mr Carlisle Favell Wordsworth, approached the Minister for Public Works about the provision of facilities at the reserve for the pensioners homes. The Minister replied that the facilities were the responsibility of the local authority, who would need to prepare plans and build the homes, but Treasury would subsidise the cost of building the cottages to the extent of 50 percent. Mr Wordsworth was prompted in this action by a deputation from the Australian Pensioners' League (Cairns branch)</p> <p>In July 1950, the Cairns City Council received a letter from Mr Wordsworth:</p>

	<p>'These elderly people are living under conditions unworthy of a city the size of Cairns. They are not seeking charity but feel entitled to the provision of huts and lighting on a rental basis... Existing self-built huts would be a danger to life under cyclonic conditions.' (This letter indicates that there were crude, self-built huts on the site prior to the construction of the existing cottages.)</p> <p>In 1952, Wordsworth once again lobbied for the building of permanent pensioners homes. Speaking during a debate in the Queensland Parliament on estimates for the Health and Home Affairs Department, Wordsworth said that some pensioners in Cairns were living under 'pretty poor conditions'. If the Cairns City Council could not build the homes, he asked if the Government would do so, and suggested that the pensioners cottages be modelled on those already built at Mareeba.</p> <p>An Old Age Pensioners Camp was established at Mareeba in the early 1920s. Older miners approached the local president of the Australian Labour Party seeking to get a portion of land set aside, where they could build huts to live in and grow vegetables. Sixteen acres of land was subsequently granted by the Government and gazetted. In 1929, the Mareeba Pensioners' Camp was described as a 'charming neighbourhood', with 'comfortable little huts' built by the pensioners and gardens which were 'a joy to behold, many being bright with flowers as well as green with vegetables.' (Cairns Post, 3.4.1929, p. 14.)</p> <p>Drawings for seven pensioner cottages on the Grove Street site were prepared by the Cairns City Council and dated 30.10.1952. Each house was approximately 15ft 8in x 16ft, they were set 2 ft off the ground and extended 9ft to the eaves.</p> <p>In March 1953, it was reported that the Cairns City Council would commence work on five pensioners cottages facing Grove Street, as soon as the wet season had passed. The construction was to cost £3000. A Treasury loan of £750 and a subsidy of £750 assisted with these costs.</p> <p>The construction of the eight cottages seems to have been split into three stages with three being built along with the laundry / shower block in 1953 and a further four cottages built in 1954. It is uncertain when the eighth cottage on the south western perimeter of the site was built, but it appears identical to the others in design and was probably built shortly after. There was a large old railway sandpit at the rear of the land at the time. The cottages contained only a kitchen and bedroom with showers available in the laundry / shower block. There was only one piece of built-in furniture - the kitchen bench and sink with a stove recess on the rear side. Each building was timber on concrete stumps with a roof of corrugated asbestos cement. The windows were timber casements. The laundry /shower block was a simple rectangular building of asbestos cement sheet with laundry tubs, a water heater and two showers. There were also two earth closets to the rear of the buildings.</p> <p>Subsequently an extension has been made on to the bedroom of each cottage containing a small bathroom and toilet.</p> <p>The front porches have also been filled in and the buildings re-roofed in Colorbond. The Grove Street Cottages set the pattern for further pensioner housing to be built in Cairns and surrounding areas. Similar cottages for women pensioners were built in Pease Street in 1954 or shortly afterwards and in the same year the Mulgrave Shire Council invited tenders for pensioners cottages at Yorkeys Knob, Gordonvale, Babinda and Bramston Beach.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A group of eight cottages, seven of which are arranged in a crescent addressing Grove Street. The eighth cottage appears identical in design but addresses the right of way on the south western perimeter of the site. All the cottages appear identical and are set apart with individualised planting in the front yard and at the rear, including small shrubs and frangipani trees. Larger mango trees grow to the rear of the site.</p> <p>The timber-framed, single-storey cottages are small in scale and each has minimal facilities. They are set on stumps approximately 500mm above ground. Each has a low gable roof clad with colorbond and deep eaves lined with timber boards. A short flight of steps with steel hand rails leads up to each of the entrances. Windows are timber-framed casements. All the cottages are finished in uniform colour schemes</p>

	and appear to have identical later alterations (see below).
Images	

Table SC6.13.3.20.e – Statement of cultural significance – Parramatta House

Site Details	
Site Name	Parramatta House
Alternative Name	
Location	
Address	72 Martyn Street, Parramatta Park
Lot/Plan	Lot 6 on RP893575
Coordinates	Easting 368445.0 Northing 8128965.2
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	A two storey shop house of local significance as a part of a collection of similar timber shops forming a small local retail area from the 1920s.
History	
Historical Context	This two-storey timber building appears to have been built as either a residence or a shop with a residence above in the 1920s. Little else is known about it.
Description	
Physical Description	Two storey timber corner shop complex built to the footpath alignment with an awning stretched across the footpath. Essentially this appears to be a weatherboard house of the 1920s-30s that has shops built in the ground floor with a flat marking stretching over the footpath. The architectural appearance has all the hallmarks of the structure being brought to the site and raised for the construction of the shops and then having the awning added.



Table SC6.13.3.20.f – Statement of cultural significance – Plaza Theatre

Site Details	
Site Name	Plaza Theatre
Alternative Name	
Location	
Address	108-110 Mulgrave Road, Parramatta Park
Lot/Plan	Lot 1 on RP737972
Coordinates	Easting 368450.7 Northing 8128419.4
Heritage Boundary	The original theatre façade
Cultural Heritage Significance	
Criterion A	The building has historic significance at the local level, as one of four cinemas in Cairns operated by Northern Theatres between 1940 and 1978. Its closure demonstrated the decline in cinema patronage initiated by the introduction of television.
History	
Historical Context	<p>The first picture theatre built in Cairns was the 'Lyric Theatre' on Spence Street (between Lake and Grafton Streets), designed by the Cairns architect E. Gregory Waters and opened in 1912. Management of the theatre changed within a few months and it was renamed as the 'Royal Pictures'. The theatre was renovated and renamed 'Palace Theatre' in 1913. A new 'Palace Theatre' was designed by the architect Harvey Draper and built on Lake Street opposite Hides Hotel in 1914. The original Lyric Theatre building on Spence Street became the Austral Theatre and was destroyed by a fire in 1923.</p> <p>The Palace Theatre on Lake Street was extensively altered and remodelled in the mid-1920s by the architects Lawrence and Lordan. The building was sold to Woolworths in 1966 and used as a warehouse and furniture showroom. It was remodelled in 1971, when the building was divided into a shopping arcade and the 'Cinema Capri'. New owners took over the building in 1995 and began operating the theatre as the 'Palace Independent Cinema' but it finally closed in 1997. The</p>

	<p>building was demolished in 1999. 'Cairns Pictures', another theatre designed by E. Gregory Waters, was built on the corner of Abbott and Shields Streets in c.1913. This theatre was renamed the 'Cairns Theatre' and then the 'Cairns Tropical Theatre'. It was rebuilt after a fire in 1938-39 and was demolished in 1976.</p> <p>Another early picture theatre was the Gaiety Theatre (described as a huge tin shed with a concrete floor and canvas seating), which opened in 1929 and was demolished in the 1940s.</p> <p>The Plaza Theatre was officially opened by Mayor Collins on 10 October 1940. At the opening, it was described as Northern Theatres 'fourth edifice for moving pictures entertainment.' Northern Theatres (known as Far Northern Theatres after the Second World War) owned four cinemas and a drive-in in the Cairns area. The other cinemas were the Palace, the Tropical and the Rex. No architect was identified, instead, the design was attributed to the Queensland Construction and Building Company. The builder was the Queensland Building and Engineering Company (possibly the same company that designed the theatre) under the supervision of Mr B. Cavanagh. The theatre had seating for 600 patrons and was provided with 'maximum natural air conditions'. A café and milk bar were included in the foyer of the theatre.</p> <p>The introduction of television had a significant impact on the commercial decline of these cinemas. While one source states that the Plaza closed in 1972, it may have continued until 1978, when Far Northern Theatres was sold to Birch Carroll & Coyle, who closed the older cinemas to eliminate competition for their more modern Odeon Cinema. The building was used as a furniture store until c.1982, and was then used as an outdoor sports store.</p>
Description	
Physical Description	<p>This large hall was constructed in corrugated iron sheeting with a masonry two storey frontage onto Mulgrave Road. The façade was symmetrically arranged with signboards marking the entry to the theatre. The windows and doors were timber framed although windows have not been altered to metal framed. The buildings sides have been replaced to a large extent by large glazed panels where it once had metal siding. The frontage signboards have been replaced by an awning albeit in the style of the building.</p> <p>The overall arrangement of the frontage was in an Art Deco style.</p>
Images	

Table SC6.13.3.20.g – Statement of cultural significance – Retail Shop, Chinese Quarter

Site Details	
Site Name	Retail Shop, Chinese Quarter
Alternative Name	
Location	
Address	350 Draper Street, Parramatta Park
Lot/Plan	Lot 45 on RP701453



Coordinates	Easting 368294.5 Northing 8128906.5
Heritage Boundary	All of the building and its title land
Cultural Heritage Significance	
Criterion A	Like its adjacent and northern neighbour, this small suburban shop was a small goods supplier to the local area around the top end of Draper Street. Like its neighbour it too was run by a Chinese family and was until recently (1995) managed by Philip Wu Won. The shop is of local significance as a tangible element of suburban infrastructure and significant in the association of Chinese ownership and settlement in this area in a street that had once been called Canton Street.
History	
Historical Context	<p>A hand written sign in the front of the shop reads: 'Time for a rest after 35 years of business. Philip Wu Won and family would like to thank all customers for their fine patronage over the years. From 16th June 1995.' Next door to the shop at 354 & 356 Draper Street is the former home and grocery shop of the Kum Yuen family. In 1929, Pearl Kum Yuen married Fred Tong and the Tong family lived there from the 1930s until 2003.</p> <p>Chinese people had arrived in the Cairns region at the same time as those of European descent, most arriving from the Palmer or Hodgkinson goldfields around the 1880s. Many of the Chinese people farmed land close to Freshwater Creek and the Barron River, but the majority were merchants who established businesses in Sachs Street between Spence and Shields Street. As a result, the area became known as Chinatown. In addition to respectable businesses, opium dens, gambling dens and brothels operated in the Sachs Street precinct.</p> <p>The presence of the seedier businesses in Chinatown may have encouraged some members of the Chinese community to locate to quieter areas, such as Draper Street. Next door to the shop at 350 Draper Street is the former home and shop of Philip Wu Won and family, who's shop operated between 1960 and 1995. On a map dated 1903, Draper Street was shown as 'Canton Street', possibly reflecting the Chinese character of the area, but by 1935 it is shown as Draper Street on maps. Sandi Robb, in the 'Cairns Chinatown Cultural Heritage Study', has surmised that there is little evidence to indicate that Canton Street in the formative years had a large population of Chinese residents. But she does point out that it was close to the area around Alligator Creek known as Malay Town, which was associated with Malays, Javanese and South Sea Islanders. From the 1930s, very few Chinese families lived in Chinatown. Most families lived either on small farms or in the residential streets surrounding the main business district.</p>
Description	
Physical Description	<p>A very small single storey shop built to the footpath alignment, with residence to the rear.</p> <p>It has a symmetrical frontage, middle timber entry doors and flanking small scale shop windows. The building has a verandah awning stretching across the footpath. The main shop structure has a long low hipped roof and the sides are timber clad. At the rear is a corrugated iron extension.</p>
Images	

Table SC6.13.3.20.h– Statement of cultural significance – Shop, 457 Draper Street

Site Details	
Site Name	Shop, 457 Draper Street
Alternative Name	
Location	
Address	457 Draper Street, Parramatta Park
Lot/Plan	Lot 39 on RP701435
Coordinates	Easting 367911.7 Northing 8129272.6
Heritage Boundary	All of the building
Cultural Heritage Significance	
Criterion A	The building is significant as an early surviving timber shop building (possibly pre 1915) with exposed stud construction.
Criterion B	The building is rare as representing the typology of early suburban shopping infrastructure, particularly in the Cairns context. While the metropolitan suburbs still have numerous (often disused) early stores, this early suburban store in the context of a provincial town is now rare with just a small number of examples surviving in Cairns proper and its outlying townships, particularly given the damage to such infrastructure wrought by cyclones in the history of Cairns.
Criterion A	The building is significant as an early surviving timber building (pre 1900) with exposed stud construction.
History	
Historical Context	<p>The building was constructed prior to 1937, when it was visible in an aerial photograph of the city. At this time the number of buildings in this part of town was very low and these were almost all residences. Its framed appearances make it of the period 1900-15.</p> <p>During the 1940s the shop was known as Savage's Store with the only mentions in the Cairns Post being in relation to post and telephone boxes to be installed nearby.</p>
Description	
Physical Description	<p>A timber shop building with post-supported street awning and exposed stud construction for the walls. The building is set low to the ground. The roof is steeply pitched corrugated iron with gable ends and a stepped parapet to the shopfront.</p> <p>The shopfront is symmetrically arranged with a central shop entry set of doors and small pane shop windows with timber detailing either side.</p>
Images	

SC6.13.3.21 Portsmith

Table SC6.13.3.21.a – Statement of cultural significance – Cape York Hotel (former National Hotel)


Site Details	
Site Name	Cape York Hotel (former National Hotel)
Alternative Name	
Location	
Address	147 Bunda Street, Portsmith
Lot/Plan	Lot 1 on RP721947
Coordinates	Easting 369247.7 Northing 8127987.0
Heritage Boundary	The whole of the 1926 hotel
Cultural Heritage Significance	
Criterion A	The Cape York Hotel is of significance at the local level. It is a concrete hotel constructed on the site of an earlier timber hotel (The Terminus) which was blown down in a cyclone and thus it represents the continued use of the site for hotel purposes. The building is also architect designed in the period when building by-laws were creating an increased use of masonry construction and it also represents (like a number of other Cairns hotels), a competent response to concrete design in the tropics. These factors make the hotel part of a small collection of such buildings in Cairns.
History	
Historical Context	<p>The hotel originally built on this site was the 'Tramway' of 1898. Its name related to the tramway which ran down Spence St directly adjacent to the hotel verandah. This building was two storeys and an all timber exposed stud construction.</p> <p>The hotel was bought in 1920 by the McNamara family who rebuilt it as the National Hotel - the date '1926' is on the corner parapet and being of the period of the new building by-laws in Cairns, the building is all concrete.</p> <p>In August 1987 a gas explosion severely damaged the building and after some detailed rebuilding it reopened and was re-named the Cape York Hotel (The Cairns Post, 30.10.1987, p. 9.).</p> <p>In 1997 it was repainted and repaired with the intention of capturing new trade from the new Cairns Central which had just reopened.</p>
Description	
Physical Description	<p>A two storey masonry building with verandahs overhanging the footpath on Spence and Bunda Streets. A recent two storey addition in a similar style on the Bunda Street side is attached to the hotel.</p> <p>Completed as a large scale Queensland style Hotel in concrete with a wide upper level verandah stretching over the footpath. Roofing is corrugated iron hidden behind a simple squared off parapet with string moulds. The verandah is contained under a hipped roof with timber verandah railings. The upper level doors and windows retain their timber joinery. At the lower level the windows are glass louvres and these replace former timber framed sashes.</p>



Table SC6.13.3.21.b – Statement of cultural significance – Former Cairns Brewery

Site Details	
Site Name	Former Cairns Brewery
Alternative Name	
Location	
Address	186-196 Draper Street, Portsmith
Lot/Plan	Lot 1 on CP907324
Coordinates	Easting 369155.0 Northing 8127886.9
Heritage Boundary	The former Engine Room (now shops addressing Spence Street), three-storey Malt Storage Building (currently offices or storage), the concrete Malt Silos and the former General Office and Brewhouse (with its bas-relief sculpture), currently used as offices.
Cultural Heritage Significance	
Criterion A	The complex of buildings has historic significance at the local level as the site of Northern Australian Breweries between 1927 and 1992. The brewery was the largest and most successful in Far North Queensland, producing well-known beers such as Cairns Draught and NQ Lager.
Criterion B	The former Engine Room (now shops addressing Spence Street), three-storey Malt Storage Building (currently offices or storage), the concrete Malt Silos and the former General Office and Brewhouse (with its bas-relief sculpture), currently used as offices.
History	
Historical Context	<p>Northern Australian Breweries Ltd was registered in Brisbane in 1927 and established by a local Cairns businessman and politician, Reg Fogarty. It was Cairns' first brewery south of the railway line. (The Cairns Brewing Company, started by a group of local business people in 1924, was probably the town's first brewery, but went into liquidation shortly after establishment - their beer was described as having the consistency of thick soup.)</p> <p>In 1931, Carlton United Breweries (CUB) bought Northern Australian Breweries Limited to gain control of the North Queensland market. This takeover was stimulated by a beer price war that occurred in Innisfail. NQ Lager, brewed by the Northern Australian Brewery, became very popular with the cane cutters based around Innisfail and so the merchants handling CUB products in Innisfail cut their prices by half. But the Innisfail cane cutters stuck to the local brew. As a result, the brewery was CUB's first acquisition outside Victoria, but the brewery maintained the name of 'Northern Australian Brewery' until 1972, when it was changed to 'Carlton and United Breweries (NQ) Ltd.' as part of CUB's strategy to develop a national corporate identity. The most well-known beers brewed by the Northern Australian Breweries were Cairns Bitter Ale (which later became Cairns Draught) and NQ Lager.</p> <p>In 1935, the prominent Cairns building contractors TB O'Meara and Sons undertook extensive additions to the brewery on Spence Street. This included the concrete</p>

	<p>Bright Beer and Racking Room. The works may also have included the construction of the concrete Malt Silos along the Draper Street frontage. (At the latest, the silos were built before 1958, when they are clearly extant in a photo while the new brewhouse was being constructed.)</p> <p>The brewery employed up to 300 people and was the first brewery to lift rationing restrictions after WW2.</p> <p>In 1951, a 'general expansion programme' was undertaken on the Spence Street site. It included the installation of a new steel brewing kettle with a capacity of 10,800 litres. The new 19 foot high kettle was used to supplement the existing plant for the processing of malt mash in the production of beer. The general expansion considerably increased the brewery's output.</p> <p>In 1958, the Cairns Brewery installed state-of-the-art technology in the form of a 60 foot Ziemann brewhouse at a cost of 200,000 pounds. The new addition was built on the prominent corner of Spence and Draper Streets. Photographs dated 1971 clearly show the no-longer-extant letters 'R.F.G. FOGARTY BREWHOUSE' above the existing large bas-relief sculpture mounted at the western end of the Spence Street elevation. The sculpture illustrates the brewery processes (in an abstracted manner) and was made by the artist and sculptor Rein Slagmolen. Slagmolen was born in Holland in 1911 and established himself as an artist in Melbourne. In addition to his oil paintings and sculptures, Slagmolen also sculpted the entrance pillars to Dallas Brooks Hall in East Melbourne (1963-69). Within the glazed tower adjacent to the mural, the 1971 photographs clearly show a shiny steel kettle, extending almost to the full height of the tower.</p> <p>The 1971 and c.1958 photographs also show the two-storied 'General Office' building along Spence Street. The building featured large concrete letters 'NORTHERN AUSTRALIAN BREWERIES' within the parapet. The concrete letters have since been concealed by cladding, or possibly removed, and a new third floor of offices has been constructed.</p> <p>The brewery closed in 1992. The extant structures relating to the brewery use of the site have been altered and adapted to varying extents. A 1966 site plan shows that many more structures and buildings associated with the brewing process covered the site and extended further east and south, but have since been demolished. However, the most prominent and earliest buildings have been retained and include the 1925 Engine Room (now shops addressing Spence Street), the c. 1927 three-storey Malt Storage Building (currently offices or storage), the c.1935 concrete Malt Silos, the c.1955 General Office and the 1958 Brewhouse (with its bas-relief sculpture), currently used as offices.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The historic elements of the site which are associated with its use as a brewery up until 1992 include the 1925 Engine Room (now shops addressing Spence Street), the c. 1927 three-storey Malt Storage Building (currently offices or storage), the c.1935 concrete Malt Silos, the c.1955 General Office and the 1958 Brewhouse (with its bas-relief sculpture), currently used as offices.</p> <p>The former Engine Room is a single-storey concrete building with a metal sheeted roof and bull-nosed awning extending across the front of the building and recent doors and windows. It comprises two bays to Spence Street, with similar parapets, but the eastern bay is wider. The parapet to the western bay clearly displays the date '1925' and this date is also evident in photographs of the building dated 1930. The date is unusual because the brewery was not established until 1927, suggesting that the building had a previous use. The site plan of 1966 identifies its use as 'Engine Room'. The 1930 and 1933 photographs show the building as only one bay wide with three symmetrical windows where it fronts Spence Street, a simple pediment surmounting its parapet and saw tooth roofs behind. By 1958, the building had been extended further to the east, with the addition of the second larger bay. The new and existing parapets were decorated with Art Deco-styled ornamentation to the parapet, and a new gabled roof with a clerestory covered both bays. The roof form and windows and doors have been altered in recent years.</p> <p>The c. 1927 former Malt Storage Building was originally a three-storey building constructed with a concrete frame, a gabled roof and a prominent octagonal fleche at the western end of the roof. The fleche has been removed and the windows have</p>

	<p>been replaced in recent years, and additions built along the southern elevation and above the western end of the roof.</p> <p>The c.1935 Malt Silos comprise eight concrete silos with a gabled capping structure which appears to be original as it is evident in a c.1958 photograph.</p> <p>The c.1955 General Office was originally two storeys in height and had large rendered letters spelling 'NORTHERN AUSTRALIAN BREWERIES' along the Spence Street parapet. The letters have since been concealed by cladding, or possibly removed, and a new third floor of offices has been constructed. Most of the original concrete fins shading the Spence Street windows have been retained, but the windows have been replaced and a bull-nosed awning added.</p> <p>Adjacent to the western end of the General Office, and marking the corner of Spence and Draper Street, are the two concrete and glass tower elements of the 1958 Brewhouse with its bas-relief sculpture by Rein Slagmolen. The glazing to the tallest tower, which originally housed a brewing kettle, has been altered and a box awning added over the new entrance. A bull-nosed awning has been added intrusively across the Rein Slagmolen sculpture to the corner tower.</p>
<p>Images</p>	

SC6.13.3.22 Redlynch

Table SC6.13.3.22.a – Statement of cultural significance – Red Beret Hotel (former Redlynch Hotel)

Site Details	
Site Name	Red Beret Hotel (former Redlynch Hotel)
Alternative Name	
Location	
Address	401-411 Kamerunga Road, Redlynch
Lot/Plan	Lot 4 on RP748667
Coordinates	Easting 361173.9 Northing 8132414.0
Heritage Boundary	All of the building and land
Cultural Heritage Significance	
Criterion A	The hotel is of local significance as a surviving hotel and place of accommodation and social importance in what was a small agricultural township. The hotel was completed in 1925-26 by the architect Richard Hill. In the year prior (1924), the Cairns Licensing Board had granted a number of new permits for hotels in Cairns and the region to assist in providing for local, visiting and passing trade. While a new building code was coming into force in Cairns itself, outlying "villages" completed major buildings in timber but town centres were changing over to fireproof construction.
History	
Historical Context	<p>Redlynch was established in the 1880s, when the Cairns to Kuranda Railway was being built following the route of the Barron Valley Gorge.</p> <p>An early hotel in Redlynch was called the Terminus Hotel, and was sustained by the railway workers, farmers and canecutters. A photograph of the hotel was taken in c.1890. Reference was made to the Redlynch Hotel in the 1904 publication of 'Pugh's Almanac' and the proprietor was identified as R. Rowe.</p> <p>The current hotel was built between 1925 and 1926 for Mrs Norah Down 'to cope with the urgent local, visiting and passing trade in Redlynch and important sugar centre.' It was designed by the architect Richard Hill.</p> <p>The hotel's current name - the Red Beret, referred to an owner from the 1990s, Max Gorman, who was an ex-paratrooper.</p>
Description	
Physical Description	<p>The location allows the hotel to have an eye-catching prominence at the intersection of two main roads in the township of Redlynch.</p> <p>It is a largish two storey building in typical Queensland Hotel style with a Corrugated iron hipped roof and timber verandahs with deep valances covering the two streets. The upper level details are all intact although the verandah rails have been covered in and some areas obscured by signage. The verandah railing appears to be typical paling arrangement but some of this is actually colorbonded aluminium sections. Extensions have been made to the east (mainly drive through bottle shop facilities) and the south east (some refrigerator facilities) and to the south (storage).</p>



Table SC6.13.3.22.b – Statement of cultural significance – Redlynch Community Hall

Site Details	
Site Name	Redlynch Community Hall
Alternative Name	
Location	
Address	18 Redlynch Intake Road, Redlynch
Lot/Plan	Lot 7 on RP709165
Coordinates	Easting 361140.6 Northing 8132314.2
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The community hall is one of a number of small community centres in Cairns' outlying townships each constructed by local community groups for use by the community particularly small user groups which would not afford a larger venue.
Criterion G	The hall has been in use in this format since 1946. It is used by the local community for a variety of functions such as childcare and ballet. Its has been in constant use since construction.
History	
Historical Context	<p>In 1915, the formal opening of the 'Redlynch Hall' was announced in the Cairns Post and a number of dances, meetings, social events and fundraising activities were held there for the next few years. The hall was a timber building privately owned by Mr WT Turner.</p> <p>However, by 1935, no such facility was available to the local community and a committee was established to consider the construction of a hall, as 'social functions now have to avail themselves of the hospitality of Mr Culhane's Hotel.' The committee set out to collect subscriptions to be able to purchase a suitable piece of land. They also approached the Cairns Shire Council for financial assistance:</p> <p>"Mr. J. M. Jones, secretary Hall Committee, Redlynch, wrote stating that at a meeting of residents a committee was formed for the purpose of raising funds for the erection of a public hall, and had approached the Government for a loan; but so far had not been successful, but as it would be necessary to obtain sufficient funds to enable the purchase of an allotment which they had under option, they would be very grateful if the council could see its way clear to give them a donation." The council replied that they were not in a position to render any financial assistance.</p> <p>Financial constraints and World War Two most likely contributed to the stalling of the local community's project, but in May 1946, the grand opening of the Redlynch Hall was held and many dances, card afternoons, wedding receptions meetings, social events and fundraising activities were advertised at the venue over the following decade. The original hall was moved from Kamerunga where it had been a mess hall of the Australian Army Personnel Staging Camp. This building was</p>

	subsequently destroyed by Cyclone Agnes in 1956, and the existing hall was erected in its place in the early 1960's.
Description	
Physical Description	A linear building clad in ribbed metal decking and a metal gabled roof, supported by a steel portal frame with an exposed portal element forming the entry porch. Windows are louvred with timber frames. The base structure is a concrete wall.
Images	

SC6.13.3.23 Stratford

Table SC6.13.3.23.a – Statement of cultural significance – Barron River Hotel


Site Details	
Site Name	Barron River Hotel
Alternative Name	
Location	
Address	35-37 Stratford Parade, Stratford
Lot/Plan	Lot 7-8 on C198258
Coordinates	Easting 365203.7 Northing 8133787.7
Heritage Boundary	All of the building and land
Cultural Heritage Significance	
Criterion A	The hotel has local historic significance as a focus of community life and a substantial element in the townscape of Stratford since 1926. Hotels such as this, placed themselves near river crossings hoping to trade on patronage from travellers arriving on the outskirts of Cairns from towns further north.
History	
Historical Context	<p>The first Stratford Hotel opened in 1887 to take advantage of the railway workers building the first stage of the Kuranda railway line. The Range Hotel was the second hotel established in Stratford and opened in 1888.</p> <p>Messrs. Lawrence and Lordan, architects, invited tenders for the erection of an hotel at Stratford in November 1925.</p> <p>The Barron River Hotel was originally known as Tully's Hotel and was opened by Jim and Madge Tully in 1926. The hotel was popular with workers from the nearby timber mill. There was also a small hall at the rear of the hotel, known as Tully's Hall, where dances, card games and parties were held. Sunday School classes were also held in this hall before the Stratford Church of England was opened after the Second World War.</p> <p>The hotel has been renamed a number of times; it was known as Andrejics Hotel when it was bought by the Andrejic's, and then it was known as the Stratford Hotel. In 1995 it was purchased by Heritage Hotels Pty Ltd who undertook extensive renovations and re-opened it as the Barron River Hotel in 1997.</p>
Description	
Physical Description	The hotel is a two storey timber building with a corrugated iron hipped roof. It has north facing verandahs with paling balusters and timber valances. The upper level is reasonably complete with French doors to the verandah. The lower level has undergone a number of alterations including new glass doors in metal frames, alterations to the valance of the verandah and a re-landscaping including terracing.
Images	

Table SC6.13.3.23.b – Statement of cultural significance – Caltex Service Station

Site Details	
Site Name	Caltex Service Station
Alternative Name	
Location	
Address	2-4 Rinks Close, Stratford
Lot/Plan	Lot 355 on NR3008
Coordinates	Easting 365166.5 Northing 8133915.2
Heritage Boundary	To the extent of the land, the two storey garage and its residence but excluding the concrete block garage and the contemporary shop and station in the triangular forecourt.
Cultural Heritage Significance	
Criterion A	The former Caltex motor garage is a now rare building type developed prior to the introduction of single brand marketing where road side garages sold a variety of motor spirit brands to car owners. Prior to World War Two, car ownership was low and as a result travel was seen as an adventure, made more palpable by the state of the roads throughout rural Queensland. Motor garages were often associated with former wheelwright foundries and highway grocery stores where bowsers were located on the kerbside. Designed motor garages and service stations were relatively rare buildings and this survivor of that period is a rarity in the context of Cairns and its environs. The building also has aesthetic significance at the local level as a motor garage designed in the Art Deco idiom.
Criterion B	The building is rare as a surviving Inter-War motor garage, built before single brand marketing of petrol which after the 1950s changed service station design to become part of a suite of "corporate livery" which included signage, service uniforms and station design.
History	
Historical Context	<p>Although now a dead end street, the location of the former service station had been in sight of and on the road to, the previous timber bridge crossing of the Barron River (1927) before the highway was moved approximately a kilometre eastward with a new reinforced concrete bridge crossing.</p> <p>At the time the bridge was built there was a two storey building in the vicinity of this one but it is not until photographs of the 1950s that this building is evident and the two storey building has disappeared. This location serviced traffic between Cairns and the hinterland, the only other crossing being a low level concrete oneway bridge at Kamerunga.</p> <p>As such the service station captured passing trade and at the time of construction would have been a multi-brand service station. In 1951 the petroleum industry re-organised and service stations were purpose built for single brand marketing with the main outlets being Shell, British Petroleum (BP), Australian Motorists Petroleum Oil Limited (AMPOL), Mobil, and Caltex.</p> <p>The minors were Neptune, Phillips 66 and subsequently AMOCO, Daygas, Total and finally Solo brand which was organised by the combined trade unions.</p> <p>Service Stations and motor garages were until the mid-1950s, individually styled affairs, sometimes with a styled moderne appearance with horizontal and vertical lines which suited the new age of speed. Others were simply industrial purpose buildings often times with a motif such as a Pneumatic Wheel moulded into the render of the parapet which gave a clue as to its use. Multi-brand service stations sold an array of petrol brands from tall bowsers which were later replaced by smaller dial gauge mechanisms introduced by AMPOL.</p> <p>The building is visible in the background of a photograph taken of the Stratford Bowling Club in 1955. This photograph shows that it was a Caltex garage at that time It also shows large gates clad with vertical timber battens, enclosing the front of the building. These gates are no longer extant, but the remainder of the building</p>

	appears largely intact. Earlier aerial photographs with the river crossing in view do not contain a service station on this site.
Description	
Physical Description	A two storey timber framed building rectangular in plan and built over a masonry ground floor base with applied motifs on the building's exterior to give it a deco-modern streamline appearance. Conventional casement windows with horizontal paired glazing bars at the first floor level and the timber bracketed rain-hood over the casements reinforce the buildings appearance by emphasizing the vertical and horizontal elements. Horizontal banding is also applied to the forward ends of the ground floor walls. The roof is gabled at the frontage with a high façade parapet divided in horizontal panels giving the building a two and half storey appearance. The building has other applied Deco period motifs such as roundels and small pyramidal squares of AC sheet applied as a lozenge motifs. The building has recently lost its Caltex signage totem and other details which identified its original function. The ground floor garage workshop area has been filled in with a new room and a car garage has been built on the north side of the building, while the south side has an attached post 1970s forecourt and service station.
Images	

Table SC6.13.3.23.c – Statement of cultural significance – Stratford General Store

Site Details	
Site Name	Stratford General Store
Alternative Name	
Location	
Address	3-5 Kamerunga Road, Stratford
Lot/Plan	Lot 2 on RP716603
Coordinates	Easting 365098.7 Northing 8133779.5
Heritage Boundary	All of the building and title land
Cultural Heritage Significance	
Criterion A	The place has historic significance at the local level as an important element of the town and townscape of Stratford since at least the 1930s. It is an early and long surviving shop in the development of the township and one that has immediate prominence to traffic arriving from the west or more importantly from the northern districts across the bridge erected almost directly opposite.
History	
Historical Context	A building with a verandah over the footpath in this approximate location was indicated on a plan prepared by the Main Roads Department in 1933 and labelled 'Post Office and Shop'. There is a further reference to the installation of public telephone and telegraph facilities being installed at the Stratford Non-Official Post Office in 1939. Mr. G. Weinert operated a general store and casket agency (lottery) in Stratford, and it is likely that he also managed the non-official post office from the same premises until at least 1949.



	<p>In 1950, the Mulgrave Shire Council approved a building permit for T.E. West, Stratford, for 'post office, mercery, business and residence.'</p> <p>The Art Deco style of the parapet of this building suggests that it could have been built in the late 1920-30s, but this style can also appear later than one would expect in regional areas. Surviving horizontal hopper windows at ground level and the eaves arrangement however indicate a 1930-40s building.</p>
Description	
Physical Description	<p>A two storey shop with residence above and verandah over the footpath. The verandah has been enclosed and there is some evidence of it being an open arrangement under a flat roof. Above the verandah is a stepped parapet and centrally placed stepped pilaster all in an art deco style. The render on the building has been dashed onto the building and then cut but is likely to be a more recent change.</p> <p>1930s renderwork is often a finer grain (as found on the Laundromat building in Tully Street). The render on the general store is too coarse to be original. The main body of the building is a long structure with a hipped roof in metal. The windows on the upper level are metal framed sliding sash and probably replace casement windows. On the ground level are horizontal hoppers in the upper wall of the ground floor and these are original.</p>
Images	

Table SC6.13.3.23.d – Statement of cultural significance – Stratford Works Depot

Site Details	
Site Name	Stratford Works Depot
Alternative Name	
Location	
Address	Magazine Street, Stratford
Lot/Plan	Lot 431 on NR7226
Coordinates	Easting 364997.6 Northing 8133919.5
Heritage Boundary	The depot workshops (3 buildings) and Office building
Cultural Heritage Significance	
Criterion C	<p>The workshops were set up to service equipment used in providing facilities and sites for the training of combat ready soldiers and aeroplane landing zones and their facilities during the Second War World War.</p> <p>Exactly how the site functioned remains unclear although the generalities of the operation can be ascertained from the surviving buildings. The site has potential to yield further information on its integration in the Second World War effort against the invasion forces of the Japanese.</p>
Criterion B	The site is of significance at the local level as a collection of World War Two facilities in an area that was once alive with substantially more infrastructure and


	<p>the remnants of the Second World War. Australia's frontline effort in pushing back the Japanese invasion forces was substantially based in Cairns and its hinterland but with the passage of time such facilities and remnant infrastructure continue to disappear. This site, although small, represents a collection of buildings created under the direction of the Allied Works Council as part of the build up of men and materials in the region.</p>
<p>History</p>	
<p>Historical Context</p>	<p>The Federal Cabinet created the Allied Works Council (A.W.C.) at the same meeting at which it decided on 'total mobilisation' during World War Two on 17 February 1942, in order to accelerate Australia's response to the Japanese threat. (Japanese bombs fell on mainland Australia for the first time on 19 February 1942.)</p> <p>The AWC commenced works on 28 February 1942 and merged with the Works and Services Branch of the Department of the Interior in late 1942. The AWC took the role of project and construction manager for national defence projects. Five central directorates were established including engineering, architectural, administration and air services sections. (Brigadier J.F. McDonagh, 'Government Administration in the Second World War - Defence Facilities, Accommodation & Works Papers, Vol. 1. No. 1' 1978.)The purpose of the workshops was to service and repair light military vehicles of all varieties (mainly jeeps and a variety of truck types).</p> <p>The AWC established engineering workshops at Stratford during the War. The depot was acquired by the Main Roads Commission after the war. ('The History of the Queensland Main Roads Commission during World War Two 1939 - 1945')</p> <p>In 1950, the Mulgrave Sewerage Works were constructed on the site (Reference 'Night soil disposal plant under construction, Mulgrave Shire at Simmonds Creek' - P03361, Cairns Historical Society.)</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The site is flat land set back from the main Cairns-Redlynch road, and between the Cairns Herberton railway and the Barron River.</p> <p>The site has four buildings of interest:</p> <ul style="list-style-type: none"> • Three sheds, the largest being of corrugated iron with two sawtooth roof bays which have south facing highlights. • Two other adjacent long gabled sheds are supported on timber posts and originally both had sides enclosed with timber battens (now part clad with corrugated iron. • The floors (all of concrete) retain evidence of war time use (vehicle inspection pits and pneumatic hoists). • The fourth building is the office fronting the site entrance and is essentially a concrete cube with an applied timber truss over it supporting a roof of corrugated iron. This building appears to be in part a concrete bomb shelter converted to an office in post war years. Further investigation is likely to confirm this given the nature of the site for military use but its cubic form suggest and the roof overlay sitting on top of the structure.
<p>Images</p>	



SC6.13.3.24 The Islands

Table SC6.13.3.24.a – Statement of cultural significance – Green Island Underwater Observatory


Site Details	
Site Name	Green Island Underwater Observatory
Alternative Name	
Location	
Address	Green Island
Lot/Plan	Lot 188 SP113640
Coordinates	Easting 390297.0 Northing 8146888.9
Heritage Boundary	The Observatory Chamber and connection structure only.
Cultural Heritage Significance	
Criterion A	The Green Island Underwater Observatory has historic significance. It was installed in 1954 and demonstrates aspects of the evolution of tourism associated with the Great Barrier Reef, a major Australian tourist destination and a place inscribed on the World Heritage List. At the time, the observatory provided a view of sea life that was not readily accessed by a public who were yet to widely embrace the experiences of snorkelling and scuba diving. The facility's popularity began to wane in the mid 1980s as more sophisticated tourist experiences were introduced.
Criterion B	It is possible that the Green Island Underwater Observatory was the first structure of its type internationally, which was accessible to the general public. The only known comparable structure is the underwater observatory at Eilat, Israel, established in 1974. Regardless, the underwater observatory is rare, being an uncommon structure converted from an underwater diving chamber used during WWII in the erection of pylons.
Historical Context	<p>Green Island was declared a Recreational Reserve under the Cairns Municipal Council in 1906. The first public jetty was constructed in the same year and has been rebuilt a number of times. In 1937, the island was declared a National Park and a research facility (now the Department of Primary Industry Research Laboratory) was built on the island.</p> <p>The underwater observatory was converted from an underwater diving chamber used by the Navy during the Second World War to erect pylons. The 22 portholes were recycled from a decommissioned the Second World War ship. The conversion was designed and undertaken by Vince Vlasoff (described as an engineer, professional hunter and keen fisherman) and Lloyd Grigg (described as a well known crocodile shooter and hunting guide), who converted the diving chamber in 1953-54. The men shared an interest in underwater photography and this inspired the creation of the underwater observatory. Works to the observatory were initially undertaken in an estuary of Trinity Inlet and then it was towed by tug to its present location, where it was ballasted and anchored to the sea floor. It took over 18 hours, travelling at 1 knot, to tow the observatory the 27 km from Cairns. Coral formations were relocated closer to the structure by Vlasoff and Grigg to attract sea life and enhance the view from inside the underwater observatory. Permission to erect and anchor the chamber at Green Island was granted by the Forestry Department. At the time, the underwater observatory had a considerable impact on the public. One source from 1955 described the experience as "... the equivalent of a hundred aquaria all combined into one exotic fairyland..." A tourist booklet dating from the early 1960s describes "undoubtedly the greatest attraction at Green Island – or on any part of the Great Barrier Reef – is the underwater coral garden observatory... the visitor can see all the wonders of life beneath the seas." Snorkelling and scuba diving did not become widespread activities until the late 1960s, and so the underwater observatory provided an experience of an immediate connection with sea life which was rare at the time.</p>

	<p>Underwater documentaries and films by such identities as Jacques Cousteau and Ben Cropp were most likely responsible for the growth in popularity of snorkelling and diving, from around the introduction of television in 1956 and into the 1960s. The opening of the Green Island Underwater Observatory featured on newsreels made by such companies as Movietone and were shown across Australia, the United Kingdom and USA. Cruise ships began stopping off at the island so that the passengers could view the reef and marine life, either at the observatory or in a glass bottom boat.</p> <p>The Cairns Harbour Board recorded at least four P & O liners which anchored off Green Island in the 1960s, before cruise schedules changed in 1966. There have been claims that the Green Island facility was the 'world's first' underwater observatory. While it has been suggested that there were similar attractions operating at this time on the Island of Capri and in Monterey, California, this has not been substantiated. The only identified comparable sites are the underwater observatory at Eilat, Israel, established in 1974 and the Monterey Bay Aquarium, which opened in 1984. In 1983, a report titled 'Green Island Economic Study' noted that the Green Island Underwater Observatory was facing competition from two other Queensland observatories, one located on Hook Island and the other on Middle Island in the Keppel Group. The popularity of the Green Island facility began to wane in the mid 1980s as newer experiences and more sophisticated resorts were introduced to tourists. Vince Vlasoff and Lloyd Grigg went on to establish the Crocodile Farm (now known as Marineland Melanesia) on Green Island in 1964. The crocodile farm has been run by George and Shirley Craig since 1972.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The Underwater Observatory is a rectangular steel chamber, which is 7.5 metres long, 2.4 metres wide and 2.1 metres high. The 70 tonne structure is anchored down to the sea bed by steel pins and sea anchors driven into the reef. It is accessed from a souvenir shop on the jetty above, via an enclosed stairway.</p> <p>The chamber walls are 10mm thick steel plate reinforced with 240mm steel girders, and are encased inside and out with 125mm of ferro-concrete. The entire structure was designed to withstand up to 96,000 lbs of pressure and is ventilated by a forced draught system. Internally, the concrete forms a type of dado and a shallow step around the perimeter of the internal space allows children to see out through the portholes. There are two portholes in each of the short ends, ten portholes along the east side and eight along the west. The glass to the portholes is 27mm thick. The steel-framed stair, which has no risers, extends within the western long side of the chamber.</p>
<p>Images</p>	

SC6.13.3.25 Waugh’s Pocket

Table SC6.13.3.25.a – Statement of cultural significance – I D Buchanan (Delaricca Barracks)

Site Details	
Site Name	I D Buchanan (Delaricca Barracks)
Alternative Name	
Location	
Address	Bruce Highway, Waughs Pocket
Lot/Plan	Lot 159 on SP108880
Coordinates	Easting 387073.9 Northing 8071023.3
Heritage Boundary	All of the building and a 5m buffer all around it
Cultural Heritage Significance	
Criterion B	<p>The barracks are significant as a now rare form of accommodation in a period in which labour for working in the sugar industry was provided by a number of nationalities and wages and conditions were basic.</p> <p>Accommodation was placed closed to the cane fields and was often very basic in terms of a kitchen and a bath area which often led to a L shaped arrangement to the building which often contained only a small number of labourers. These building have long been abandoned for accommodation and often used for other purposes (storage, spare accommodation, horse stalls and so on).</p>
History	
Historical Context	<p>In 1878, the Queensland government began selling Far North Queensland land along the Bloomfield, Daintree, Mossman, Barron, Mulgrave and Johnstone Rivers. Land had originally been reserved under regulations in the 1863 Agricultural Reserves Act for coffee and sugar plantations within 10 miles of navigable rivers and the coastline. Land was secured by small farmers and larger companies, and by 1884 the sugar industry had been established in the region. This early industry was based on the plantation model of cane farming, which relied upon the use of indentured labourers. Most of the first field labourers were Melanesian (or Kanakas / South Sea Islanders), Chinese, Javanese or Malaysian as it was believed that Europeans were not capable of working in the tropics. Cane cutting as well as associated work such as planting, hoeing and trashing was very physically demanding and these men were paid less than Europeans. Plantation owners were not legislatively obliged to provide workers with accommodation or facilities. The labourers generally built and lived in humpies or huts made from grasses and cane tops, which were susceptible to fire.</p> <p>In 1884, a fall in world sugar prices and concern about the presence of Melanesian labourers in the colony triggered a drive to regulate and Europeanise the sugar industry. A petition to the Queensland Parliament in 1885 outlined the difficulties cane farmers had in being confined to the mills of plantation owners and an interest in changing the sugar industry from one dominated by Melanesian labourers to a white industry and centralized mills. Two subsequent pieces of legislation were instrumental in beginning this transformation. The ‘Pacific Island Act 1885’ stipulated that importation of Pacific Islander labour was to cease in 1890 and the ‘Sugar Works Guarantee Act 1893’ secured the development of the central milling system.</p> <p>In 1901, two additional pieces of legislation had a significant impact on Far North Queensland’s sugar industry and labour force – the ‘Immigration Restriction Act’ and the ‘Pacific Islanders Labourers Act.’ The first excluded people from immigrating on the basis of a literacy test and the second prohibited the recruitment of Melanesians to Australia after 1904. Italian, Greek, Spanish and Croatian immigrants gradually replaced the Melanesian workers and organised themselves into teams or gangs to harvest the cane. A small number of Australian and British descent labourers continued in the industry, earning money to eventually set up their own small-holdings.</p>

	<p>European workers demanded better working conditions than the indentured Melanesians, Chinese and Japanese labourers. In response, the Queensland government introduced the 'Sugar and Shearers' Accommodation Act 1905', which prescribed minimum standards of food and accommodation for those employed in both the mills and cane fields. This required mill owners and cane growers to build substantial accommodation for their workers. Many of these early barracks provided for large groups of between 24-50 men.</p> <p>Specifications for farm workers accommodation (barracks) were expanded upon in the 'Workers Accommodation Act 1915' and subsequently the 'Workers Accommodation Act 1952'. The requirements for accommodation and sanitation included: the number of beds in rooms; spacing in bedrooms, ventilation, lighting, provision of vessels for cooking, eating and drinking, sanitary conditions and storage. Instead of providing a standard barrack design, the Act stipulated that regional inspectors would annually check for compliance with the Acts. As a result, many different types of barracks were built throughout Far North Queensland.</p> <p>The simplest structure was the 'single barracks', comprising a kitchen, four bedrooms and a verandah. The intention was to accommodate a single cane cutting gang of four to twelve men. Most barracks were timber-framed and were clad with corrugated iron or asbestos cement. Later barracks, built in the late 1940s and 1950s, were built of concrete. Four major barracks styles have been identified: a linear style, an L-shaped style, a cottage style and double barracks. The legislation also stipulated that the barracks had to be located a certain distance from mills and they were often situated near a tramway or other farm buildings.</p> <p>The use of seasonal labourers in the cane industry continued until the development of mechanical harvesting in the 1960s, although manual harvesting was not totally phased out until 1976. Cane barracks have not been required since this time, and as a result many have been demolished, adapted for other uses or fallen into disrepair.</p> <p>The history of these barracks is unknown.</p>
<p>Description</p>	
<p>Physical Description</p>	<p>The barracks are located 25m to the west of the Bruce Highway and 150m north of Waughs Pocket Road, Waughs Pocket.</p> <p>The L-shaped barracks building is rendered with cement and the roof comprises a full gable. It is unclear whether the building has had a bedroom removed although it appears that this is the case. It is now used as a storage shed although somewhat abandoned. Some original elements remain on site.</p>
<p>Images</p>	

SC6.13.3.26 Whitfield

Table SC6.13.26.a – Statement of cultural significance – Oribin House


Site Details	
Site Name	Oribin House
Alternative Name	
Location	
Address	3-7 Mullins Street, Whitfield
Lot/Plan	Lot 1 on RP725542
Coordinates	Easting 365141.0 Northing 8131409.1
Heritage Boundary	All of the house and land
Cultural Heritage Significance	
Criterion A	This house, designed by the architect Eddie Oribin in 1958 for his own use, was so innovative and unusual that it increased public interest in modern architecture and inspired other buildings. As such, it has historical significance at the regional level for its role in the built development of Far North Queensland. The EH Oribin Award for Far North Queensland Building of the Year was established by the Royal Australian Institute of Architects in 2000 in recognition of Oribin's contribution to the built environment.
Criterion E	The design of the building and its nearby studio are of aesthetic significance as buildings of exceptional architectural quality, which were inspired by the climate, the designs of Frank Lloyd Wright and the innovative use of building materials.
History	
Historical Context	<p>The land was first owned in 1886 by William Charles Smith and later developed as a sugarcane plantation. The land was subdivided in the 1950s when the suburb of Whitfield was developed. Edwin Henry (Eddie) Oribin and his wife Joyce purchased re-subdivisions 95 and 108 of subdivision 1A of Reserve 291 in October 1957.</p> <p>Eddie Oribin was born in Cairns in 1927. He registered with the Architects' Board in 1953 and went into partnership with the architect S.G. Barnes in the same year. He built this house for his own family in 1958. SG Barnes died in 1959 and Oribin carried on in private practice. In 1960, once he was working on his own, Oribin built a studio on the western side of his land, which he accessed from his house via a bridge over the creek which ran through the site.</p> <p>Oribin was particularly influenced by the work of Frank Lloyd Wright and this house has been compared to Wright's Usonian houses. Some of his early buildings, including this house, have been described as 'remarkably mature essays somewhat in the Wrightian manner where his mastery of form and detail in 'organic' materials (wood, stone, copper, water) is evident, together with a sensitive relation to the tropical landscape'. (Ian Sinnamon, Assessment of St Andrew's Memorial Presbyterian Church, Innisfail). Oribin undertook a wide range of work in North Queensland, and is particularly known for the houses and churches he designed, including St Paul's Anglican Church, Proserpine (1958) and St Andrew's Presbyterian Church, Innisfail (1961). A number of his buildings, including this house, were featured in an edition of the journal 'Building Ideas' in 1964.</p> <p>In 1971, the land owned by the Oribin's was subdivided into three lots - one lot containing the house, another the studio and the third was a vacant lot on the corner of Mullins Street and Heavey Crescent. The vacant lot, house and studio were sold separately by the Oribin's in 1973. The separate ownership and the construction of a house on the vacant lot somewhat obscured the original connection between the house and studio and the landscape design.</p> <p>Oribin closed his architectural practice in 1973, but continued to carry out personal building projects. In 2000, his architectural contribution was recognized in the Royal Australian Institute of Architects' establishment of the 'E.H. Oribin Award for Far North Queensland Building of the Year', which has become an annual award.</p>

Description	
Physical Description	<p>The single-storey house is low set and surrounded by lush tropical gardens and water features. At the front of the property, a low timber fence clad with weatherboards reinforces the horizontal characteristics of the house and its materials. Prior to the subdivision and sale of the property, the house was linked at the rear to the architect's studio by a long raised timber walkway over a creek.</p> <p>The house is built on a long north-south axis, running parallel to Mullins Street. The floor plan is based on a 4'6" grid, creating unusual internal spaces. The low gabled roof with deep eaves features unusual pointed ends. The roof was originally covered with bitumen, but this failed in the extreme tropical conditions and was later replaced by Oribin with corrugated iron. At the southern end, the roof cantilevers over two car bays, which are next to the main entrance. A projecting triangular bay, comprising glazing with horizontal glazing bars, marks this entrance. The external walls are clad with a combination of painted silky oak boards and areas of roughcast. Windows comprise both timber-framed fixed glazing and casement windows. Diagonal glazing bars to the windows and angled walls add further interest.</p> <p>Forced ventilation is achieved by the suction principle, which draws air through small, angled windows and ventilation openings on the windward side of the house.</p>
Images	 <p>The image block contains three photographs of the house. The top-left photo shows a view through a lush garden with a large palm tree and a low wooden fence. The top-right photo shows a side view of the house, a long, low-profile building with a white roof and dark walls, set in a green lawn. The bottom photo is a close-up of the entrance, featuring a bright red door and a dark, textured wall.</p>

SC6.13.3.27 Woree

Table SC6.13.3.27.a – Statement of cultural significance – Cannon Park, Cairns Jockey Club

Site Details	
Site Name	Cannon Park, Cairns Jockey Club
Alternative Name	
Location	
Address	593-619 Bruce Highway, Woree
Lot/Plan	Lot 3 on RP707561
Coordinates	Easting 366572.1 Northing 8125753.3
Heritage Boundary	The land forming Cannon Park without reference to any buildings or structures
Cultural Heritage Significance	
Criterion A	<p>Cannon Park became the site for racing after the Cairns Jockey Clubs long search for a home which saw them attending places such as Eightmile near Wrights Creek. The site has been used for various forms of horse racing and at one time Motorcycle racing on the circular track.</p> <p>Sites around Cairns had been set aside for Horseracing (including the Anderson St Cemetery and at Dwight's Creek) but is Cannon Park which has had the longest use of circa 100 years.</p> <p>The sites early buildings have since been demolished.</p>
History	
Historical Context	<p>The first mention of the Cairns Jockey Club was in April 1884 when it was written in the Cairns Post:</p> <p>"It is much to be regretted there is not sufficient enterprise amongst our leading citizens to establish a" Cairns Jockey Club." Such an institution properly, managed- and in-good hands would considerably benefit the town. If regular races are held it brings visitors to the town. Money is circulated to the benefit of the trades people and others.... It is to be hoped some effort will be made of forming a club which when completed will enable the members to make application to the Government for a reserve of land with which to make a race-course."</p> <p>Three months later, WD Hobson made the following announcement in the Cairns Post:</p> <p>"I have been requested by several leading residents of Cairns to call a Meeting for the purpose of forming a Jockey Club, and in the application to the Government to grant a Racecourse Reserve. All those interested will kindly meet on WEDNESDAY, the 23rd instant, at the Mining Exchange Hotel, at 5 p.m."</p> <p>In October 1884, a Cairns Jockey Club race meeting was proposed. The prize money was £180, including the Jockey Club Handicap of £60. The Committee of the Cairns Jockey Club announced that they had Chartered the S.S. Bee to convey passengers to and from the racecourse on October 14.</p> <p>In April 1885, the Cairns Jockey Club held another meeting to consider the racecourse question. "The land was granted for this purpose, and marked on the official plan of the town, but through some blunder of the department it was subsequently thrown open for selection. Mr. Smith, who has interested himself in securing the property for the club, stated that he was in receipt of telegram from Mr. McArdle now in Brisbane that having interviewed the Deputy Surveyor-General, that gentleman promised to send instructions by next mail to Mr. Behan to have the original reserve surveyed.</p> <p>It was then decided to wait before taking any further steps."An article in the Cairns Post in 1887 described how the Cairns Jockey Club "is now practically defunct, and whilst other towns in the North are arranging for race meetings, Cairns is left out in the cold and must depend upon other clubs for sport that we ought to be well able to provide for ourselves. The causes which led to the downfall of the C.J.C. are</p>

	<p>many, and are all such as might have been averted had proper discrimination been shown when the club was first formed in the election of a competent staff of stewards, and what is still more important, a secretary at once careful, business-like, and energetic, with a thorough knowledge of all matters pertaining to the sport of horse-racing, from our position as one of the leading centres of Northern Queensland, from our population, and from the affluent condition of the district, who should possess the most prosperous club of any place in the North, but to our shame, be it said, we have no club, or worse than that, having had a club have allowed it to become defunct from want of proper management, and now nothing but the most vigorous efforts on the part of those interested will enable us to have a meeting this year at all. However, we are not disposed to waste time in singing a dirge over the moribund society, but would at once urge the sporting people of the Cairns district to take immediate action, and form a meeting to be held at the most convenient date. It can just be done, and only just, and to bring the matter to a successful issue steps must be taken at once, today, to call a gathering of the lovers of the pastime to arrange, a programme of events and a prize list, appoint a president and secretary, and take all further proceedings which may be deemed necessary in the matter...As we have said, it can be done, and should if energy and judgement are brought to bear, and as soon as a properly constituted club is arranged a, proper course should be obtained at some spot, should it be found accessory to alter the present site, along the railway line. If properly fenced and made it would pay handsomely, and should bring at least £100 every meeting All we say is, act, and that at once, and a successful affair will certainly result."</p> <p>The club changed its name to the Cairns Mulgrave Jockey Club in 1902. In February 1911, Council considered applying for the old racecourse to be given over as a cemetery and put such a request to the Lands Commissioner. The Cairns Mulgrave Jockey Club Annual Meeting was held on the 14th and 15th July 1911 "on their new course at Woree... New track. New grandstand. Big improvements."</p>
<p>Description</p>	
<p>Physical Description</p>	<p>A complex of buildings including gatehouses, grandstand club rooms, ancillary services (kitchens, toilets storage etc) along with horse stables, fodder storage and so on all on the south side of a horse racing track.</p> <p>These are set some 200m back from the Bruce Highway.</p> <p>Most buildings appear to have been erected in the last five decades (i.e. from the 1960s) Overall the buildings have little in the way of architectural form or an architectural theme although. There appears to be no one building of individual architectural merit on the site. The buildings are for the most part concrete blockwork and concrete frame structures. (Given this, no buildings are recommended for inclusion in the planning scheme)</p>
<p>Images</p>	

SC6.13.4 Guidance on meeting planning scheme outcomes

SC6.13.4.1 Related materials

- (2) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes include:
- (a) The Burra Charter: The Australian ICOMOS Charter for Places of Cultural Significance, 1999 and associated guidelines.
 - (b) Department of Environment and Heritage Protection. Guideline: Preparing a Heritage Impact Statement. www.ehp.qld.gov.au/heritage/documents/heritage-impact-statement.pdf
 - (c) Department of Environment and Heritage Protection. Guideline: Archival Recording of Heritage Places. www.ehp.qld.gov.au/heritage/documents/archival-recording-heritage-places.pdf
 - (d) Department of Environment and Heritage Protection. Using the criteria – a methodology. www.qldheritage.org.au/assets/files/pdf/using-the-criteria.pdf

SC6.14 Planning Scheme Policy – Site assessments

SC6.14.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide information on undertaking a site assessment to identify the characteristics, opportunities and constraints of a site.

SC6.14.2 Information Council may request

SC6.14.2.1 Site assessments

- (1) A site assessment may be required or requested by Council to accompany a development application to assist in assessing a development activity's impacts and benefits.
- (2) A site assessment identifies and describes:
 - (a) The characteristics, opportunities and constraints of the site;
 - (b) the key influences on the design, siting, operation and management of the development; and
 - (c) how the proposed development relates to and integrates with its surrounds.
- (3) A site assessment should be specifically relevant to the site and its surrounds and undertaken in the context of the proposed development. The extent of detail and information required will be proportionate to the type of development proposed, the likely impact of that development and the constraints and opportunities of the site and surrounds.
- (4) As a general guide, a site assessment should include the following:
 - (a) in respect to the site, information describing (to the extent relevant):
 - (i) contours, site levels and steep land;
 - (ii) the type, size, condition and location of existing vegetation and/or fauna;
 - (iii) past and present land uses including the type, size, condition and location of any existing buildings or structures;
 - (iv) applicable overlays;
 - (v) views to and from the site;
 - (vi) existing vehicular and pedestrian access and connection points;
 - (vii) if required, potential access points that are clear of infrastructure, vegetation or any other structure or obstruction;
 - (viii) drainage paths, existing services and infrastructure;
 - (ix) any noise nuisance sources;
 - (x) solar orientation and direction of prevailing breezes;
 - (xi) any contaminated soils;
 - (xii) areas that are filled above the natural ground level;
 - (xiii) fences, boundaries, lot sizes, easements and any road realignment lines;
 - (xiv) features of environmental, cultural or heritage significance;
 - (xv) photographs of the site;
 - (xvi) any other notable features.
 - (b) in respect to the site surrounds, information describing (to the extent relevant):
 - (i) adjoining or surrounding land uses including proximate sensitive land uses and their compatibility with the proposed uses;
 - (ii) the proximity of nearby centres and facilities such as schools, shopping centres, employment generators and other community services;
 - (iii) the existing road network and intersections, local traffic circulation pattern and public transport routes and stops;
 - (iv) the surrounding open space network and pedestrian and cyclist network;
 - (v) where the site adjoins a sensitive land use, identify the location of private open spaces, openings of habitable rooms and other private areas that can be viewed from the site;
 - (vi) views and solar access enjoyed by adjacent residents;
 - (vii) major trees on adjacent properties;
 - (viii) extractive resource areas, haulage routes or infrastructure corridors;

- (ix) characteristics of any adjacent public open space;
- (x) street frontage features such as poles, footpaths, street trees, kerb crossovers, bus stops, parking spaces and services;
- (xi) the built form and character of adjacent and nearby development, including characteristic fencing and garden styles;
- (xii) the difference in ground levels (natural and finished) between the subject land and adjacent properties;
- (xiii) Photographs of the surrounds.

SC6.15 Planning scheme policy – Structure planning

SC6.15.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to provide information on the preparation of structure plans.

SC6.15.2 Information Council may request

SC6.15.2.1 Requirement to prepare a Structure Plan

- (1) A structure plan is required to accompany applications for development:
 - (a) Located within the Emerging community zone;
 - (b) Located within the Mount Peter local plan area (where a structure plan is not already approved by Council);
 - (c) For Reconfiguring a lot on land with a total area greater than 5,000m²;
 - (d) For Material change of use involving;
 - (i) preliminary approval to vary the effect of the planning scheme;
 - (ii) establishing a District centre;
 - (iii) establishing alternative preferred land uses to the planning scheme.
- (2) Once adopted or approved by Council, the structure plan will guide and inform subsequent development of the structure planned area.
- (3) A structure plan provides the necessary planning framework to ensure that development is planned and delivered in an orderly and integrated manner. Where the site is located within a local plan area, the structure plan must be prepared in accordance with the provisions of the relevant local plan.

SC6.15.2.2 Scope of a Structure Plan

- (1) The scope of a structure plan will depend on the scale, likely impact and broader context of the development. The extent of detail and information required will be commensurate to the type of development proposed, the likely impact of that development and the constraints and opportunities of the land.
- (2) The structure plan is to be prepared with consideration of the broader context of the locality and surrounding area. It must demonstrate how development in the structure planned area will integrate with the surrounding community and with existing parks and infrastructure networks and movement systems (road network, public transport facilities and pedestrian and cyclist networks).
- (3) The structure plan should integrate with and act as part of the planning scheme through the use of consistent zoning and terminology within the planning scheme. It must not conflict with or compromise the achievement of the Strategic Framework. The structure plan should reference relevant provisions within the planning scheme to achieve the intent for the structure planned area rather than proposing alternative provisions or levels of assessment.

SC6.15.2.3 Structure plan framework

- (1) Where a structure plan is required, it should include the following as a minimum.
 - (a) A site description of the land;
 - (b) an assessment that details the nature and extent of the opportunities and constraints associated with the site and the immediate locality surrounding the site, such as:
 - (i) the impacts of applicable overlays;
 - (ii) adjoining or surrounding land uses and their compatibility with the proposed uses;
 - (iii) the availability of infrastructure;
 - (iv) topographical and natural features;
 - (v) the existing road network and intersections, public transport routes and stops;
 - (vi) the surrounding open space network and pedestrian and cyclist network;
 - (vii) the proximity of nearby centres and facilities such as schools, shopping centres, employment generators and other community services.
 - (c) The structure plan should include plans showing:
 - (i) the road and block layout;
 - (ii) allocated preferred land uses and development outcomes for sites or areas;
 - (iii) the sequencing or staging of development;
 - (iv) the location of public open space and recreational areas including open space linkages and networks;
 - (v) pedestrian and cycle networks;
 - (vi) public transport routes and stops;
 - (vii) the internal road hierarchy and how it integrates with the external road hierarchy;
 - (viii) the location, type and scale of physical infrastructure networks to be provided including, electricity, water supply, drainage and waste water;
 - (ix) the location of major stormwater flow paths;
 - (x) centres;
 - (xi) community facilities.
 - (d) The structure plan should provide the following information:
 - (i) how the constraints and opportunities of the land and likely impact of the development have been considered and incorporated;
 - (ii) the approximate lot or dwelling yield for the proposed development;
 - (iii) how the development integrates with surrounding land uses, road network, infrastructure networks, open space and recreation networks and natural features;
 - (iv) the intended location, mix and density of residential development and the range of proposed land uses;
 - (v) where appropriate, the proposed built form and character of development;
 - (vi) where a centre is proposed, the scale and function of the centre and its role within the region's hierarchy of centres;
 - (vii) Justification must be provided to support the need for a new centre to be established and demonstrate that the new centre will not have an adverse effect on the economic viability of existing centres;
 - (viii) how the Structure Plan addresses the planning scheme provisions relevant to the structure planned area, including those in Part 3 Strategic framework;
 - (ix) the consideration given to relevant environmental issues, including any short term and cumulative impact on biodiversity and cultural heritage values;

- (x) the consideration given to the relevant demographics of the current area and future requirements, to ensure that the appropriate mix of services are available or can be provided;
 - (xi) How open space meets the desired provisions for land area, park design and improvements.
 - (xii) How physical infrastructure (including electricity, wastewater and drainage infrastructure) will integrate with development in a manner that minimises safety or amenity impacts.
- (2) Further studies or information may be requested by Council to validate the proposal. These may include:
- (a) Bushfire management plan;
 - (b) Cultural heritage assessment;
 - (c) Infrastructure studies;
 - (d) Environmental assessment report;
 - (e) Flood hazard assessment;
 - (f) Landslip hazard assessment;
 - (g) Strategic rehabilitation plan;
 - (h) Site opportunity and constraints analysis;
 - (i) Social and community impacts assessment;
 - (j) Visual impact assessment report.

SC6.15.3 Guidance on meeting planning scheme outcomes

SC6.15.3.1 Related materials

- (1) Other documents which provide guidance on meeting the scope and purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
- (a) Endorsed Mount Peter master planning documents and studies;
 - (b) Edmonton town Centre master plan;
 - (c) Local government infrastructure plan;
 - (d) Cairns Regional Council Open space policy.

SC6.16 Planning scheme policy – Tropical Urbanism

SC6.16.1 Purpose of the planning scheme policy

- (1) The purpose of this planning scheme policy is to:
 - (c) provide context and guidance for the tropical urbanism, ‘city in a rainforest’ and qualities of good urban places provisions in the planning scheme
 - (d) provide guidance for satisfying assessment criteria in the planning scheme, in particular the provisions of the City centre local plan code; and the Building height overlay code; and
 - (e) identify information that Council may request or that may be required for a development application.

SC6.16.2 Context to Tropical Urbanism

SC6.16.2.1 Biophilia

- (1) Biophilia is a term that describes the extent to which humans are hard-wired to need connection with nature and other forms of life. It means that cities and their environment, and in particular their natural context, are inextricably linked.

This link is not only made at an emotional level, but it is the very built form of a community and how that built form connects with a community by sight, experience and identity that determines the experience for a resident or visitor; leading to positive memories, pride, comfort and an emotional association with the experience.

The overt presence of the natural environment and its abundant landscape makes Cairns a ‘city in a rainforest’. It is this close proximity of nature to the city that attracts tourism, energises the experience of locals, and positions Cairns as a unique tropical urban environment.

In Cairns, the relationship between built form, city planning and landscape is expressed as tropical urbanism and is a defining factor of the identity of Cairns.

SC6.16.2.2 Tropical Urbanism

- (1) Tropical urbanism is the integration of landscaping and tropical design elements into the built environment. Development that expresses Tropical urbanism incorporates:
 - (a) Shelter from sun and rain;
 - (b) A contrast of light and shade;
 - (c) Sufficient spaces around and between buildings;
 - (d) Minimisation of radiant heat and heat island effects;
 - (e) Air circulation, breeze permeation and passive cooling;
 - (f) Generous outdoor living spaces with large window and balcony openings;
 - (g) Generous floor to ceiling heights;
 - (h) High quality landscaping;
 - (i) Quality public and private spaces that proliferate and enliven the urban form; and
 - (j) Passive design that responds to the tropical climate.

Figures SC6.16.2.2.a and SC6.16.2.2.b below depict the concept of Tropical Urbanism.



Figure SC6.16.2.2.a – Concept of Tropical Urbanism



Figure SC6.16.2.2.b – Tropical Urbanism in Cairns

SC6.16.3 Guidance on meeting planning scheme outcomes - Achieving Tropical Urbanism

SC6.16.3.1 Articulation and Façade treatments

- (1) A key feature of tropical urbanism is variety and articulation and the interplay between light and shade on the facades of buildings. The contrast of light and shade creates visual interest and improves the amenity for residents and occupants by reducing heat load and creating shaded living spaces. Variety in built form can be achieved through the use of different materials, textures, use of light and shade, depth, colour and other architectural features and structures. Achieving variety will ensure that buildings appear separate and different from other buildings on the same or adjoining lots.
- (2) Articulation should predominantly form part of the built structure rather than be in the form of temporary fixtures or add on screening structures. Building facades should be modulated to add variety and visual interest and avoid large expanses of solid blank walls. This can be achieved through the use of the following mechanisms:
 - (a) Contrasting light and shade through the use of projections, balconies, recesses, awnings and overhangs;
 - (b) A minimum of 50% shading provided to the external surface of buildings (as measured between 9am and 3pm on both 21 June and 21 December). Shading is

to be provided through the use of permanent components of the built structure such as protruding balconies, overhangs or building articulation. Temporary features, performance glass or design elements that rely upon behavioural or operational actions to provide the required shading to external facades cannot be used in the calculation of the shading requirements;

- (c) Windows and balconies with large openings;
- (d) Vertical landscaping (see SC6.16.3.7 for additional guidance);
- (e) Varied roof profiles to break up the bulk of the roof design;
- (f) Patterning through the use of different materials, textures and colours;
- (g) Architectural features and structures.

Figures SC6.16.3.1.a and SC6.16.3.1.b below show how the elements above can be integrated to achieve variety in building facades.



Figure SC6.16.3.1. a – Variety in façade treatments



Figure SC6.16.3.1. b – Variety in façade treatment

- (3) Variety in the built form and particularly the shape, height, width and façade treatments of buildings will add visual interest to the streetscape and skyline and prevent the appearance of a wall of buildings. Figure SC6.16.3.1.c below shows an inconsistent design response that uses repetitive façade treatments to give the appearance of a continuous wall of buildings.

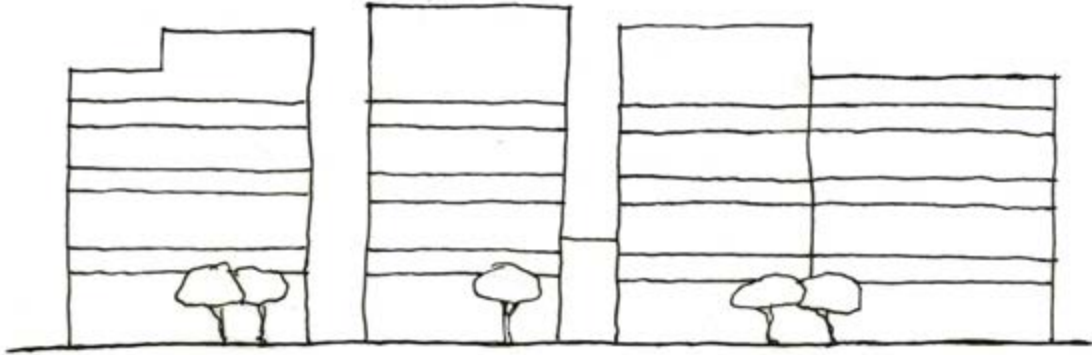


Figure SC6.16.3.1.c – Inconsistent design response for façade treatments

SC6.16.3.2 Separation and setbacks

- (1) Separation between buildings/towers and appropriate setbacks from boundaries is essential to achieving:
- privacy and amenity for residents and occupants of the development and adjoining developments;
 - sufficient area to provide deep landscaping;
 - access to natural light and ventilation;
 - the retention of views lines through to the mountains and ocean; and
 - the appearance of distinct buildings rather than the appearance of continuous buildings which blend into each other forming a 'wall of buildings'.

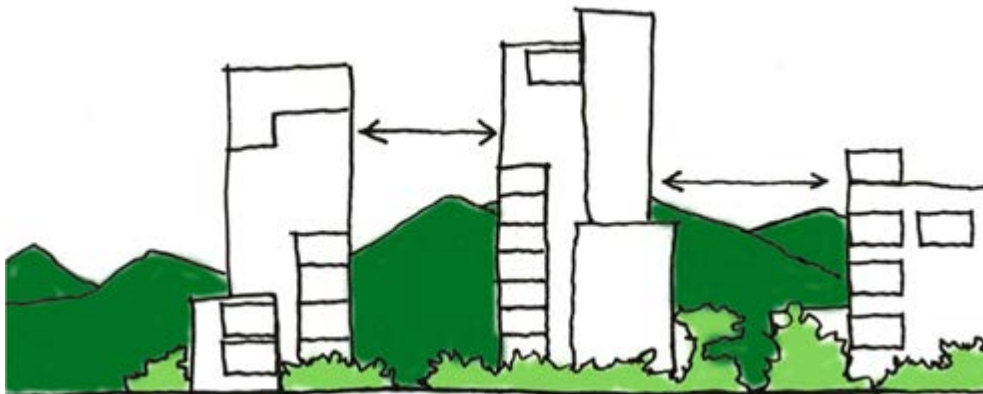


Figure SC6.16.3.2.a – Separation between buildings

- (2) Front to rear orientation is the preferred orientation for all residential buildings to maintain privacy between adjoining sites with non-habitable rooms being preferred on the side facades. In some circumstances and for very wide development sites, units may face side boundaries where sufficient separation can be demonstrated. Figure SC6.16.3.2.b below provides guidance on meeting the assessment criteria within the planning scheme for habitable room setbacks.

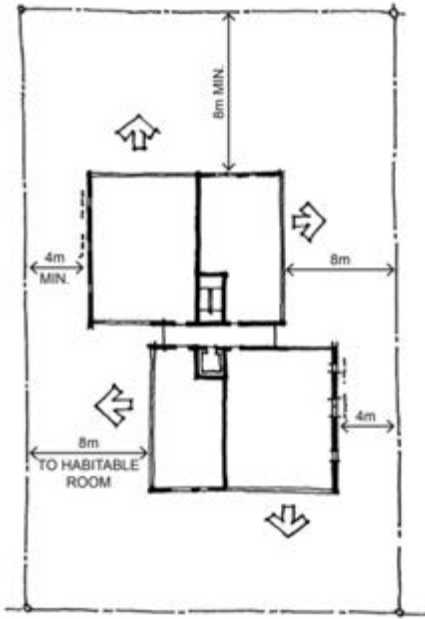


Figure SC6.16.3.2.b – Setbacks for habitable rooms

SC6.16.3.3 Building width

- (1) Building width is not only important for the retention of views, but for maintaining the scale of the urban environment and facilitating landscaping outcomes. Excessive width of buildings impacts on outlook, views, local climatic conditions, opportunities for landscaping and penetration of light and breezes into the development, and can create adverse effects on adjoining and nearby premises. Maximum building widths have been included within the planning scheme to avoid the adverse impacts of wide buildings. Figure SC6.16.3.3.a below demonstrates how maximum building widths are measured.

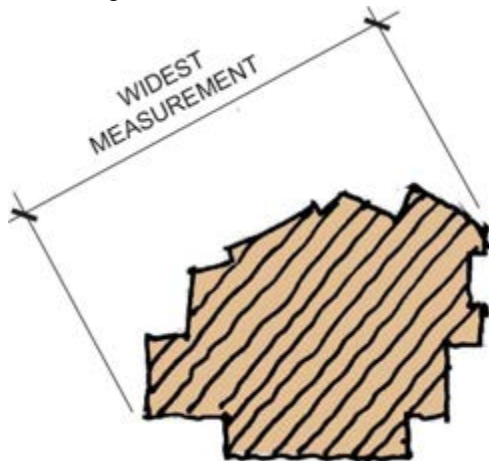


Figure SC6.16.3.3.a – Measuring the maximum width of buildings

- (2) In the Cairns Centre City maximum building widths can apply to multiple adjoining developments where each development is on a lot less than 1000m². Figure SC6.16.3.3.b below, demonstrates how the maximum building widths of multiple adjoining development is measured.

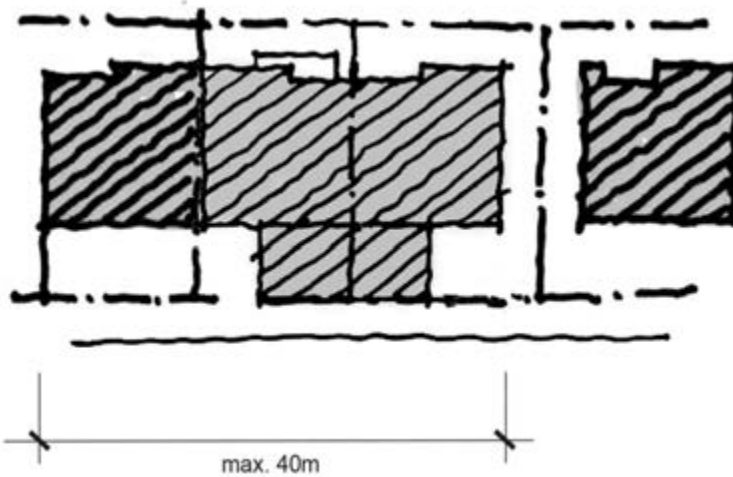


Figure SC6.16.3.3.b – Measuring maximum width of multiple adjoining buildings

SC6.16.3.4 Walls on boundaries

- (1) To contribute to a vibrant and attractive city all visible building façades, including podium walls located on property boundaries are to be presented as well-resolved and attractive visual compositions through articulation or architectural treatment. As the city develops blank walls awaiting a similar development on adjoining sites will occur, the visible portion of these walls are to be treated. Façade treatments should be integrated within the building design and not rely on paint or applied finishes which may deteriorate over time. Figure SC6.16.3.4.a below provides guidance on meeting the assessment criteria within the planning scheme for articulation and architectural treatments.

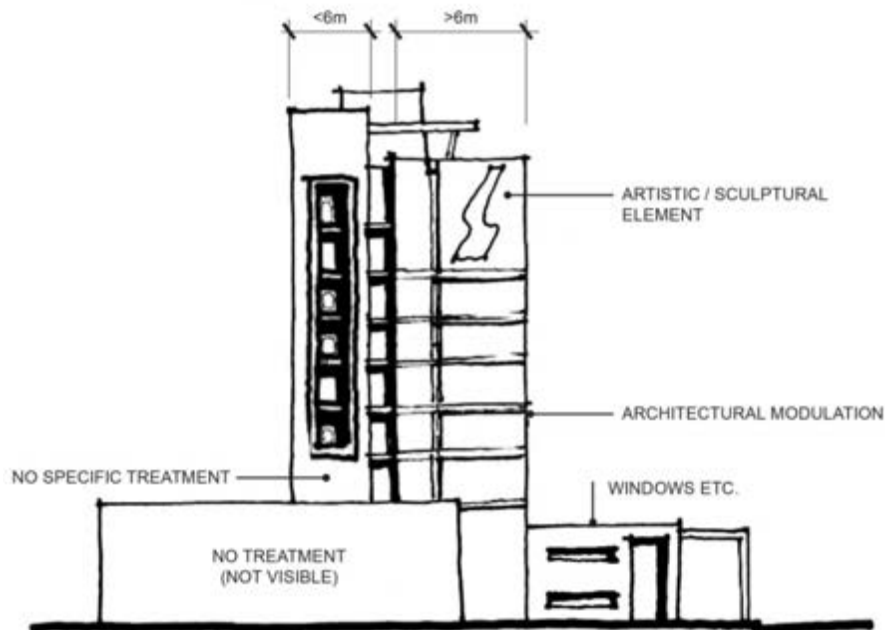


Figure SC6.16.3.4.a – Example of articulation and architectural treatments

SC6.16.3.5 Views and vistas

- (1) The views to the mountains which surround the Cairns urban area, in all directions (other than the North and North East) both between buildings and along streets are part of the tropical context and experience of Cairns. Views to the North and North East to Trinity Bay, and in some parts of the City Centre to Trinity Inlet, are of equal significance.

- (2) Boundary setbacks and minimum separation distances between buildings have been nominated to ensure that view lines to the mountains and ocean are maintained. Figure SC6.16.3.5.a below shows how view lines are retained between buildings.

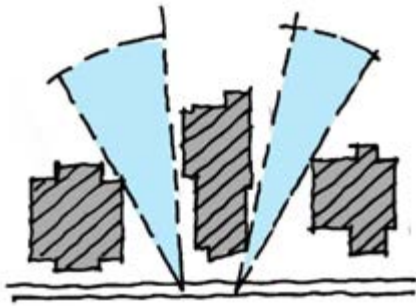


Figure SC6.16.3.5.a – View lines between buildings

SC6.16.3.6 Horizontal landscaping

- (1) The abundance of green landscaping is a predominant characteristic of the image of Cairns as a ‘city in a rainforest’. Landscaping also acts as a feature to development, providing shade and softening and articulating the built form. In North Cairns, landscaping should be provided along all boundaries.
- (2) Horizontal landscaping can be achieved through deep landscaping in ground, landscaping on podiums and above basements, in planter boxes and on rooftops. However where the height of the proposed development is proximate to the Obstacle limitation surface shown on the Airport environs overlay maps contained in Schedule 2, rooftop gardens and rooftop recreational areas are not permitted to minimise risk of bird or bat strikes to aircraft.

Figure SC6.16.3.6.a below provides guidance of meeting the planning scheme requirements for deep landscaping areas in each corner of the site.

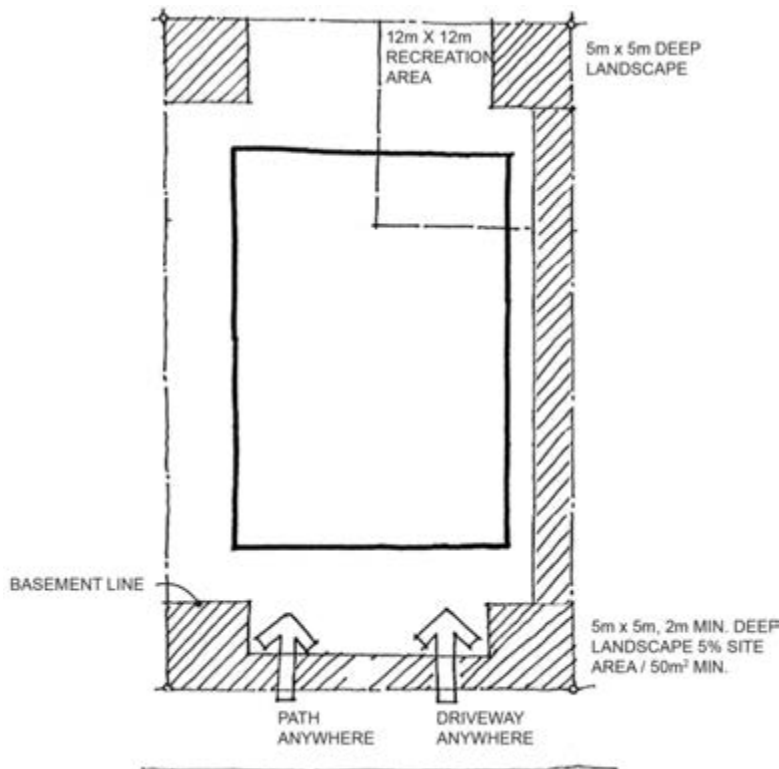


Figure SC6.16.3.6.a – Deep landscaping areas in site corners

- (3) Driveways are to be located such that they facilitate the achievement of the required on-site landscaping. It is anticipated that in some circumstances safety considerations will dictate the location of the driveway, and in these cases one deep landscaped corner may not be required or may not be required at full size.
- (4) Landscaping can be used as a mechanism for screening plant and equipment from view. However, where this is proposed, landscaping needs to be of an appropriate size and density to sufficiently achieve complete screening. Such landscaping will need to be planted at sufficient maturity to achieve immediate screening.
- (5) Where a development adjoins an existing development which has a building wall or basement parking structure on the one boundary, the development may propose a corresponding, abutting, wall or basement, in such cases the provision of landscaping may best be accommodated through increased density and depth of landscaping on the opposite boundary. Side boundary setbacks should contain landscaping and not be dominated by hard surfaces, driveways or services.
- (6) The minimum usable recreation space required by the code can include a deep landscaped corner.

SC6.16.3.7 Vertical Landscaping

- (1) Conventionally landscaping is provided at grade and on top of podiums or basement car parking structures. Vertical landscaping seeks to achieve the appearance of landscaping at all levels of a building. Landscaping of a building vertically as well as horizontally softens and screens the appearance of the built form and connects the higher levels of the building to the ground and surrounding setting. Vertical landscaping can also be used in the articulation of building facades.
- (2) The requirements for vertical landscaping can be achieved through the use of one or more of the following mechanisms:
 - (a) Deep landscaping within the ground that incorporates tree species that, within 5 years, reach heights to achieve sufficient coverage of the façade;
 - (b) Landscaping on top of podiums and basements (green roofs and planter box style planting);
 - (c) The integration of planter boxes at various levels on the façade, outside of balconies, external stairs or other architectural features;
 - (d) Vertical gardens, green walls or trellis planting;
 - (e) Rooftop gardens (only where at a height that would not increase the risk of aircraft bird or bat strike).

Figure SC6.16.3.7.a below demonstrates how the mechanisms above can be used to achieve vertical landscaping.



Figure SC6.16.3.7.a – Vertical landscaping

- (3) The planning scheme includes specific requirements for the percentage of vertical landscaping to be provided. The calculation of the amount of vertical landscaping coverage is based on the expected foliage size of the vegetation at maturity (or within 5 years, whichever ever occurs first) in relation to size of the building. Vertical landscaping can be measured on an elevation plan where the view provided in the elevation is directly perpendicular to the building.

Figure SC6.16.3.7.b and SC6.16.3.7.c below demonstrates how to calculate the percentage of vertical landscaping. The landscaping shown in green can be used to calculate the percentage of vertical landscaping.



Figure SC6.16.3.7.b – Front elevation (Landscaping in green is used to calculate vertical landscaping coverage)

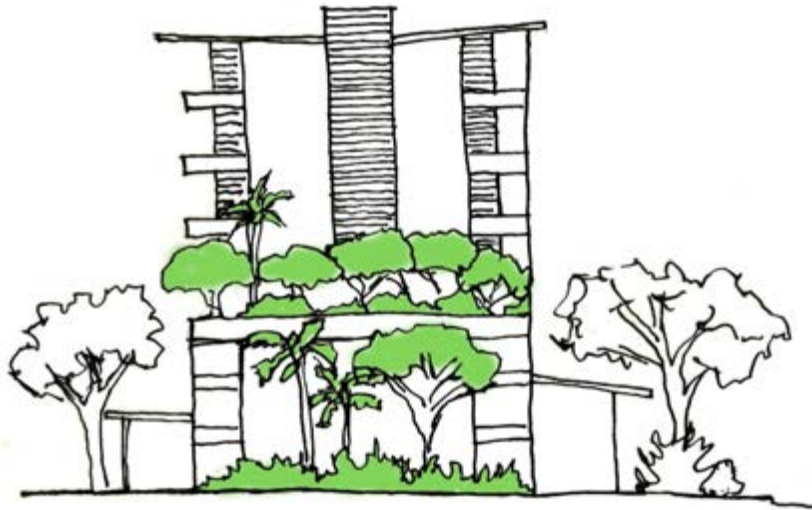


Figure SC6.16.3.7.c – Side elevation (Landscaping in green is used to calculate vertical landscaping coverage)



Figure SC6.16.3.7.d – Example of vertical landscaping in North Cairns



Figure SC6.16.3.7.e – Example of vertical landscaping – Cairns Hilton

- (4) The applicant may be requested to provide Landscaping structure plans and diagrams to illustrate the degree of façade cover to all facades and illustrate, along with plant species lists, the vertical landscaping at installation, maturity and in between. Maintenance of landscaping will be required for the life of the development.

SC6.16.3.8 Street canopy

- (1) The street canopy is an architectural expression of the natural rainforest canopy. Figures SC6.16.3.8.a and SC6.16.3.8.b below show this relationship. It will be a signature design element for Cairns for future generations, and a defining element of the tropical urbanism for which Cairns will be recognised internationally.

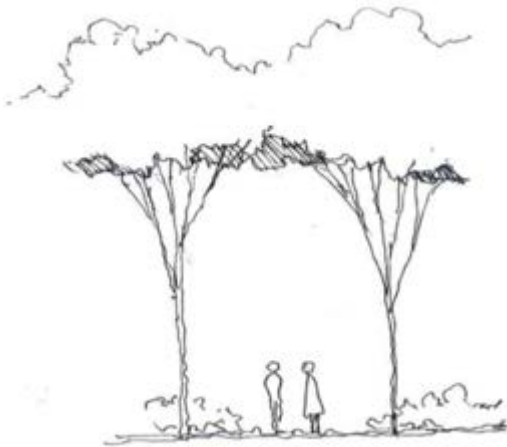


Figure SC6.16.3.8.a – The rainforest canopy in its natural setting

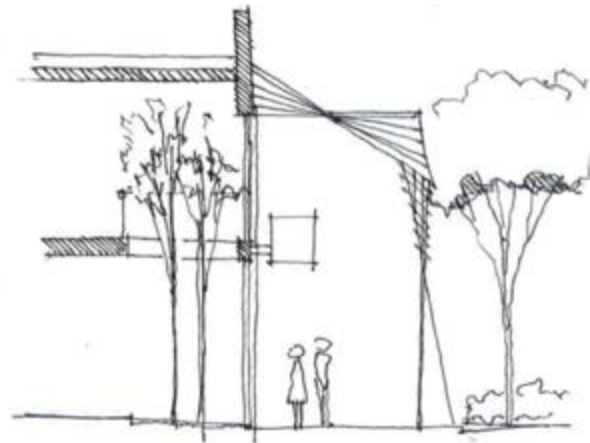


Figure SC6.16.3.8.b – The architectural expression of the rainforest canopy

- (2) The street canopy is an element of development required for development within the Cairns city centre local plan area.
- (3) The street canopy aims to raise the height of conventional awnings, provide a generous and activated interface to enable strong visual connectivity between the street and the interior of buildings, particularly uses located on the second storey. The street canopy allows uses contained on the second storey to be activated and easily visible by pedestrian from street level.
- (4) The street canopy provides a tall sheltered space that offers continuous connections and involves the ground and second storey of the podium in the street level experience. It is an interpretation in built form of the sheltering canopy of the rain forest. The street canopy may provide for filtered light to penetrate through. Combined with street plantings the street canopy can provide protection from the elements when moving about the city.
- (5) The street canopy is expected to occupy the full frontage of the site. The height of the street canopy is a minimum 6m and a maximum of 9m. Such height is to span over service and vehicle access driveways. The street canopy is to include design features that provide suitable weather and solar protection according to street orientation and exposure. Weather and solar protection features of the street canopy are not expected to occur within the first storey. The street canopy is not intended to be fully enclosed, solid or impermeable.

- (6) The interior space of the development should, for a minimum of 35m² of the ground floor area, include a full height atrium exclusive of mezzanines or staircases to create a large, open entry space which complements the exterior space provided by the street canopy.

Figure SC6.16.3.8.c and SC6.16.3.8.d below depict the street canopy.



Figure SC6.16.3.8.c – Street canopy

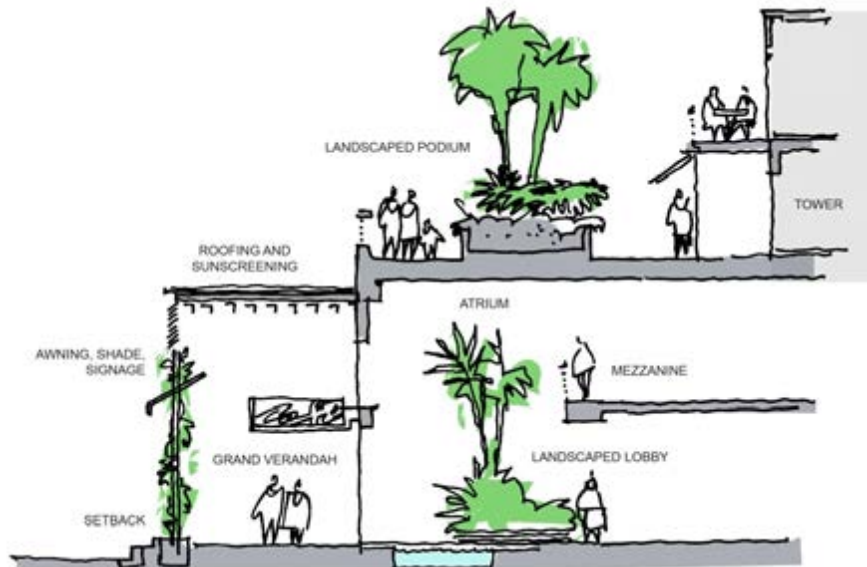


Figure SC6.16.3.8.d – Street canopy (typical cross section)

- (7) The footpath frontage to new or renovated buildings is to be developed as a desirable public space offering weather protection and a generous interface with the activated street-front building.
- (8) The canopy will potentially increase the amount of shade in the footpaths and in the carriageway of the street, reducing the “heat Island” effect and soften the transition from footpath to roadway.
- (9) The Street Canopy should be designed as an integral component of the architectural expression of the development. The structure should also be designed with consideration

of the scale and character of adjoining canopies and adjacent heritage or character architecture.



Figure SC6.16.3.8.e – Existing development within Cairns that reflects the street canopy

- (10) Signage on the canopy structure shall be limited, with a preference for shopfront advertising within the street canopy. Structures projecting off the street canopy are to be designed and provided for weather protection and amenity purposes and should not be used for advertising.

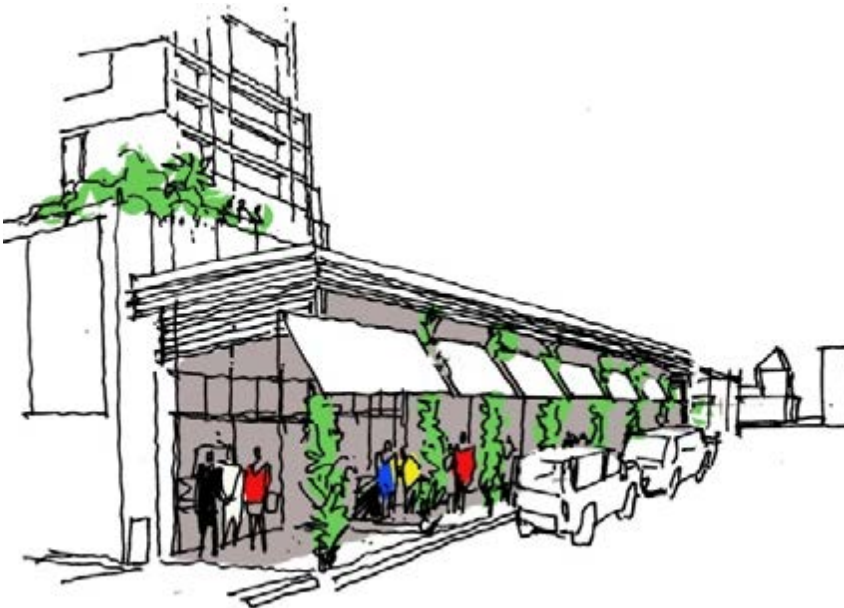


Figure SC6.16.3.8.f – Street canopy (filtered light and shade)



Figure SC6.16.3.8.g – Street canopy (view from inside)



Figure SC6.16.3.8.h – Street canopy (advertising is located on shop fronts)

SC6.16.3.9 Car parking sleeving

- (1) Car parking at grade or on upper levels can interrupt the street amenity and erode architectural features through visual dominance and lost opportunity for landscaping both at grade and vertically. Development will be required to reduce the impact of car parking by sleeving the car parking areas with uses that address the streetscape, including uses that provide an active frontage at the pedestrian level.

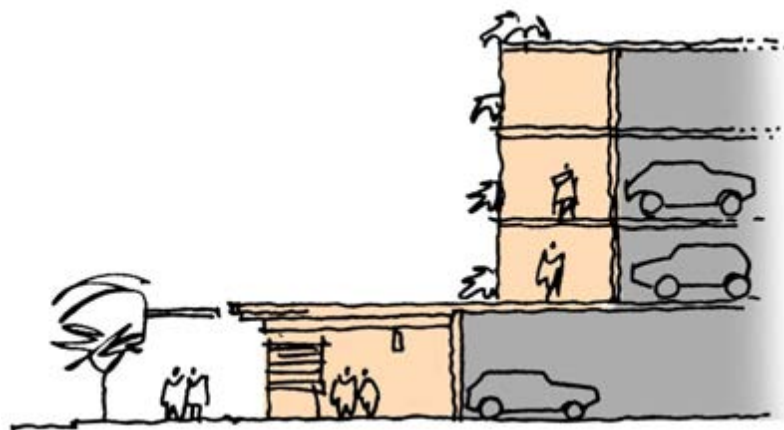


Figure SC6.16.3.9.a – Sleeving of car parking behind uses

SC6.16.3.10 Human scale

- (1) Development is to be appropriately set back from the street frontage to ensure that it does not overwhelm the pedestrian realm and to maintain vistas along streets. Where appropriate, podiums are provided to ensure that there is a gradual transition in height from the pedestrian realm to the tower above.
- (2) In the Cairns city centre, the street canopy aims to ensure that buildings do not dominate the pedestrian environment. The use of appropriately scaled podiums and street canopies make the street environment comfortable, welcoming and conducive to commercial, social and cultural connectivity.

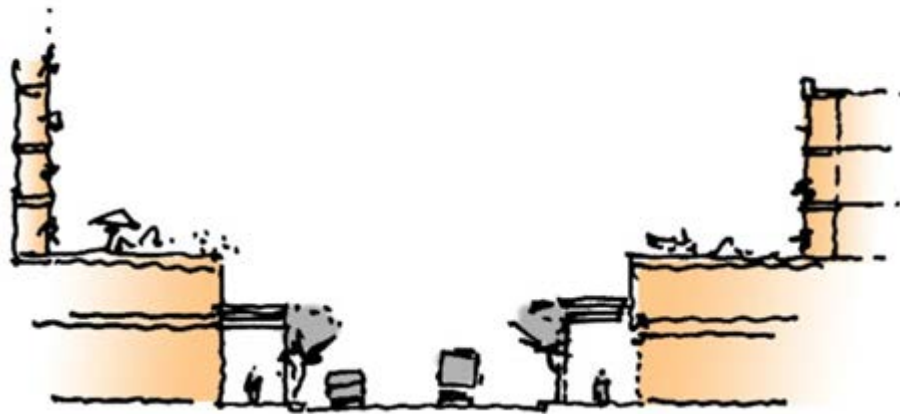


Figure SC6.16.3.10.a – Human scale at streetscape level

- (3) In North Cairns buildings are set back from boundaries and landscaping dominates the street frontages to retain the human scale of the streetscape.

SC6.16.3.11 Mid-block connections

- (1) Where development has frontage to two parallel streets, it may be appropriate to incorporate a public pedestrian connection between the two streets. Where development is proposed within the Cairns city centre, mid-block connections are provided and provide for active uses. Where development is located within North Cairns, mid-block connections are desirable and predominantly used to allow free pedestrian movement between blocks. Mid-block connections can also provide visual connectivity to other public places and assist with way finding.

SC6.16.4 Guidance on meeting planning scheme outcomes – Qualities of Good Urban Places

- (2) The following provides a summary of the key qualities of good urban places derived from “An agenda for Urban Quality in Queensland” prepared by Urban Design Alliance Queensland.

SC6.16.4.1 Access and Connectivity

- (1) Good places will be connected and accessible to everyone in the community.
- (2) There will be a choice of routes for various methods of movement.
- (3) A fine mesh of routes is more desirable than a few widely dispersed routes.
- (4) Visual connectivity is equally as important and physical connectivity.
- (5) Through routes are generally more desirable than dead-end ones.
- (6) Residents have a sense of street address.

SC6.16.4.2 Variety

- (1) A good urban place will have a mix of uses and a variety of building types, sizes and shapes.
- (2) Variety in height, setback, landscaping and façade treatments should be used to differentiate between adjoining buildings.

SC6.16.4.3 Adaptability and versatility

- (1) A good place will be able to accommodate a large range of uses, activities and purposes over the daily and weekly cycle, seasonal patterns as well as other changes with which the city has to cope.
- (2) Good places consider the interchangeability of land uses over time and can adapt with minimal alteration to the built form.
- (3) The retention and adaptive re-use of significant places contributes to character and historic fabric of a place.

SC6.16.4.4 Legibility

- (1) The function and purpose of a place is easily understood.
- (2) Legibility can be achieved through the design and relationship of urban elements including the alignment of streets, public spaces and landmark buildings.
- (3) A place must be easy to navigate.
- (4) A good urban place has clear reference points including landmarks, and views and vistas.

SC6.16.4.5 Active spaces

- (1) People respond to defined spaces. A good place will have well contained and interesting spaces in which people feel comfortable.
- (2) How well a public space works will be largely determined by its inclusions, arrangement and functionality.
- (3) A dynamic, vibrant and interesting space is likely to have 'active' edges.
- (4) Active uses address public spaces.
- (5) Service equipment and utility areas cannot be seen from public spaces.

SC6.16.4.6 Human needs

- (1) A good place will consider and provide for all human needs.
- (2) Safety as well as the perception of safety is essential.
- (3) The principles of Crime Prevention Through Environmental Design are applied.
- (4) Large buildings are designed so that people feel comfortable and not overpowered by their presence.
- (5) There is a focus on the treatment and interaction provided at ground level to provide for a positive pedestrian environment.
- (6) A good urban place is one which enhances the sense of community, social interaction and strengthens the self-image and identity of the people who use it.
- (7) A good urban place has an abundance of sensory experiences such as visual, touch, sound and motion.

SC6.16.4.7 Sustainability

- (1) Development is flexible and meets the needs of current users without compromising the needs of future generations.
- (2) Passive design measures are incorporated.

SC6.16.4.8 Urban landscaping

- (1) Landscaping of the city is an integral part of the urban fabric and is provided as a continuous medium rather than local or site specific enhancements.
- (2) Public places including parks, streets and natural areas contribute to the network of green space throughout the city.
- (3) Landscaping is a feature of developments to contribute to a green urban space.

SC 6.16.5 Information Council may request

SC6.16.4.9 Supporting information

- (1) Council may request the following supporting information to demonstrate compliance with the assessment criteria within the planning scheme:
 - (a) Tropical Urbanism Assessment - An assessment of the proposed development demonstrating how the development achieves Tropical Urbanism
 - (b) Qualities of Good Urban Places Assessment – An assessment of the proposed development demonstrating how the Qualities of Good Urban Places have been incorporated.
 - (c) Visual impact assessment – An assessment of the visual impact of the proposed development including photomontages, prepared with accurate RLs demonstrating how the proposed building ‘fits’ into its street and locality context.
 - (d) Landscaping structure plans and diagrams to illustrate the degree of horizontal and vertical landscaping including façade cover to all facades and illustrate, along with plant species lists, the landscaping at installation, maturity and in between.
 - (e) Light and shade diagrams demonstrating how light and shade is cast onto each facade of the building.
 - (f) Site analysis diagrams showing how the design is oriented to local sun and wind conditions.
 - (g) Within the Cairns city centre, detailed descriptions of the extent of landscaping to be provided on the street canopy.

SC6.16.4.10 Related materials

- (1) Other documents which provide guidance on meeting the purpose of the planning scheme outcomes, but are not subject to a development assessment processes under the planning scheme include:
 - (a) *Cairns Style Design Guide*, Cairns Regional Council
 - (b) *Sustainable Design for Commercial Buildings*, Cairns Regional Council
 - (c) *An agenda for Urban Quality in Queensland*, Urban Design Alliance Queensland
 - (d) Cool homes guide and site analysis tool, Cairns Regional Council

Appendix 1 Index and glossary of abbreviations and acronyms

Table AP1.1—Abbreviations and acronyms

Abbreviation/ acronym	Description
AEP	Annual exceedance probability
AHD	Australia height datum
ANEF	Australian noise exposure forecast
ARI	Average reoccurrence interval
AS	Australian standard
BMP	Bushfire management plan
CAD	Computer-aided design
CBD	Central business district
CPTED	Crime prevention through environmental design
DFE	Defined flood event
DSS	Desired standard of service
DME	Distance Measuring Equipment
DVOR	Doppler very high frequency omni-directional range
EIBLP	Edmonton industry and business local plan
EMP	Environmental management plan
FNQROC	Far North Queensland Regional Organisation of Councils
GFA	Gross floor area
GP	Glide Path
GPS	Global positioning system
GVM	Gross vehicle mass
HLV	High landscape values
ICOMOS	International Council on Monuments and Sites
IDA	Initial development area
LED	Light-emitting diode
LCD	Liquid-crystal display
LOA	Level of assessment
LOC	Localizer
MCU	Material change of use as defined in the Act
MLV	Medium landscape values
MM	Middle Marker Beacon
MNES	Matters of National Environmental Significance
MSES	Matters of State Environmental Significance
NDB	Non Directional Beacon
OM	Outer Marker Beacon
PFTI	Plans for trunk infrastructure
PIA	Priority infrastructure area
PSR	Primary Surveillance Radar
QDC	Queensland Development Code
ROL	Reconfiguring a lot as defined in the Act
SMAC	Smithfield major activity centre
SSR	Secondary Surveillance Radar
the Act	<i>Sustainable Planning Act 2009</i>

the Regulation	<i>Sustainable Planning Regulation 2009</i>
VHF	VHF Communication Facilities

Appendix 2 Table of amendments

There are no amendments to the planning scheme.

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